

ATTACHMENT 1a
Delaney Full Resubmittal



Mitigation and Remediation Grant Program APPLICATION GUIDELINES

Application Packet Checklist

Please check below to ensure you have a complete application. Once complete, email the following documents, in pdf format with the text "Application for Remediation Grant Program Funding" in the subject line to eadler@co.humboldt.ca.us.

- ☒ Signed Application Submission Form
- ☒ Project Description – Summary of the Project, up to 2 pages.
- ☒ Plot Plan
- ☒ Plot Plan Checklist – Attached
- ☒ Cross sections of proposed work including topographic elevations
- ☒ Scope of Work – Detailed Description of Work
- ☒ Schedule for Completion – Identify Milestones
- ☒ Erosion Control Plan and Monitoring Plan
- ☒ Budget – Be as specific as possible – sample attached
- ☒ Project Maps and Figures
- ☐ Letter(s) of Support (optional)

APPLICATION FORM - Commercial Cannabis Land Use Ordinance Mitigation and Remediation Fund Program

Project Title: Oclaney LSA repair Date of Application: 10/30/22

Applicant Name: Jennifer Mahoney Project APN: 220-282-010


Contact Person Name and Title: Jennifer Mahoney, Permit holder

Contact Phone: (310) 487-9769 Contact Email: jrm137@humboldt.edu

Contact Address: 4854 Valley East Blvd Apt 5 Arcata, CA 95521

Amount Requested: \$71,274.75 Total Budget: \$73,774.75

Project Timeline: Start Date: January 2023 End Date: September 2023

Signature of Applicant: 

Project Description

The property is a 46 acre parcel located in the heavily impacted Redwood Creek watershed with the connecting water way of Miller Creek running through it. On this parcel there are two residences that are not connected to city water or power. There is also a 2000 sqft commercial cannabis operation currently permitted (17250). Power is obtained through multiple solar panels and a solar battery system. Water is obtained from a spring (located on the other side of the bridge from our homestead), our property has never utilized water directly from the creek bed. Despite our efforts to maintain a healthy creek bed environment there have been issues identified while developing our LSA agreement. We had Fish and Game out for our inspection and they determined there were three key areas of repair required to maintain Miller Creek's ongoing health.

The first project is a bridge over Miller Creek that allows us to access the entire back half of the property. At this point in time the bridge sits below current flood levels, which is against Fish and Game regulations. The Fish and Game worker said that it's current configuration is blocking the flow of debris. We have had the bridge wash out before, we have been concerned that this would contribute to erosion. It has also been a growing desire of us and many neighbors on the Blue Slide Creek side of the property that we reinforced the bridge to be used as an escape route in case there is a fire on Blue Slide Creek blocking the outlet. Replacing the crossing to be a permanent crossing above the flood level will maintain the creek's integrity, even in the case of a fire. Because this bridge is located on private property and is not located on the Miller Creek Road sections currently being maintained by the community road association, the burden of repair falls solely on the property owner. This is regardless of the current need for the neighbors to access it in emergency cases and for repairs.

The main way that this project helps the health of the redwood creek watershed is that it would allow us to maintain many of the inlet spots to Miller Creek that are at this point unreachable to equipment without this bridge. There are two culverts installed before the purchase of the property that require replacement. This is on our property alone. If you include neighbors who will be heavily encouraged to utilize this bridge to repair their own culverts the number may go up to 30 that are in need of maintenance and unreachable from Blue slide by equipment. These culverts were all installed when construction equipment could get through the old logging roads that are located in now inaccessible areas. We have been told by Fish and game that fixing this bridge so that the failing culverts are accessible to be fixed is crucial to the health of Miller Creek and that the failing of any of these culverts, ours or our neighbors, would be a serious problem for the salmon breeding downstream. Below is the email from Fish and Game requiring us to find access to these culverts to replace.

