



COUNTY OF HUMBOLDT
PLANNING AND BUILDING DEPARTMENT
CURRENT PLANNING DIVISION

3015 H Street, Eureka CA 95501
Phone: (707) 445-7541 Fax: (707) 268-3792

Hearing Date: July 1, 2021

To: Humboldt County Zoning Administrator

From: Cliff Johnson, Supervising Planner

Subject: **Jarrett Rolff, Special Permit**
Record Number: PLN-11830-SP
Assessor's Parcel Number (APN): 221-181-018 and 221-181-020
Briceland area

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Please contact Abbie Strickland, Planner, at 707-441-2630 or by email at astrickland@co.humboldt.ca.us, if you have any questions about the scheduled public hearing item.

AGENDA ITEM TRANSMITTAL

Hearing Date	Subject	Contact
July 1, 2021	Special Permit	Abbie Strickland

Project Description: The applicant is seeking a Special Permit for 10,000 square-feet of existing outdoor cannabis cultivation utilizing light deprivation techniques. Water for irrigation will be sourced from two existing ponds, one of which is a rainwater catchment pond, and the other is fed by an unnamed spring. The ponds have a combined capacity of over 2 million gallons. The parcel contains 60,000-gallons of hard tank water storage. The applicant estimates an annual water use of 172,000 gallons. Processing such as drying and curing will occur onsite, further processing will occur offsite on a contiguous parcel under the same ownership (APN 221-181-007). Power for the operation is provided by solar and a backup generator is onsite to provide supplemental energy. The operation will not require employees as it will be operated by four family members.

Project Location: The project is located in Humboldt County, in the Briceland area, on both sides of Blue Slide Creek Road, approximately 5.2 miles north from the intersection of Briceland-Thorne Road and Blue Slide Creek Road, on the property known as 5351 Blue Slide Creek Road.

Present Plan Land Use Designations: Residential Agriculture (RA), 2017 General Plan, Density: 40 acres per unit, Slope Stability: Moderate Instability (2).

Present Zoning: Unclassified (U)

Record Number: PLN-11830-SP

Assessor's Parcel Number: 221-181-018 and 221-181-020 (one separate legal parcel)

Applicant

High Society
Jarrett Rolff
P.O. Box 2093
Redway, CA 95560

Owner

William and Rhonda Rolff
P.O. Box 2093
Redway, CA 95560

Agents

Timberland Resource Consultants
David Spinosa
165 S Fortuna Blvd
Fortuna, CA 95540

Environmental Review: An Addendum to a previously adopted Mitigated Negative Declaration has been prepared for consideration per §15164 of the State CEQA Guidelines.

State Appeal Status: Project is NOT appealable to the California Coastal Commission.

Major Issues: None.

Recommended Zoning Administrator Action:

1. Describe the application as part of the Consent Agenda.
2. Survey the audience for any person who would like to discuss the application.
3. If no one requests discussion, make the following motion to approve the application as a part of the consent agenda:

Find that the Zoning Administrator has considered the Addendum to the Mitigated Negative Declaration for the Commercial Medical Marijuana Land Use Ordinance (CMMLUO) pursuant to Section 15164 of the State CEQA Guidelines, make all of the required findings for approval of the Special Permit based on evidence in the staff report, and adopt the Resolution approving the Jarrett Rolff Special Permit subject to the recommended conditions.

Executive Summary: The applicant is seeking a Special Permit for 10,000 square-feet of existing outdoor cannabis cultivation utilizing light deprivation techniques. The project is supported by a 704 square-foot nursery which utilizes supplemental lighting. Water for irrigation will be sourced from two existing ponds, one of which is a rainwater catchment pond, and the other is fed by an unnamed spring. The ponds have a combined capacity of over 2 million gallons. The parcel contains 60,000-gallons of hard tank water storage. The applicant estimates an annual water use of 172,000 gallons. Processing such as drying and curing will occur onsite in a proposed structure, further processing will occur on a contiguous parcel under the same ownership (APN 221-181-007). Power for the operation is provided by solar and a backup generator is onsite to provide supplemental energy. The operation will not require employees as it will be operated by family members.

Water Resources

The estimated annual water usage for the project is 172,000 gallons (17.2 gal/SF) with peak demand occurring in July and August. Water for irrigation is provided by two ponds located on the adjacent parcels under the same ownership. The rainwater catchment pond has a capacity of just over 1 million gallons (APN 221-181-007). The second pond is an existing spring-fed pond with the capacity of over 1 million gallons as well (APN 221-181-016). The applicant maintains a water right for use of the pond for irrigation and fire suppression. Existing available hard tank water storage totals 60,000 gallons, the applicant has proposed 60,000 gallons of additional hard tank storage. The applicant will forebear from use of the spring-fed pond from April 1st to October 31st of each year. The applicant will be required to install water meters at the point of withdrawal for both ponds and record weekly water usage to ensure adequate water supply for the project needs.

The project was referred to the Division of Environmental Health (DEH) and received a response that the application be approved with the added condition that the applicant install a permitted onsite wastewater treatment system, associated with a permitted structure, to support the needs of the project. The applicant is in the process of installing a wastewater treatment system. Until such time that the wastewater treatment system is installed the applicant will provide receipt of portable toilets to be made available during their annual inspection.

Biological Resources

A review of the California Natural Diversity Database (CNDDDB) found that no species of special concern have been mapped near the subject parcel. The nearest Northern Spotted Owl activity center mapped in the CNDDDB is located 1.9 miles northwest of the project site. The subject parcel contains Class II and Class III watercourses as well as an onstream pond. The onstream pond will not be utilized for cannabis cultivation. No special status plant or animal species or sensitive natural communities are anticipated to be impacted by the existing cultivation site.

Tribal Cultural Coordination

The applicant submitted a *Cultural Resource Investigation* prepared by Archaeological Resource and Supply Co., dated April 2019. The existing operation is not anticipated to impact any Tribal Cultural resources. The project was referred to the Bear River Band of Rohnerville Rancheria who recommended that the applicant adhere to the inadvertent discovery protocol.

Access

Access to the site is via two private driveways accessed by Blue Slide Creek Road. Blue Slide Creek Road is a privately maintained roadway which is developed to the equivalent of a Category 4 road standard. The project was referred to the Public Works Land Use Division who recommended the project be approved with the added condition that the applicant adhere to the Sight Visibility Ordinance and that the intersection of China Creek Road and Briceland-Thorne Road be improved to commercial standards.