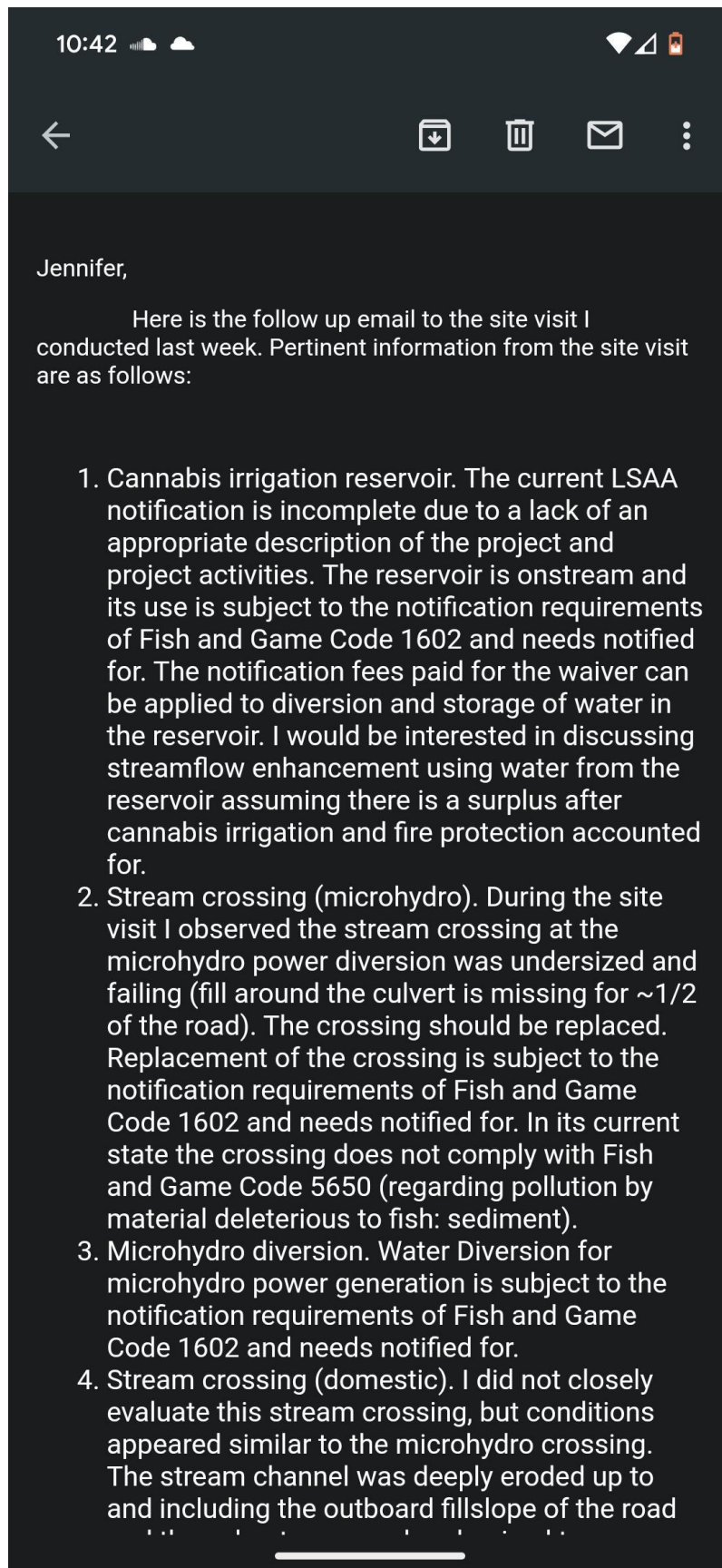


Figure A Fish and game orders

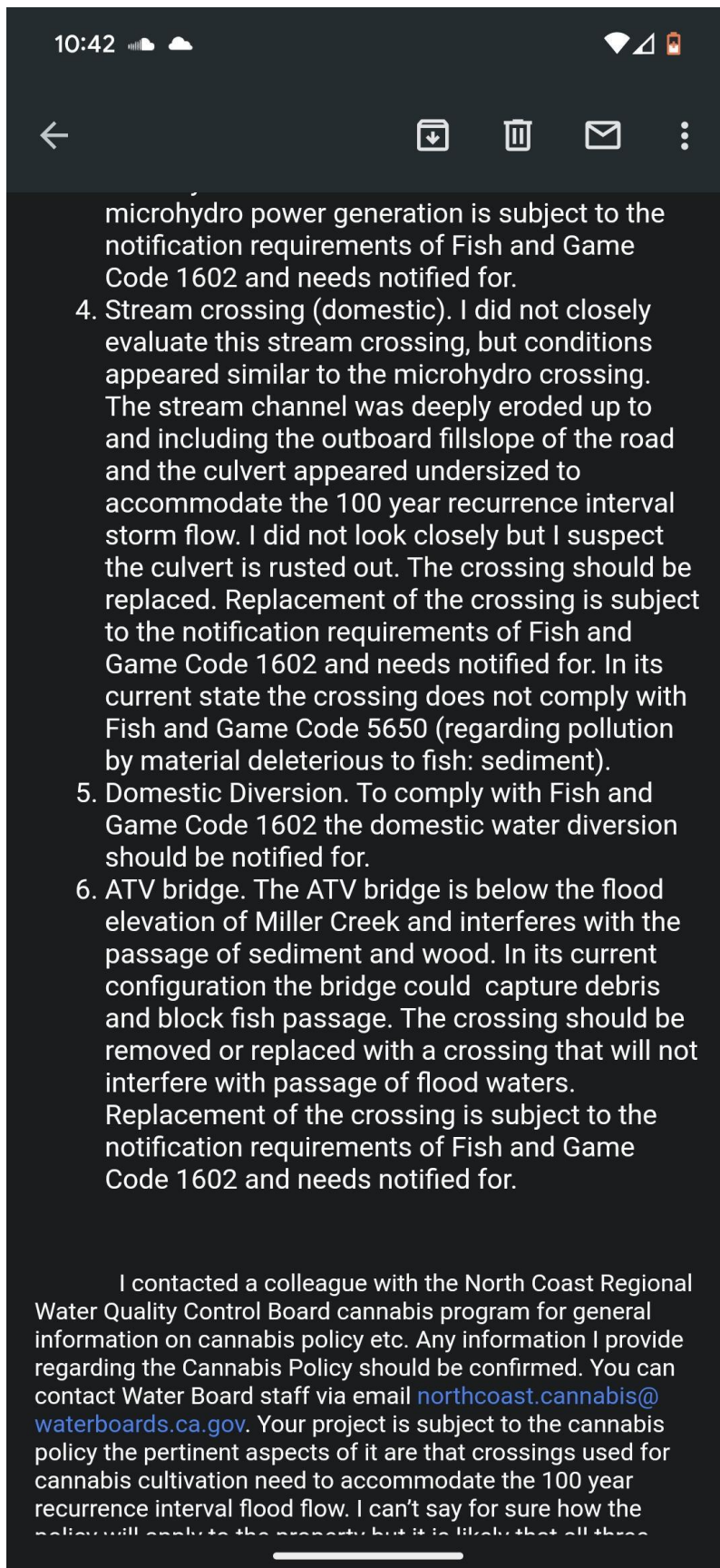
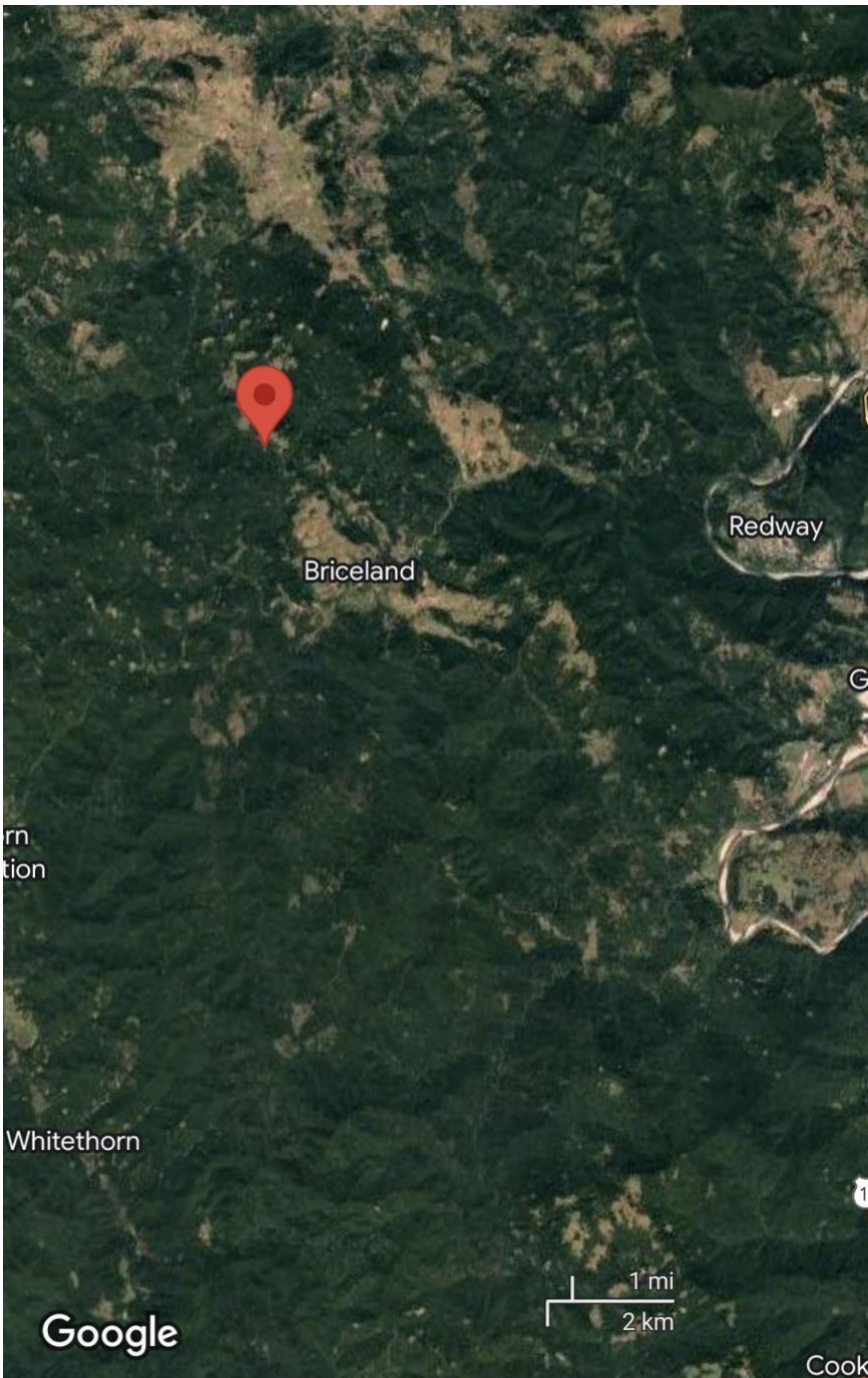


Figure B. Part 2 of Fish and games requirements

Location map



Scope of the work

All work will take place at parcel 220-282-010 only. Parcel 220-282-019 is the driveway of the homestead. This is located at 2060 Miller Creek Rd in Humboldt county, CA. The projects will be reviewed by North point engineering in the months of November and December of 2023. The bridge design has to be approved by the engineer before work can begin, because completed plans are required to finish submitting our LSA agreement. The bridge repair should take place between June 1-August 1 2023, aiming for the driest 3 week period in this gap. The bridge repair would be supervised by a contractor. We would then replace the two culverts directly after the bridge repair. The culverts would be replaced concurrently to better utilize the equipment required. This work would be completed by a hired team.

Schedule for Completion

Milestones	Start Date	End Date
Detailed project scoping	January 1, 2023	March 1, 2024
Engineer Design	March 1, 2024	March 31, 2024
Project Ground-breaking	July 1, 2024	August 1,2024
Fish and Game inspection	August 1, 2024	September 1, 2023
Project Completion	August 1, 2023	September 1, 2023
Monitoring	August 1, 2023	August 1, 2028

Erosion Control Plan

All of the work included is designed to prevent erosion of the hillside and the creek bed area used as a crossing. Erosion will be controlled for during work by completing the work while the springs are not producing water and the creek is dry. The water down stream beyond the culverts and the crossing would be checked for clarity after the repairs during the rain season. This is already a process in place on the farm every year to ensure paths and even natural areas are not depositing sediments into the waterway. This process is completed every winter and would be completed during the five years after the repairs.

Budget (estimates provided by Fish and Game and multiple contractors)

Budget item	Grant	Other funds
Fish and Game permits	7,274.75	
Engineering Fees		10,000.00
Geotechnical survey	30,000.00	
Materials: Bridge	25,000.00	50,000.00
Equipment rentals and labor	10,000.00	
Totals	73,274.75	60000.00

Project Maps

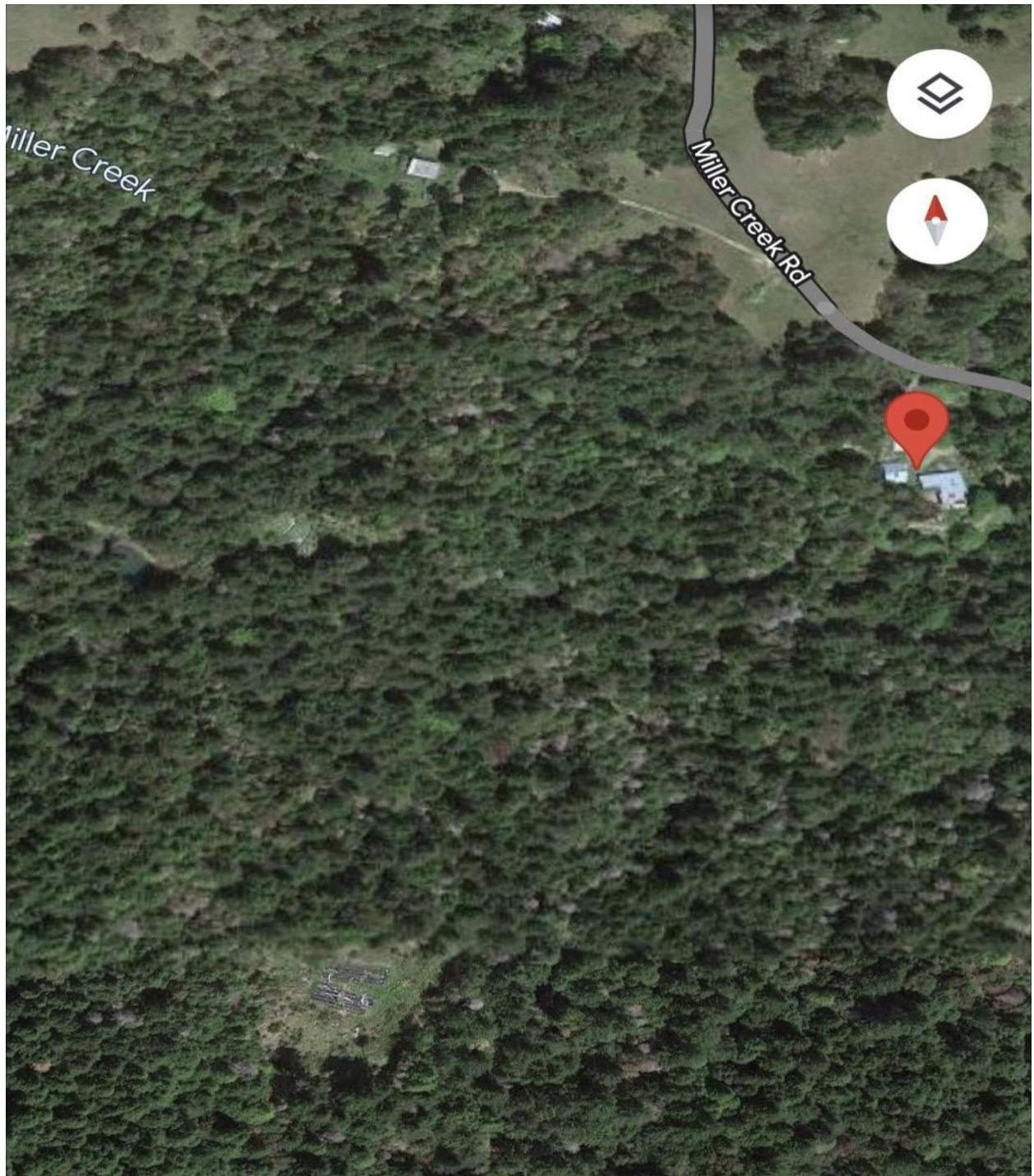


Figure 1. Satellite photo of the parcels 220-282-010, 220-282-019

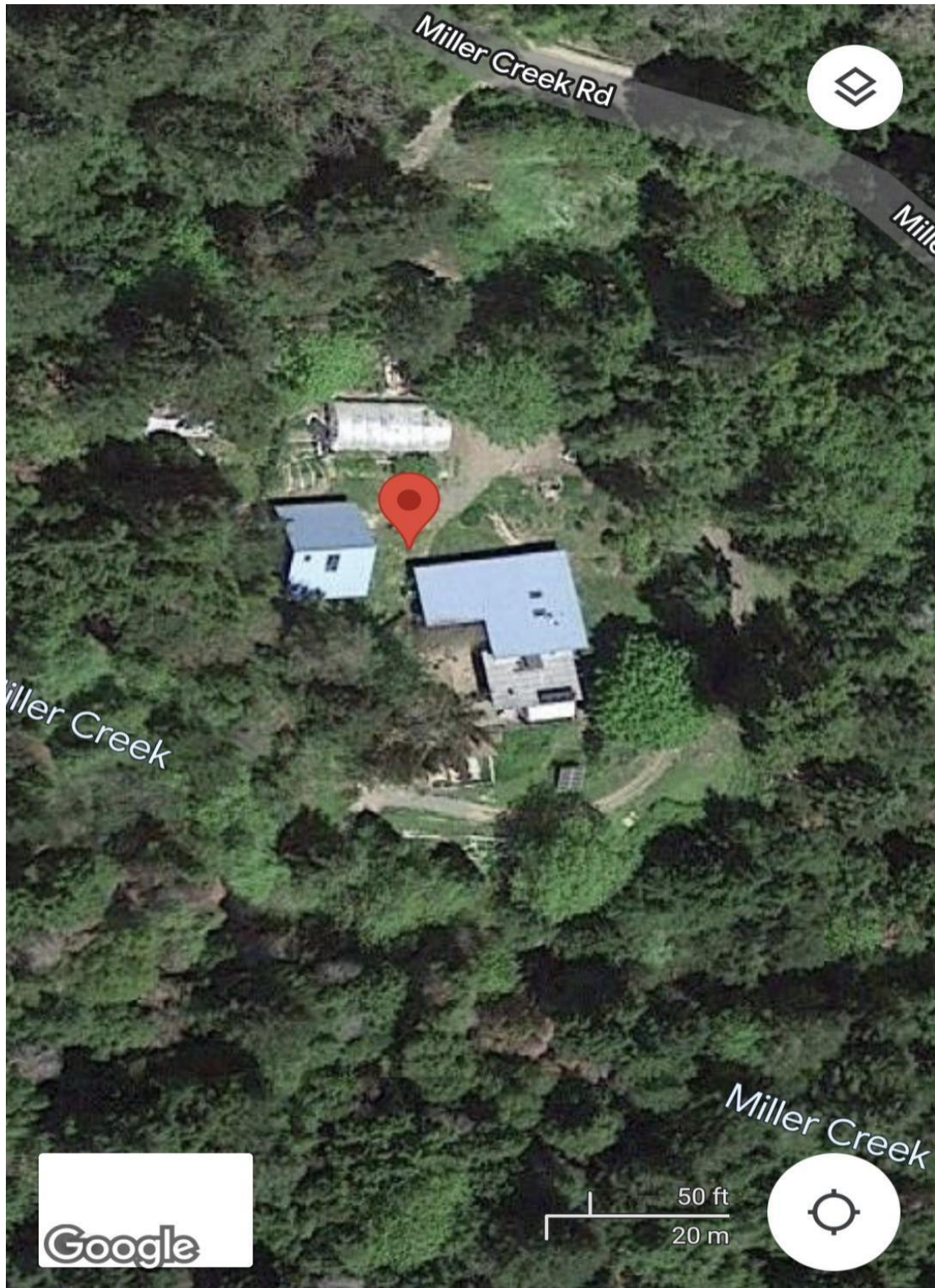
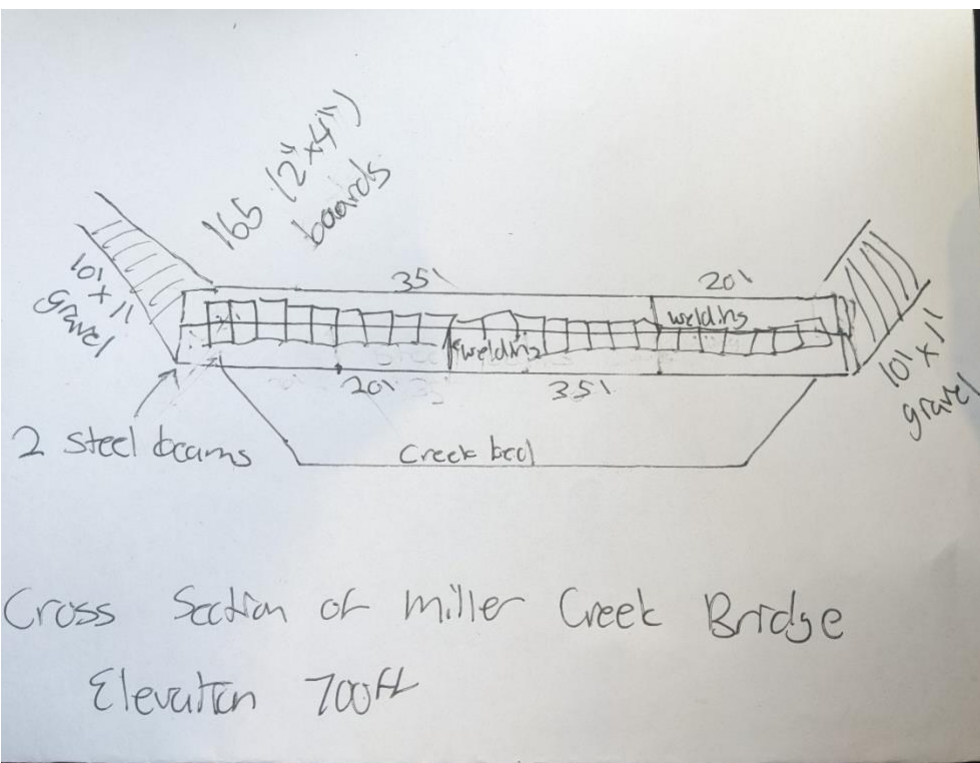


Figure 2. Satellite photograph of the homestead

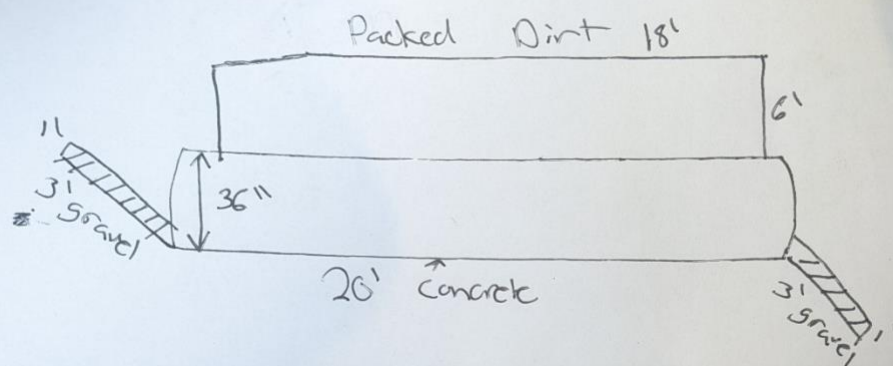


Figure 3. Bridge we are requesting to repair in it's current state, pictured here with the creek at it's highest flow. Fish and game has said that it's current height is not enough to allow down wood to pass through at high tides

Cross sections



Cross Section of Miller Creek Bridge
Elevation 700ft



Cross Section of Concrete Culverts

Culvert (A) 900 - 950 ft elevation

Culvert (B) 850 - 900 ft elevation

PLOT PLAN AND TENTATIVE MAP CHECKLIST

The following information must be shown on your plot plan or tentative map. Please check ☒ the box to the left of the items shown on the plot plan or tentative map. If any item is not on your site to your knowledge, write "N/A" next to the box. Plot plans shall be drawn on a minimum size sheet of 8-1/2" x 11", and tentative subdivision maps on a minimum size sheet of 18" x 26". **Note: This Checklist must be completed by the applicant and submitted with your application.**