Environmental review for this project was conducted and based on the results of that analysis, staff finds that all aspects of the project have been considered in a previously adopted Mitigated Negative Declaration that was adopted for the Commercial Medical Marijuana Land Use Ordinance and has prepared an addendum to this document for consideration by the Zoning Administrator (see Attachment 2 for more information).

RECOMMENDATION: Staff recommends that the Zoning Administrator describe the application as a part of the consent agenda, survey the audience to see if any person would like to discuss the application and, if no one requests discussion, make all the required findings based on the evidence in the record and approve the application subject to the recommended conditions.

ALTERNATIVES: Several alternatives may be considered: 1) The Zoning Administrator could elect not to hear this item and put the decision making in front of the Planning Commission. Any decision to place this matter before the Planning Commission must be done before opening the public hearing on this project; 2) The Zoning Administrator could elect to add or delete conditions of approval; 3) The Zoning Administrator could deny approval of the requested permits if you are unable to make all of the required findings. Planning Division staff is confident that the required findings can be made based on the submitted evidence and subject to the recommended conditions of approval. Consequently, planning staff does not recommend further consideration of these alternatives.

**RESOLUTION OF THE ZONING ADMINISTRATOR
OF THE COUNTY OF HUMBOLDT
Resolution Number 21-
Record Number: PLN-11830-SP
Assessor's Parcel Number: 221-181-018**

Resolution by the Planning Commission of the County of Humboldt certifying compliance with the California Environmental Quality Act and conditionally approves the Jarrett Rolff, Special Permit request.

WHEREAS, Jarrett Rolff, submitted an application and evidence in support of approving a Special Permit for 10,000 square-feet of existing outdoor cultivation utilizing light deprivation techniques. The project is supported by a 704 square-foot nursery which utilizes supplemental lighting. Water for irrigation will be sourced from two existing ponds, one of which is a rainwater catchment pond, and the other is fed by an unnamed spring. The ponds have a combined capacity of over 2 million gallons. The parcel contains 60,000-gallons of hard tank water storage, and an additional 60,000 gallons of hard tank storage is proposed. The applicant estimates an annual water use of 172,000 gallons. Processing such as drying and curing will occur onsite in a proposed structure, further processing will occur on a contiguous parcel under the same ownership (APN 221-181-007. Power for the operation is provided by solar and a backup generator is onsite to provide supplemental energy. The operation will not require employees as it will be operated by four family members.

WHEREAS, the County Planning Division, the lead agency, prepared an Addendum to the Final Mitigated Negative Declaration (MND) prepared for the Commercial Medical Land Use Ordinance (CMMLUO) adopted by the Humboldt County Board of Supervisors on January 26, 2016. The proposed project does not present substantial changes that would require major revisions to the previous Mitigated Negative Declaration. No new information of substantial importance that was not known and could not be known at the time was presented as described by §15162(c) of CEQA Guidelines; and

WHEREAS, the Humboldt County Zoning Administrator held a duly noticed public hearing on July 1, 2021, and reviewed, considered, and discussed the application for a Special Permit and reviewed and considered all evidence and testimony presented at the hearing.

Now, THEREFORE BE IT RESOLVED, that the Zoning Administrator makes all the following findings:

- 1. FINDING:** **Project Description:** A Special Permit for 10,000 square-feet of existing outdoor cultivation utilizing light deprivation techniques. Water for irrigation will be sourced from two existing ponds, one of which is a rainwater catchment pond, and the other is fed by an unnamed spring. The ponds have a combined capacity of over 2 million gallons. The parcel contains 60,000-gallons of hard tank water storage, and an additional 60,000 gallons of hard tank storage is proposed. The applicant estimates an annual water use of 172,000 gallons. Processing such as drying and curing will occur onsite in a proposed structure, further processing will occur on a contiguous parcel under the same ownership (APN 221-181-007. Power for the operation is provided by solar and a backup generator is onsite to provide supplemental energy. The operation will not require employees as it will be operated by four family members.
- EVIDENCE:** a) Project File: PLN-11830-SP
- 2. FINDING:** **CEQA.** The requirements of the California Environmental Quality Act have been complied with. The Humboldt County Planning Commission has considered the Addendum to the Mitigated Negative Declaration (MND) prepared for the Commercial Medical Marijuana Land Use Ordinance (CMMLUO) adopted by the Humboldt County Board of Supervisors on

January 26, 2016.

EVIDENCE:

- a) Addendum prepared for the proposed project.
- b) The proposed project does not present substantial changes that would require major revisions to the previous MND. No new information of substantial importance that was not known and could not be known at the time was presented as described by §15162(c) of CEQA Guidelines.
- c) A *Water Resource Protection Plan* (WRPP) was prepared by Timberland Resource Consultants in September of 2019 to show compliance with the North Coast Regional Water Quality Control Board Order No. 2015-0023.
- d) The continued cultivation of 10,000 square feet of outdoor commercial cannabis cultivation is not anticipated to impact any special status species or sensitive natural communities. A review of the Humboldt County Web GIS found that the project site is over one mile from any known sensitive receptor.
- e) The continued cultivation of 10,000 square-feet is not anticipated to impact any tribal cultural resources. The project was referred to the Bear River Band of Rohnerville Rancheria who requested that the applicant adhere to the Inadvertent Discovery Protocol.
- f) The applicant is in the process of finalizing a Lake and Streambed Alteration Agreement with the California Department of Fish and Wildlife. The applicant will be required to adhere to the provisions of the LSAA.
- g) A Road Evaluation Report was prepared for Blue Slide Creek Road. Blue Slide Creek Road meets the functional capacity required for the project needs provisions have been made within the applicants *Water Resource Protection Plan* to prevent erosion and sediment discharge to surface waters.

FINDINGS FOR SPECIAL PERMIT

3. FINDING

The proposed development is in conformance with the County General Plan, Open Space Plan, and the Open Space Action Program.

EVIDENCE

- a) General agriculture is a use type permitted in the Residential Agriculture (RA) land use designation. The existing cannabis cultivation, an agricultural product, is within land planned and zoned for agricultural purposes, consistent with the use of Open Space land for managed production of resources. The project is consistent with, and complimentary to, the Open Space Plan and its Open Space Action Program.

4. FINDING

The proposed development is consistent with the purposes of the existing U zone in which the site is located.

EVIDENCE

- a) The Unclassified or U Zone is intended to be applied to areas of the County in which general agriculture residential uses are the desirable predominant uses.
- b) All general agricultural uses are principally permitted in the U zone.

- c) Humboldt County Code section 314-55.4.8.2.2 allows the issuance of a Special Permit for all or some of the cultivation area that was in existence prior to January 1, 2016. The application for 10,000 square feet of existing outdoor cultivation on a 40-acre parcel is consistent with the CMMLUO and with the cultivation area verification prepared by the County.