Applicant's Name Janice Mahoney APN 220 - 282 - 010

FOR ALL PROJECTS

- ☒ 1. Name of applicant(s)
- ☒ 2. Location or vicinity map (on or attached to the plot plan)
- ☒ 3. The subject parcel (show entire parcel with dimensions)
- ☒ 4. Date, north arrow and scale
- ☒ 5. Name, County road numbers, and width of all existing and proposed access roadways adjacent to or within the subject parcel (indicate width of traveled way, grade (in % slope), and surface)
- ☒ 6. Existing and proposed improvements (label as "existing" and "proposed" with dimensions and distance to nearest two (2) property lines)
 - ☒ a. Structures and buildings (include floor area, height and proposed use)
 - ☒ b. Driveways and turnaround areas (indicate width, grade (in % slope) and surface)
 - ☒ c. Utility lines (electric, gas, telephone, sewer, water, and cable TV)
 - ☒ d. Septic tanks and leachfields (label primary/reserve areas and test holes)
 - N/A ☒ e. Wells
 - ☒ f. Parking and loading areas (show individual parking spaces, including handicapped parking and ramps)
 - ☒ g. Storm drains, curbs and gutters
 - ☒ h. Emergency water storage tanks and fire hydrants
 - ☒ i. Landscaped areas (include proposed exterior lighting)
 - N/A ☒ j. Major vegetation (identify mature trees (12" dbh or larger) to be removed)
 - N/A ☒ k. Diked areas
 - N/A ☒ l. Proposed grading and fill (estimate volume)
 - ☒ m. Signs (indicate size, illuminated, and design (e.g., monument, pylon, etc.))
 - ☒ n. Other - specify cultivation areas
- ☒ 7. Direction of surface water runoff
- ☒ 8. Location and width of all existing and proposed easements of record
- ☒ 9. Hazardous areas (indicate on map if on the project site or within 400 feet of the project site):
 - N/A ☒ a. Areas subject to inundation or flooding
 - N/A ☒ b. Steep or unstable slopes
 - N/A ☒ c. Expansive (clay) soils
 - N/A ☒ d. Earthquake faults
 - ☒ e. Hazardous waste or substance sites
 - ☒ f. Other - specify _____
- ☒ 10. Sensitive habitat areas (indicate on map if on project site or within 400 feet of the project site):
 - N/A ☒ a. Creeks, rivers, sloughs and other drainage courses
 - N/A ☒ b. Lakes, ponds, marshes, or "wet" meadows
 - N/A ☒ c. Beaches
 - N/A ☒ d. Sand dunes
 - N/A ☒ e. Other - specify _____
- ☒ 11. Historical buildings or known archaeological or paleontological resources
- ☒ 12. Land use and buildings on adjacent parcels, and approximate distances to closest property lines

FOR LOT LINE ADJUSTMENT PLOT PLANS ONLY

- ☒ N/A 13. Proposed new lines and lines to be eliminated (show lines to be eliminated as dashed)
- ☒ N/A 14. Areas (in square footage or acreage) of the initial and resulting parcels

FOR TENTATIVE SUBDIVISION MAPS ONLY

- ☐ 16. Approximate dimensions and areas of all proposed lots
- ☐ 17. A statement that "All easements of record are shown on the tentative map and will appear on the recorded subdivision map"
- ☐ 18. Contour lines (at _____ intervals)
- ☐ 19. For major subdivisions (5 or more parcels): proposed drainage improvements, details of any grading to be performed, approximate radii of all roadway curves, areas for public use, and typical sections of all streets, highways, ways and alleys
- ☐ 20. Names and assessor's parcel numbers of all contiguous ownerships

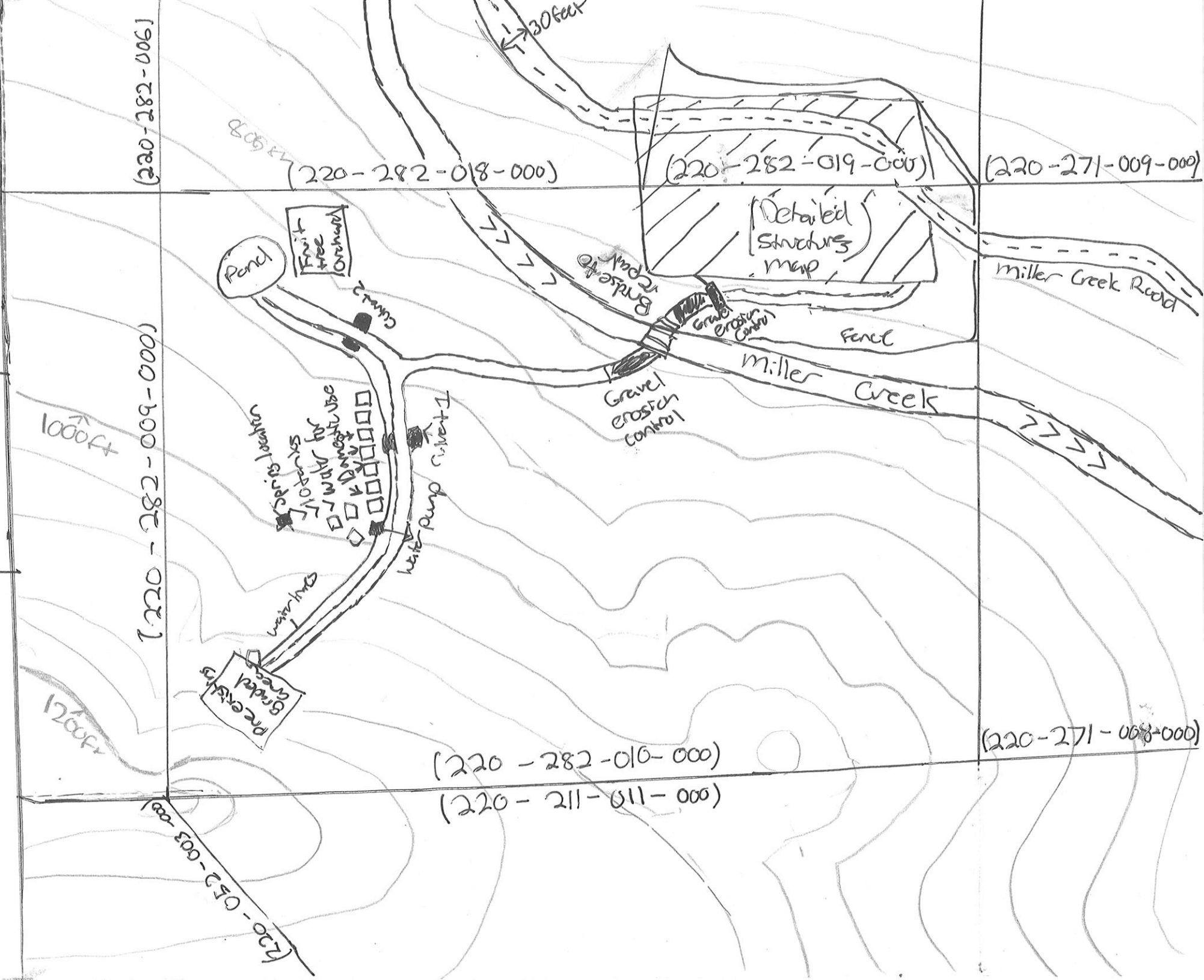
NOTE: THE SUBMITTAL OF INCOMPLETE OR ILLEGIBLE PLOT PLANS OR TENTATIVE MAPS WILL CAUSE DELAYS IN THE PROCESSING OF YOUR APPLICATION

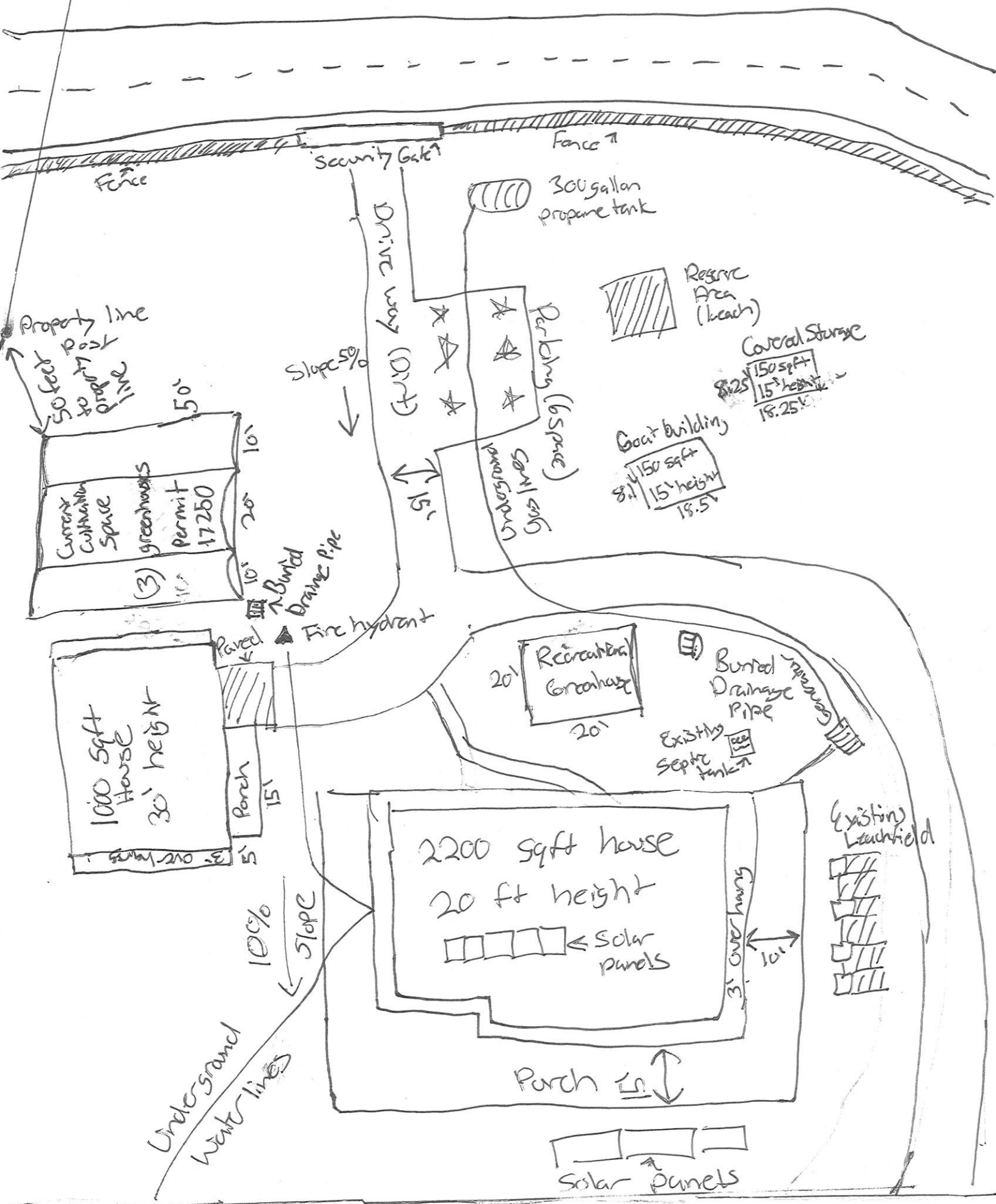
Jennifer Mahaney and
 Sean Delaney
 Plot Plan 10/30/22
 For Aprn 220-282-010
 APN 220-282-019