5. FINDING

The proposed development is consistent with the requirements of the CMMLUO Provisions of the Zoning Ordinance.

EVIDENCE

- a) The CMMLUO allows existing cannabis cultivation to be permitted in areas zoned U (HCC 314-55.4.8.2.2).
- b) The parcel was created in compliance with all applicable state and local subdivision regulations as it was created in its current configuration per Creation Deed 1912-69150.
- c) The project will obtain irrigation water from two existing ponds onsite. One of which is a rainwater catchment pond, and the other is fed by a class III ephemeral stream. The applicant maintains a water right for use of the pond and will practice forbearance from April 1st to October 31st.
- d) The applicant is in the process of finalizing a Lake and Streambed Alteration Agreement with the California Department of Fish and Wildlife. The applicant will be required to adhere to the provisions of the LSAA.
- e) All fertilizers, fuel, pesticides, or otherwise hazardous materials will be properly stored in an 80 square-foot secondary containment unit.
- f) The location of the cultivation complies with all setbacks required in Section 314-55.4.11(d). It is more than 30 feet from any property line, more than 600 feet from any school, school bus stop, church, or other place of worship, public park, or Tribal Cultural Resource.

6. FINDING

The continued cultivation of 10,000 square feet of cannabis cultivation and the conditions under which it may be operated or maintained will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity.

EVIDENCE

- a) The site is in a rural part of the County where the typical parcel size is over 40 acres and many of the land holdings are very large. Approving cultivation on this site and the other sites which have been approved or are in the application process will not change the character of the area due to the large parcel sizes in the area.
- b) The location of the cultivation complies with all setbacks required in Section 314-55.4.11(d). It is more than 30 feet from any property line and more than 600 feet from any school, church, public park or Tribal Cultural Resource.
- c) Irrigation water will come from a rainwater catchment pond, and a spring-fed pond for which the applicant maintains a water right. The applicant will forebear from using the spring-fed pond during the forbearance period from April 1st to October 31st.
- d) Provisions have been made in the applicant's *Water Resource Protection Plan* to minimize discharge of sediment off-site, improve the private access

road, and remediate other historic cultivation areas and waste.

7. FINDING

The existing development does not reduce the residential density for any parcel below that utilized by the Department of Housing and Community Development in determining compliance with housing element law.

EVIDENCE

- a) The parcel was not included in the housing inventory of Humboldt County's 2019 Housing Element but does have the potential to support one housing unit. The approval of cannabis cultivation on this parcel will not conflict with the ability for a residence to be constructed on this parcel.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Humboldt County Zoning Administrator does hereby:

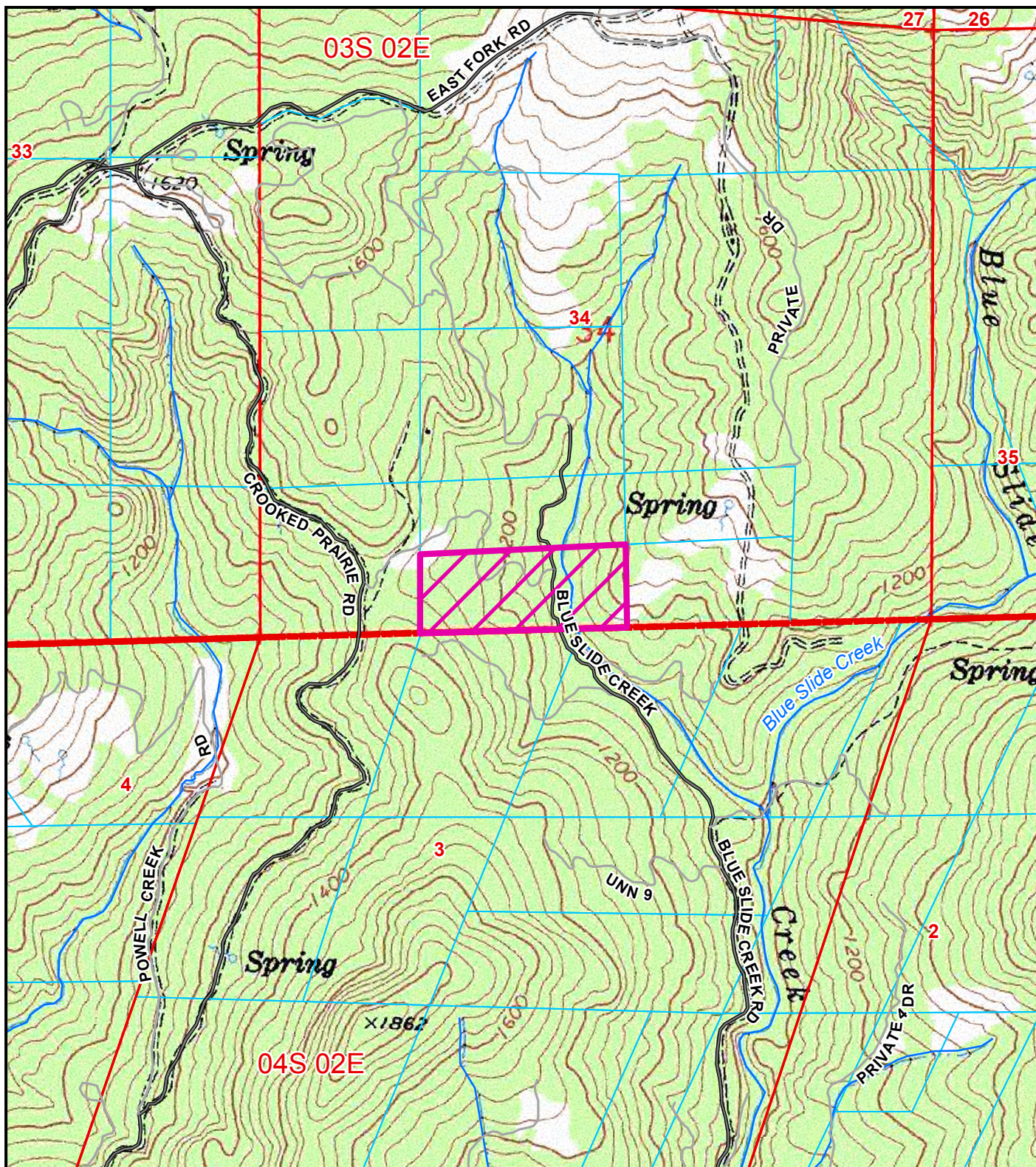
- Adopt the findings set forth in this resolution; and
- Conditionally approves the Jarrett Rolff Special Permit based upon the Findings and Evidence and subject to the conditions of approval attached hereto as Attachment 1 and incorporated herein by reference; and

Adopted after review and consideration of all the evidence on July 1, 2021.

DECISION:

I, John Ford, Zoning Administrator of the County of Humboldt, do hereby certify the foregoing to be a true and correct record of the action taken on the above-entitled matter by said Administrator at a meeting held on the date noted above.

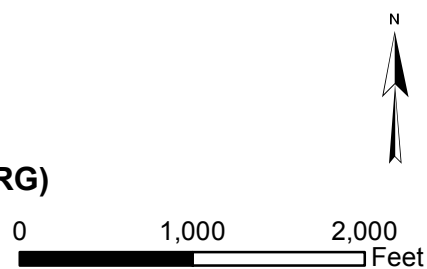
John Ford, Zoning Administrator,
Planning and Building Department

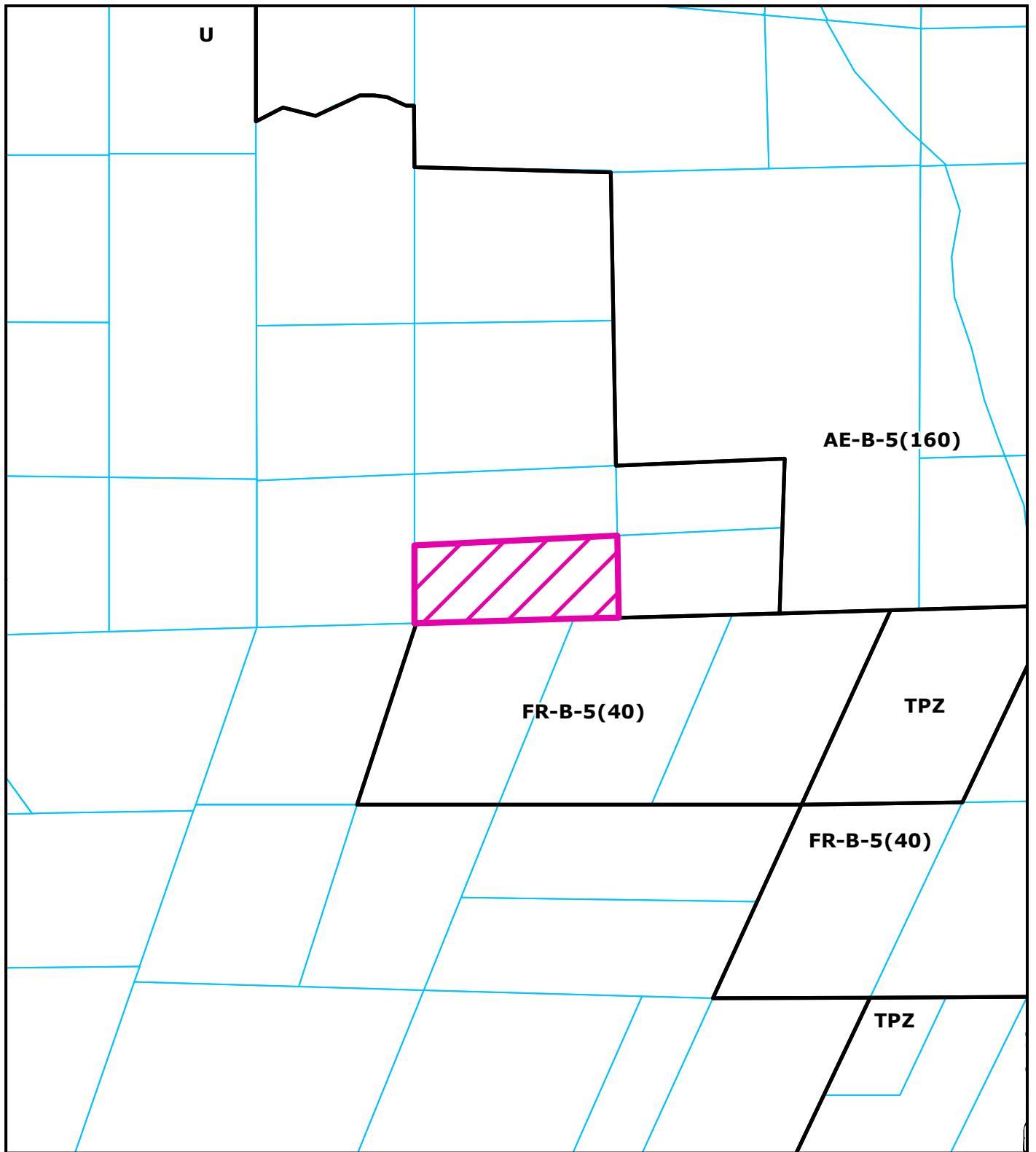


TOPO MAP
PROPOSED FEM-O-RAL FARMS
BRICELAND AREA
ZCC-16-266
APN: 221-181-020
T03S R02E S34 HB&M (ETTERSBURG)

Project Area = 

This map is intended for display purposes and should not be used for precise measurement or navigation. Data has not been completely checked for accuracy.