Owner: Sean Delaney
 (707) 689-8582
 P.O. Box 1241
 Redway, CA 95560

Utilities
 Sewer: Septic Tank and
 Leach Field
 Water: Spring (X)
 Cannabis irrigation water: Pond
 Electricity: Solar wall and
 propane generator
 Internet: Netlink 101
 All areas not labeled are heavily
 vegetated with trees > 12ft





Detailed Structure Map
 Plot Plan for 220 - 282 - 010
 220 - 282 - 019
 Prepared by Jennifer Mahaney
 (310) 487 - 9769
 jrm137@humboldt.edu



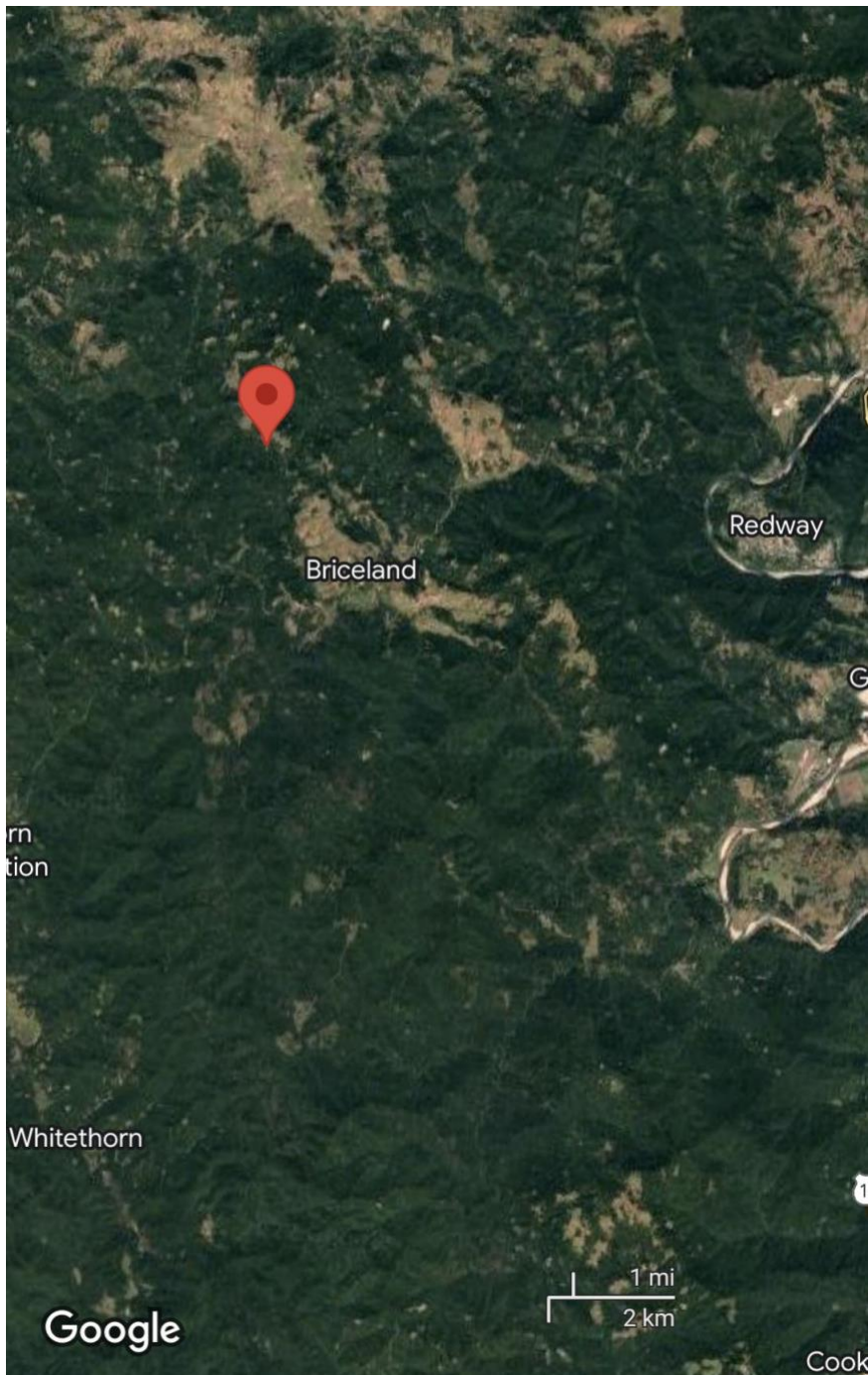
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The property is a 46 acre parcel located in the heavily impacted Redwood Creek watershed with the connecting water way of Miller Creek running through it. On this parcel there are two residences that are not connected to city water or power. There is also a 2000 sqft commercial cannabis operation currently permitted (17250). Power is obtained through multiple solar panels and a solar battery system. Water is obtained from a spring, our property has never utilized water directly from the creek bed. Despite our efforts to maintain a healthy creek bed environment there have been issues identified while developing our LSA agreement. We had Fish and Game out for our inspection and they determined there were three key areas of repair required to maintain Miller Creek's ongoing health.

The first and second projects are two culverts installed before the purchase of the property that require replacement. The culverts are currently 24 in galvanized steel culverts that are completely rotted out at the bottom. If they were to fail it would cause a detrimental amount of sediment to enter the watershed and may adversely affect salmon production. We would like to replace the culverts, whose locations are depicted on the map attached, with 36 in concrete culverts. These culverts were chosen because they are the longest lasting fire proof culverts we were able to locate in our research.

The third project is a bridge over Miller Creek that allows us to access the entire back half of the property. At this point in time the bridge sits below current flood levels, which is against Fish and Game regulations. The Fish and Game worker said that it's currently configuration is blocking the flow of debris. We have had the bridge wash out before, we have been concerned that this would contribute to erosion. It has also been a growing desire of us and many neighbors on the Blue Slide Creek side of the property that we reinforced the bridge to be used as an escape route in case there is a fire on Blue Slide Creek blocking the outlet. Replacing the crossing to be a permanent crossing above the flood level will maintain the creek's integrity, even in the case of a fire. Because this bridge is located on private property and is not located on the Miller Creek Road sections currently being maintained by the community road association, the burden of repair falls solely on the property owner. This is regardless of the current need for the neighbors to access it in emergency cases.

Location map



Scope of the work

All work will take place at parcel 220-282-010, 2060 Miller Creek Rd in Humboldt county, CA. The projects will be reviewed by Omsberg and Preston Engineering in the months of January and February of 2023. The bridge design has to be approved by the engineer before work can begin, as the bridge repaired would be helpful in completing the culvert replacement. The bridge repair should take place between June 1-August 1 2023, aiming for the driest 3 week period in this gap. The bridge repair would be supervised by a contractor. We would then replace the two culverts directly after the bridge repair. The culverts would be replaced concurrently to better utilize the equipment required. This work would be completed by a hired team.