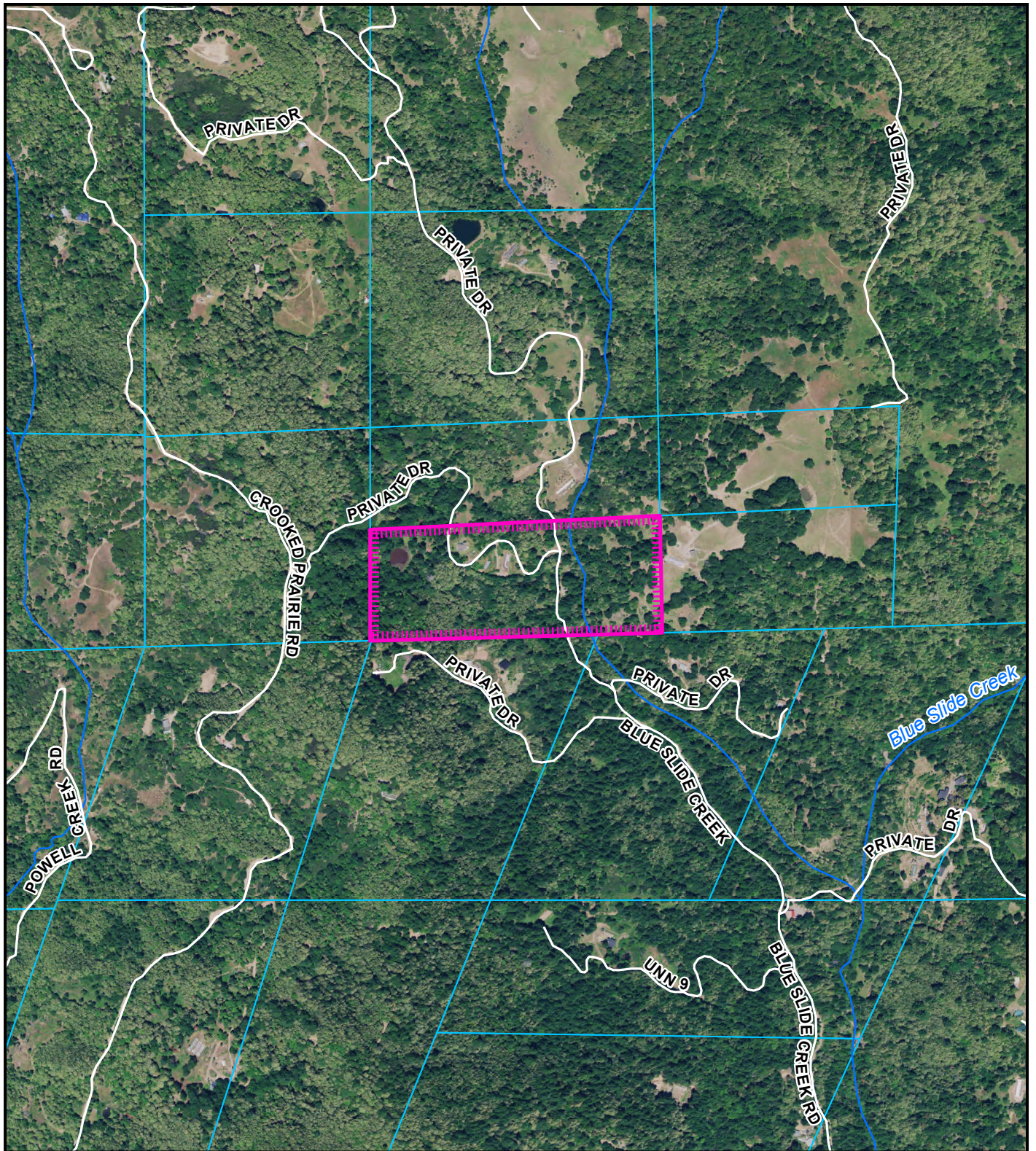
Project Area = 

**ZONING MAP
PROPOSED FEM-O-RAL FARMS
BRICELAND AREA
ZCC-16-266
APN: 221-181-020
T03S R02E S34 HB&M (ETTERSBURG)**

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0 1,000 2,000 Feet

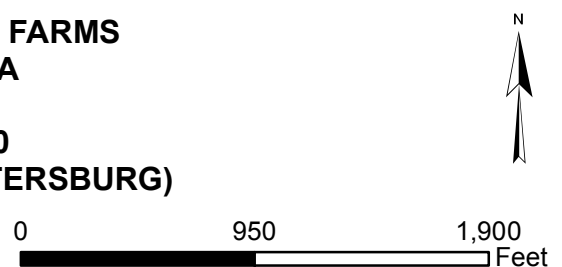


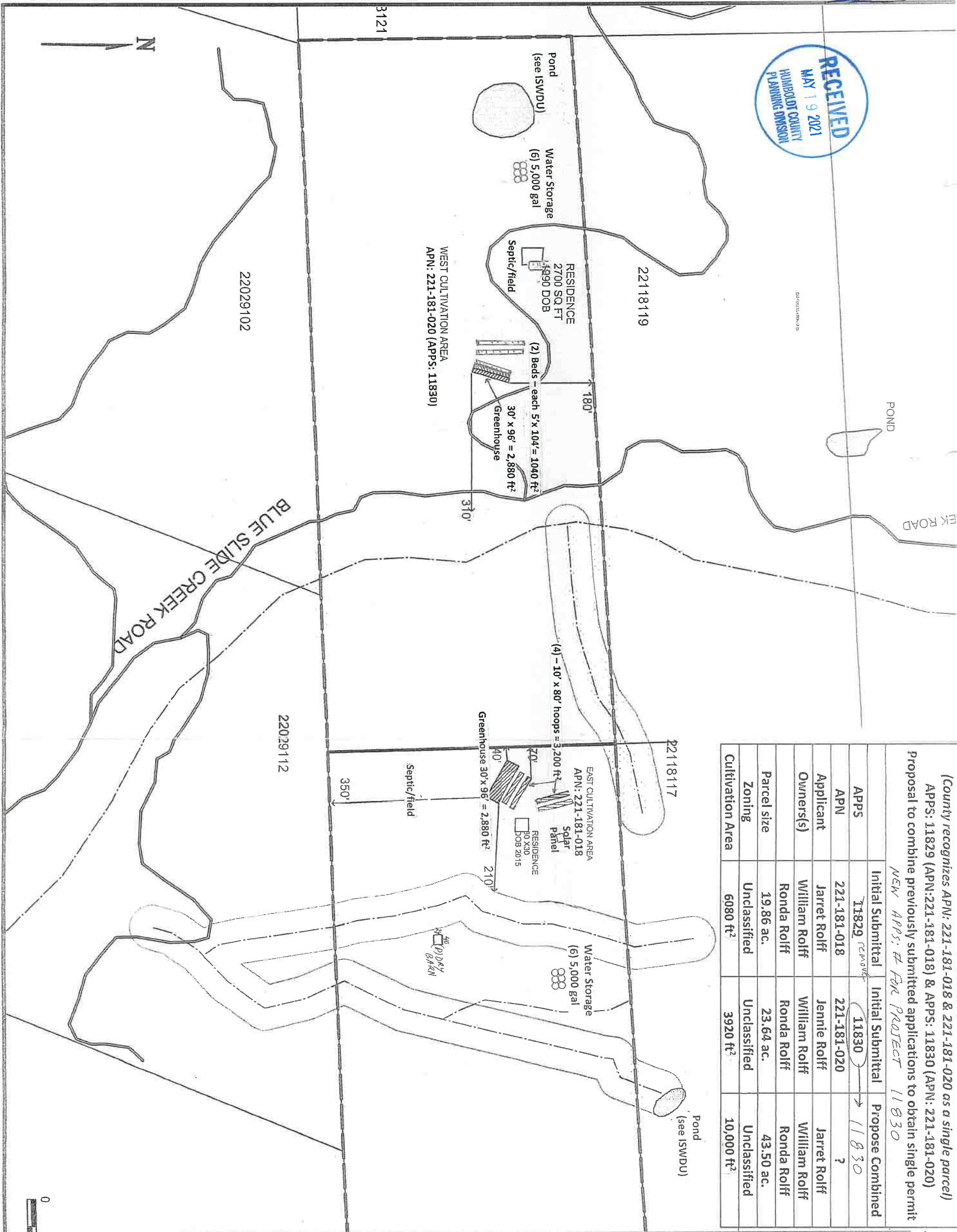



**AERIAL MAP
PROPOSED FEM-O-RAL FARMS
BRICELAND AREA
ZCC-16-266
APN: 221-181-020
T03S R02E S34 HB&M (ETTERSBURG)**

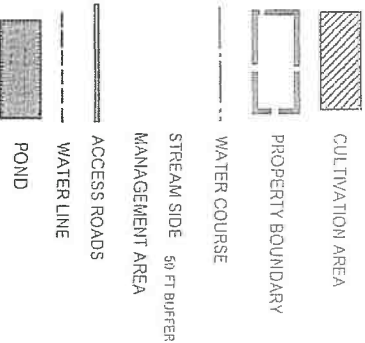
Project Area = 

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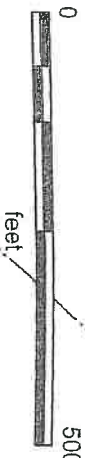


SITE PLAN				
(County recognizes APN: 221-181-018 & 221-181-020 as a single parcel)				
APPS: 11829 (APN:221-181-018) & APPS: 11830 (APN: 221-181-020)				
Proposal to combine previously submitted applications to obtain single permit				
NEW APPS: # For PROJECT 11830				
APPS	Initial Submittal	Initial Submittal	Propose Combined	
APN	11829	11830	11830	
Applicant	Jarret Rolff	Jennie Rolff	Jarret Rolff	
Owners(s)	William Rolff	William Rolff	William Rolff	
Parcel size	19.86 ac.	23.64 ac.	43.50 ac.	
Zoning	Unclassified	Unclassified	Unclassified	
Cultivation Area	6080 ft²	3920 ft²	10,000 ft²	



DIRECTIONS TO SITE:
DRIVING SOUTH ON US HWY 101
TAKE EXIT 633 FOR SALMON CREEK RD
IN 0.8 MI TURN LEFT TO STAY ON
SALMON CREEK RD
IN 2.0 MI TURN LEFT ONTO THOMAS RD
IN 4.6 MI THOMAS RD TURNS RIGHT AND
BECOMES UPPER THOMAS RD
CONTINUE ON THOMAS RD
IN 1 MI TURN LEFT ONTO PERRY RD
IN 1.9 MI TURN LEFT TO STAY ON PERRY MEADOW RD
IN 0.3 MI TURN RIGHT ONTO E FORK
IN 1.2 MI TURN LEFT
THE SITE IS LOCATED AT:
5351 BLUE SLIDE CREEK ROAD, WHITETHORN

THERE ARE NO SCHOOLS, PLACES OF WORSHIP,
OR PUBLIC PARKS WITHIN 800 FT OF THE
CULTIVATION AREAS. THERE ARE NO OFF SITE
RESIDENCES LOCATED WITHIN 300
FEET OF THE CULTIVATION AREA.



ATTACHMENT 1

RECOMMENDED CONDITIONS OF APPROVAL

APPROVAL OF THE SPECIAL PERMIT IS CONDITIONED ON THE FOLLOWING TERMS AND REQUIREMENTS WHICH MUST BE SATISFIED BEFORE THE PROVISIONAL CANNABIS CULTIVATION PERMIT CAN BE FINALIZED.

A. General Conditions

1. The applicant is responsible for obtaining all necessary County and State permits and licenses, and for meeting all requirements set forth by other regulatory agencies.
2. The applicant is required to pay for permit processing on a time and material basis as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of Supervisors. The Planning and Building Department will provide a bill to the applicant after the decision. Any and all outstanding planning fees to cover the processing of the application to decision by the Hearing Officer shall be paid to the Humboldt County Planning Division, 3015 "H" Street, Eureka.
3. The Applicant is responsible for costs for post-approval review for determining project conformance with conditions. A deposit is collected to cover this staff review. Permit conformance with conditions must be demonstrated prior to release of building permit or initiation of use and at time of annual inspection. A conformance review deposit as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of Supervisors (currently \$750) shall be paid within sixty (60) days of the effective date of the permit or upon filing of the Compliance Agreement (where applicable), whichever occurs first. Payment shall be made to the Humboldt County Planning Division, 3015 "H" Street, Eureka.