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Budget item	Grant	Other funds
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Engineering Fees		2,500.00
Materials: culverts	24,000.00	
Materials: Bridge	30,000.00	
Equipment rentals and labor	10,000.00	
Totals	71,274.75	2,500.00

Project Maps

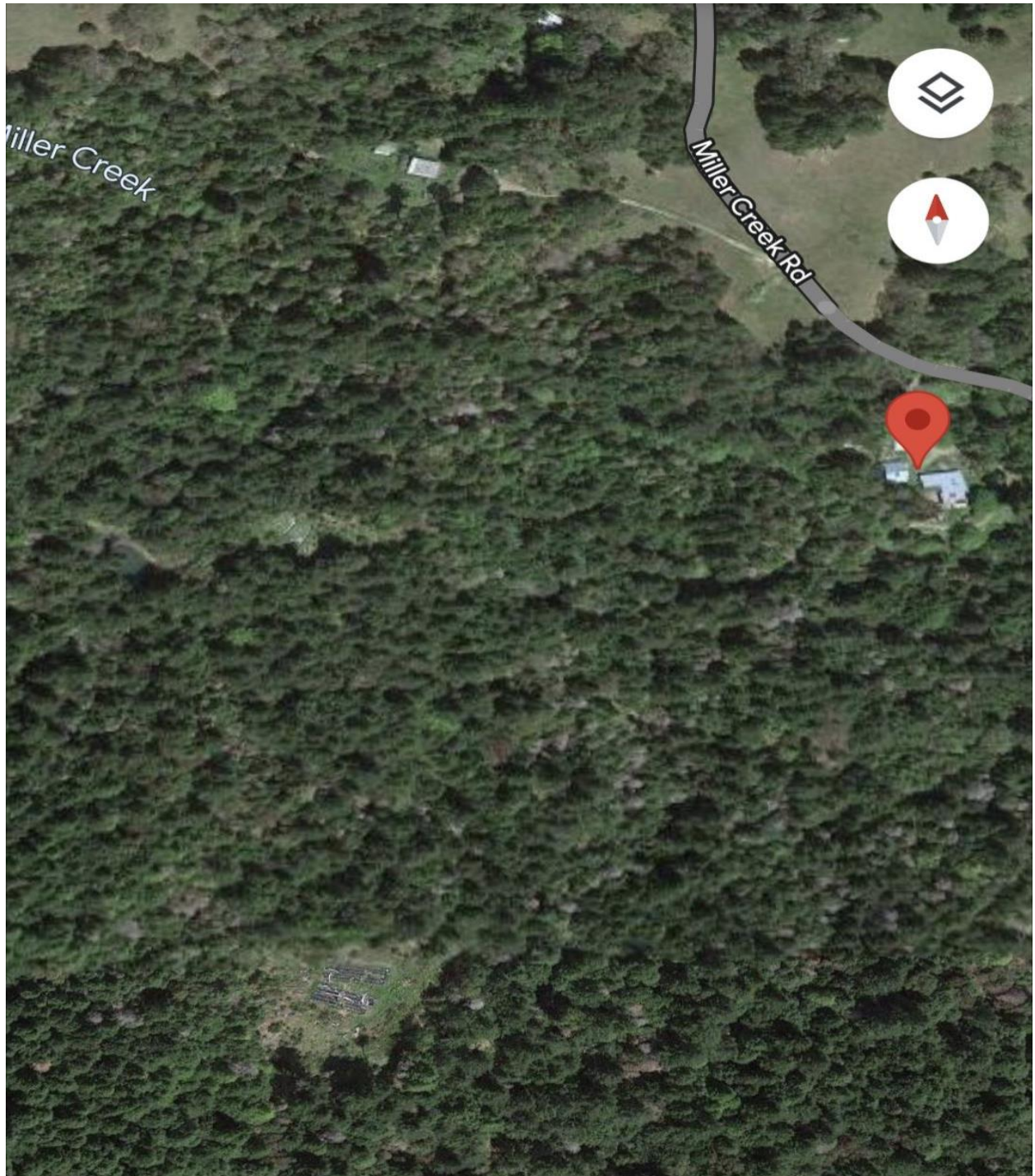


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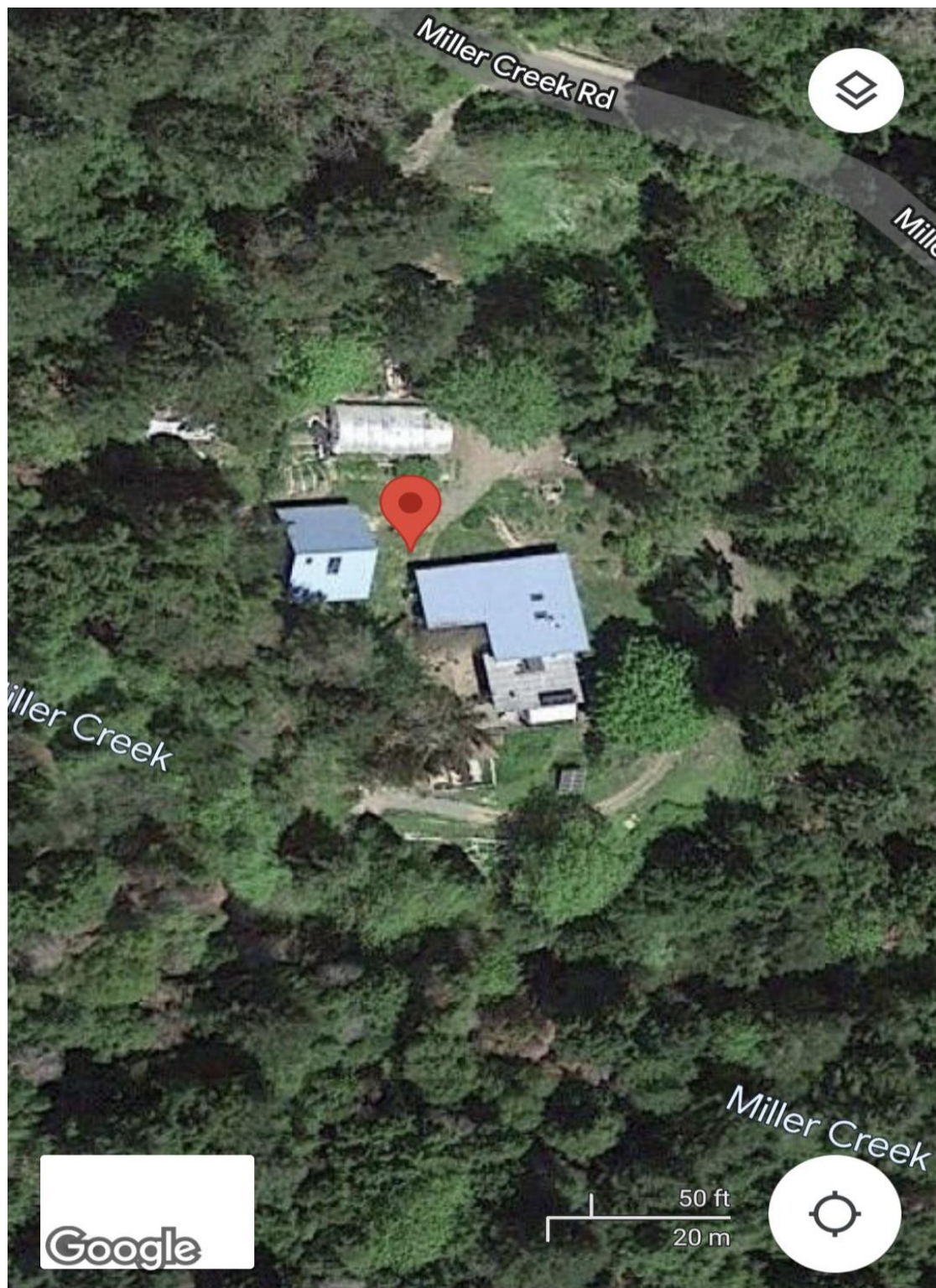