4. A Notice of Determination (NOD) will be prepared and filed with the County Clerk for this project in accordance with the State CEQA Guidelines. The Department will file the NOD and will charge this cost to the project.
5. Within 60 days of the effective date of permit approval, the applicant shall execute a Compliance Agreement with the Humboldt County Planning and Building Department detailing all necessary permits and infrastructure improvements described under Conditions of Approval #6 through #10. The agreement shall provide a timeline for completing all outstanding items. All activities detailed under the agreement must be completed to the satisfaction of the Planning and Building Department before the permit may be finalized and no longer considered provisional.
6. A metering device shall be installed at the point of withdrawal from both ponds to ensure adequate water supply for the project needs.
7. Until such time that the wastewater treatment system is installed and permitted the applicant will provide receipt of portable toilets to the Division of Environmental Health annually. A copy of these receipts shall be kept onsite and made available at the applicant's annual inspection.
8. The applicant shall adhere to the following recommendations made by the Department of Public Works Land Use Division:
 - a) The applicant shall improve and maintain visibility where Blue Slide Creek Road intersects with Briceland-Thorne Road as recommended by the Department of Public Works- Land Use Division in accordance with the County's Sight Visibility Ordinance. Visibility will be assessed at the applicant's annual inspection.

- b) If Briceland-Thorne Road has a paved surface at the location of Blue Slide Creek Road, the applicant shall obtain an encroachment permit and the access road shall be paved for a minimum width of 20 feet and a length of 50 feet where it intersects the County Road.

A letter or similar communication from the Department of Public Works stating the work has been completed to their satisfaction will satisfy this condition.

9. The applicant shall be compliant with the County of Humboldt's Certified Unified Program Agency (CUPA) requirements regarding hazardous materials. A written verification of compliance shall be required before any provisional permits may be finalized. Ongoing proof of compliance with this condition shall be required at each annual inspection in order to keep the permit valid.
10. The applicant shall execute and file with the Planning Division the statement titled, "Notice and Acknowledgment regarding Agricultural Activities in Humboldt County," ("Right to Farm" ordinance) as required by the HCC and available at the Planning Division.

B. Ongoing Requirements/Development Restrictions Which Must be Satisfied for the Life of the Project:

1. The combination of background, generator and greenhouse fan or other operational equipment created noise must not result in the harassment of Northern Spotted Owl species as required to meet the performance standards for noise set by Department Policy Statement No. 16-005 clarifying CMMLUO Section 55.4.11 (o) requirements. The combined noise levels measured at 100 feet or the edge of habitat, whichever is closer, shall be at or below 50 decibels. Conformance will be evaluated using current auditory disturbance guidance prepared by the United State Fish and Wildlife Service, and further consultation where necessary. A building permit shall be obtained should any structures be necessary for noise attenuation.
2. All artificial light utilized in the nursery greenhouse shall be limited to 6 watts per square foot with no wattage limit in the ancillary propagation greenhouse. All artificial lighting shall be fully contained within structures such that no light escapes (e.g., through blackout curtains). Structures shall be enclosed between 30 minutes prior to sunset and 30 minutes after sunrise to prevent disruption to crepuscular wildlife. Security lighting shall be motion activated and comply with the International Dark-Sky Association standards and Fixture Seal of Approval Program; see: <https://www.darksky.org/our-work/lighting/lighting-for-citizens/lighting-basics/>. Standards include but are not limited to the following, 1) light shall be shielded and downward facing, 2) shall consist of Low-Pressure Sodium (LPS) light or low spectrum Light Emitting Diodes (LED) with a color temperature of 3000 kelvins or less and 3) only placed where needed.
3. Should the Humboldt County Planning Division receive complaints that the lighting or noise is not complying with the standards listed above in items B.1. and B.2., within ten (10) working days of receiving written notification that a complaint has been filed, the applicant shall submit written verification that the lights' shielding and alignment, and noise levels have been repaired, inspected, and corrected as necessary.
4. Ensure all generators be located on stable surfaces with a minimum 200 feet buffer from all waterways measured horizontally from the outer edge of the riparian drip zone, per CDFW referral comments received January 4, 2018.
5. The applicant shall maintain a weekly record of water used for cultivation. A copy of these records shall be stored and maintained at the cultivation site and kept separately or differentiated from any record of water use for domestic, fire protection, or other irrigation purposes. Irrigation records shall be made available at the applicant's annual inspection.

6. Prohibition on use of synthetic netting. To minimize the risk of wildlife entrapment, Permittee shall not use any erosion control materials that contain synthetic (e.g., plastic or nylon) netting, including photo- or biodegradable plastic netting. Geotextiles, fiber rolls, and other erosion control measures shall be made of loose-weave mesh, such as jute, hemp, coconut (coir) fiber, or other products without welded weaves.
7. All refuse shall be contained in wildlife proof storage containers, at all times, and disposed of at an authorized waste management facility.
8. Should any wildlife be encountered during work activities, the wildlife shall not be disturbed and be allowed to leave the work site unharmed.
9. The use of anticoagulant rodenticide is prohibited.
10. The operator shall provide information to all employees about the potential health impacts of cannabis use on children. Information shall be provided by posting the brochures from the Department of Health and Human Services titled "Cannabis Palm Card" and "Cannabis Rack Card." This information shall also be provided to all employees as part of the employee orientation.
11. All components of project shall be developed, operated, and maintained in conformance with the Project Description, the approved Site Plan, the Plan of Operations, and these conditions of approval. Changes shall require modification of this permit except where consistent with Humboldt County Code Section 312-11.1, Minor Deviations to Approved Plot Plan. If offsite processing is chosen to be the preferred method of processing, this permit shall be modified to identify the offsite licensed facility.
12. Cannabis cultivation and other commercial cannabis activity shall be conducted in compliance with all laws and regulations as set forth in the CMMLUO and MAUCRSA, as applicable to the permit type.
13. If operating pursuant to a written approved compliance agreement, permittee shall abate or cure violations at the earliest feasible date, but in no event no more than two (2) years from the date of issuance of a provisional clearance or permit. Permittee shall provide plans for curing such violations to the Planning and Building Department within one (1) year of issuance of the provisional clearance or permit. If good faith effort toward compliance can be shown within the two years following the issuance of the provisional clearance or permit, the Department may, at the discretion of the Director, provide for extensions of the provisional permit to allow additional time to meet the outstanding requirements.
14. Possession of a current, valid required license, or licenses, issued by any agency of the State of California in accordance with the MAUCRSA, and regulations promulgated thereunder, as soon as such licenses become available.
15. Compliance with all statutes, regulations, and requirements of the California State Water Resources Control Board and the Division of Water Rights, at a minimum to include a statement of diversion of surface water from a stream, river, underground stream, or other watercourse required by Water Code Section 5101, or other applicable permit, license, or registration, as applicable.
16. Confinement of the area of cannabis cultivation, processing, manufacture, or distribution to the locations depicted on the approved site plan. The commercial cannabis activity shall be set back at least 30 feet from any property line, and 600 feet from any school, school bus stop, church or other place of religious worship, or tribal cultural resources, except where a reduction to this setback has been approved pursuant to Section 55.4.11(d).

17. Maintain enrollment in Tier 1, 2, or 3, certification with State Water Resources Control Board General Order WQ 2019-0001-DWQ, if applicable, or any substantially equivalent rule that may be subsequently adopted by the County of Humboldt or other responsible agency.
18. Comply with the terms of any applicable Lake and Stream Alteration (1600 or 1602) Permit obtained from the California Department of Fish and Wildlife (CDFW).
19. Comply with the terms of a less-than-3-acre conversion exemption or timberland conversion permit, approved by the California Department of Forestry and Fire Protection (Cal Fire), if applicable.
20. Consent to an annual on-site compliance inspection, with at least 24 hours prior notice, to be conducted by appropriate County officials during regular business hours (Monday through Friday, 9:00 a.m. to 5:00 p.m., excluding holidays).
21. Refrain from the improper storage or use of any fuels, fertilizer, pesticide, fungicide, rodenticide, or herbicide.
22. Pay all applicable application, review for conformance with conditions and annual inspection fees.
23. Fuel shall be stored and handled in compliance with applicable state and local laws and regulations, including the County of Humboldt's Certified Unified Program Agency (CUPA) program, and in such a way that no spillage occurs.
24. The master log-books maintained by the applicant to track production and sales shall be maintained for inspection by the County.
25. Pay all applicable taxes as required by the Humboldt County Commercial Marijuana Cultivation Tax Ordinance (Humboldt County Code Section 719-1 et seq.).