Figure 2. Satellite photography of the homestead

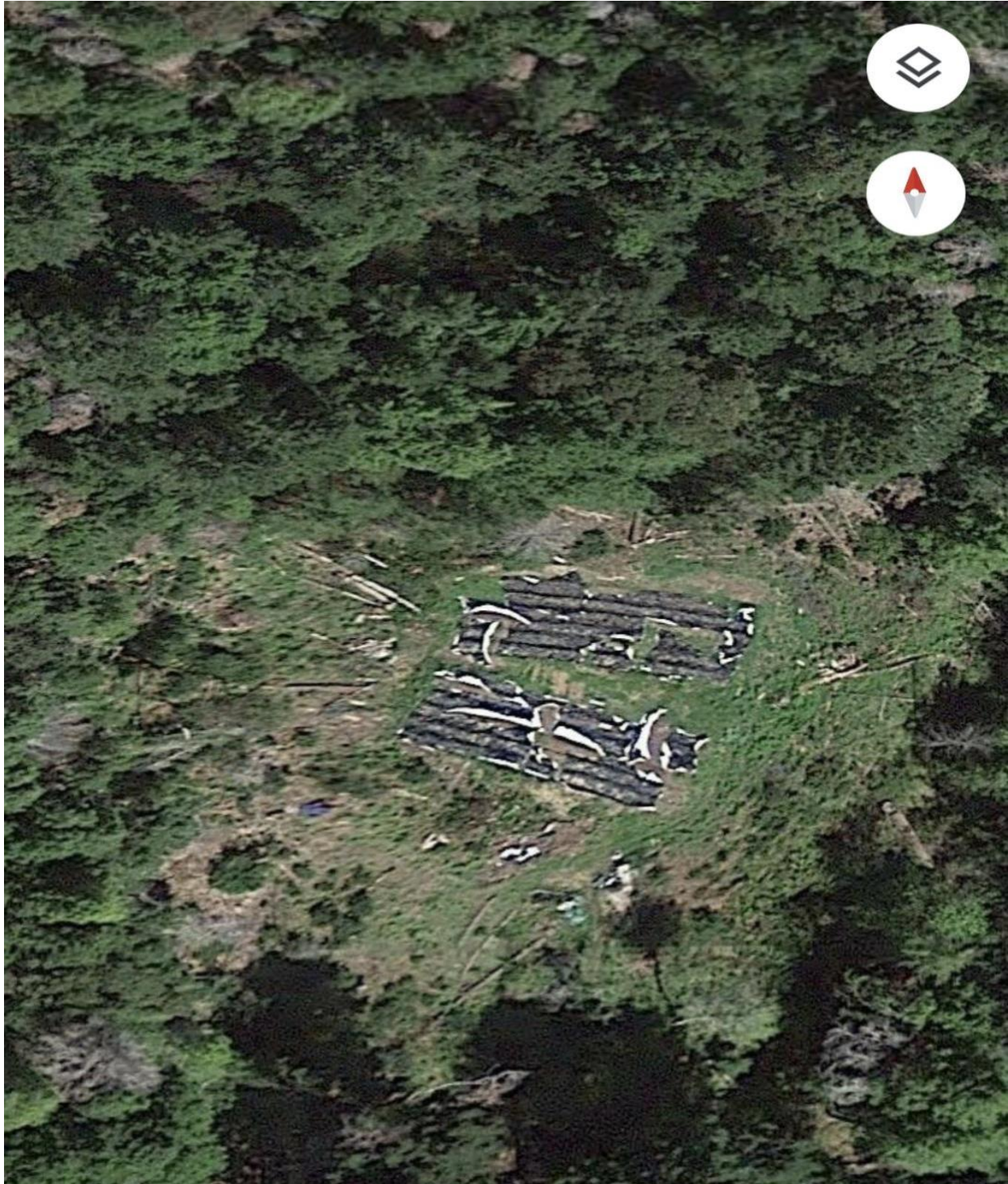


Figure 3. A close up of the previously graded retired cultivation areas

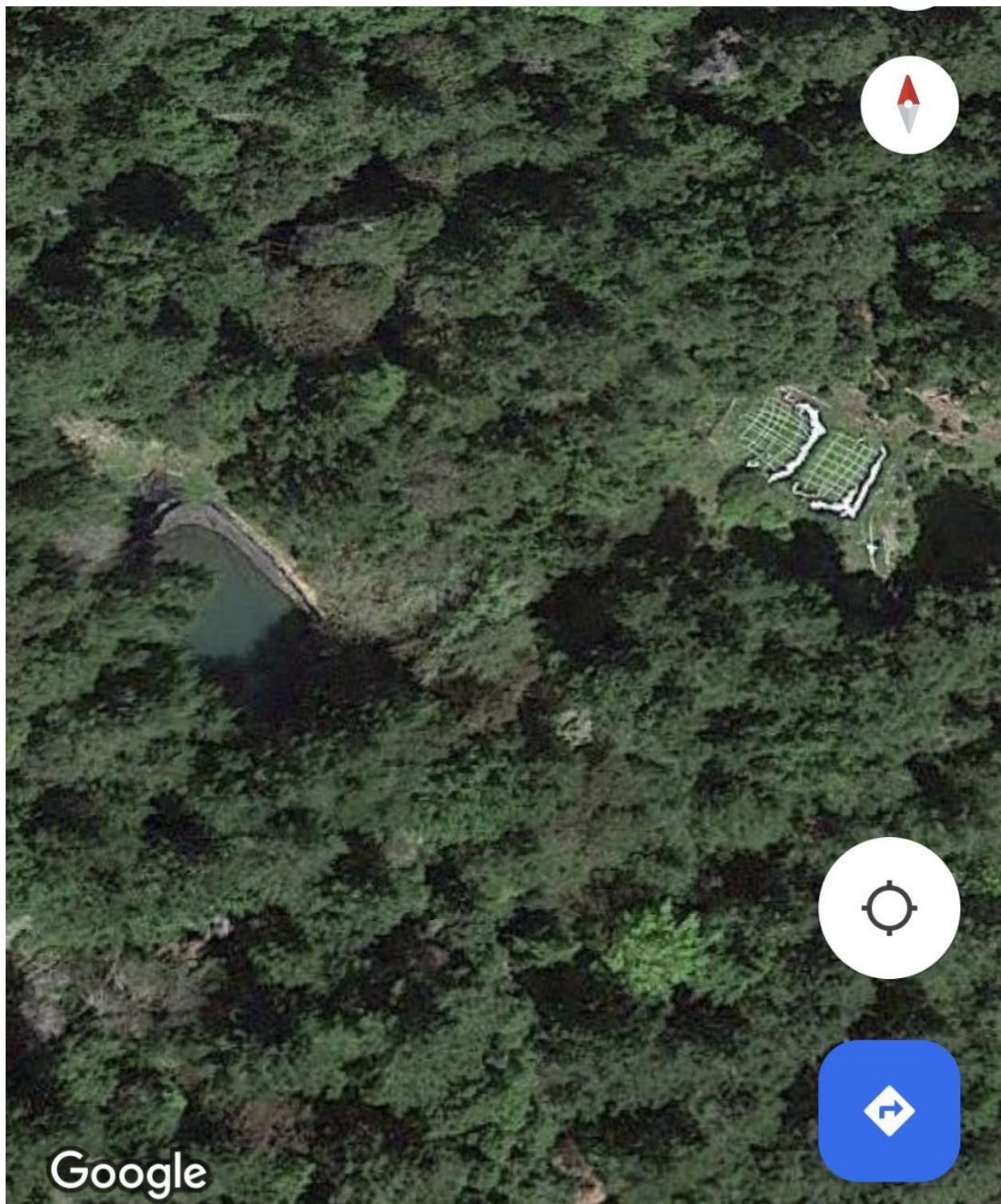


Figure 4. Close up satellite photography of the pond area and the flattened are currently being used as a fruit orchard



Figure 5. Bridge we are requesting to repair in it's current state, pictured here with the creek at it's highest flow

Cross sections