Performance Standards for Cultivation and Processing Operations

26. Pursuant to Business and Professions Code section 26051.5(a)(8), an applicant seeking a cultivation license shall "provide a statement declaring the applicant is an 'agricultural employer,' as defined in the Alatorre-Zenovich-Dunlap-Berman Agricultural Labor Relations Act of 1975 (Part 3.5 commencing with Section 1140) of Division 2 of the Labor Code), to the extent not prohibited by law."
27. Cultivators shall comply with all applicable federal, state, and local laws and regulations governing California Agricultural Employers, which may include federal and state wage and hour laws, Cal/OSHA, OSHA, the California Agricultural Labor Relations Act, and the Humboldt County Code (including the Building Code).
28. Cultivators engaged in processing shall comply with the following Processing Practices:
 - a. Processing operations must be maintained in a clean and sanitary condition including all work surfaces and equipment.
 - b. Processing operations must implement protocols which prevent processing contamination and mold and mildew growth on cannabis.
 - c. Employees handling cannabis in processing operations must have access to facemasks and gloves in good operable condition as applicable to their job function.
 - d. Employees must wash hands sufficiently when handling cannabis or use gloves.
29. All persons hiring employees to engage in commercial cannabis cultivation and processing shall comply with the following Employee Safety Practices:

- a. Cultivation operations and processing operations must implement safety protocols and provide all employees with adequate safety training relevant to their specific job functions, which may include:
 - (1) Emergency action response planning as necessary;
 - (2) Employee accident reporting and investigation policies;
 - (3) Fire prevention;
 - (4) Hazard communication policies, including maintenance of material safety data sheets (MSDS);
 - (5) Materials handling policies;
 - (6) Job hazard analyses; and
 - (7) Personal protective equipment policies, including respiratory protection.
 - b. Cultivation operations and processing operations must visibly post and maintain an emergency contact list which includes at a minimum:
 - (1) Operation manager contacts;
 - (2) Emergency responder contacts; and
 - (3) Poison control contacts.
 - c. At all times, employees shall have access to safe drinking water and toilets and handwashing facilities that comply with applicable federal, state, and local laws and regulations. Plumbing facilities and water source must be capable of handling increased usage without adverse consequences to neighboring properties or the environment.
 - d. On site-housing provided to employees shall comply with all applicable federal, state, and local laws and regulations.
30. All cultivators shall comply with the approved processing plan as to the following:
- a. Processing practices
 - b. Location where processing will occur
 - c. Number of employees, if any
 - d. Employee Safety Practices
 - e. Toilet and handwashing facilities
 - f. Plumbing and/or septic system and whether or not the system is capable of handling increased usage
 - g. Drinking water for employees
 - h. Plan to minimize impact from increased road use resulting from processing
 - i. On-site housing, if any
31. Term of Commercial Cannabis Activity Special Permit. Any Commercial Cannabis Cultivation SP issued pursuant to the CMMLUO shall expire one (1) year after date of issuance, and on the anniversary date of such issuance each year thereafter, unless an annual compliance inspection has been conducted and the permittees and the permitted site have been found to comply with all conditions of approval.
32. If the inspector or other County official determines that the permittees or site do not comply with the conditions of approval, the inspector shall serve the permit holder with a written statement identifying the items not in compliance, and the action that the permit holder may take to cure the noncompliance, or file an appeal within ten (10) days of the date that the written statement is delivered to the permit holder. Personal delivery or mailing the written statement to the mailing address listed on the application by regular mail, plus three (3) days after date of mailing, shall constitute delivery. The permit holder may request a reinspection to determine whether or not the permit holder has cured all issues of noncompliance. Failure to request reinspection or to cure any items of noncompliance shall terminate the Special Permit, immediately upon the expiration of any appeal period, or final determination of the appeal if an appeal has been timely filed pursuant to Section 55.4.13.

33. Permit Renewals to Comply with Updated Laws and Regulations. Permit renewal is subject to the laws and regulations effective at the time of renewal, which may be substantially different than the regulations currently in place and may require the submittal of additional information to ensure that new standards are met.
34. Acknowledgements to Remain in Full Force and Effect. Permittee acknowledges that the County reserves the right to reduce the size of the area allowed for cultivation under any clearance or permit issued in accordance with this section in the event that environmental conditions, such as a sustained drought or low flows in the watershed in which the cultivation area is located, will not support diversions for irrigation.
35. Transfers. Transfer of any leases or permits approved by this project is subject to the review and approval of the Planning Director for conformance with CMMLUO eligibility requirements and agreement to permit terms and acknowledgments. The fee for required permit transfer review shall accompany the request. The request shall include the following information:
 - a. Identifying information for the new owner(s) and management as required in an initial permit application;
 - b. A written acknowledgment by the new owner in accordance as required for the initial permit application;
 - c. The specific date on which the transfer is to occur;
 - d. Acknowledgement of full responsibility for complying with the existing permit; and
 - e. Execution of an Affidavit of Non-diversion of Medical Cannabis.
36. Inspections. The permit holder and subject property owner are to permit the County or representative(s) or designee(s) to make inspections at any reasonable time deemed necessary to assure that the activities being performed under the authority of this permit are in accordance with the terms and conditions prescribed herein.

Informational Notes:

1. Pursuant to Section 314-55.4.11(a) of the CMMLUO, if upon inspection for the initial application, violations of any building or other health, safety, or other state or county statute, ordinance, or regulation are discovered, the Planning and Building Department may issue a provisional clearance or permit with a written approved Compliance Agreement. By signing the agreement, the permittee agrees to abate or cure the violations at the earliest opportunity but in no event more than two (2) years after the date of issuance of the provisional clearance or permit. Plans for curing the violations shall be submitted to the Planning and Building Department by the permittee within one (1) year of the issuance of the provisional certificate or permit. The terms of the compliance agreement may be appealed pursuant to Section 314-55.4.13 of the CMMLUO.
2. This provisional permit approval shall expire and become null and void at the expiration of one (1) year after all appeal periods have lapsed (see "Effective Date"), except where the Compliance Agreement per Condition of Approval #5 has been executed and the corrective actions pursuant to the agreement are being undertaken. Once building permits have been secured and/or the use initiated pursuant to the terms of the agreement, the use is subject to the Permit Duration and Renewal provisions set forth in the Ongoing Requirements/Development Restrictions, above.
3. If cultural resources are encountered during construction activities, the contractor on-site shall cease all work in the immediate area and within a 50-foot buffer of the discovery location. A qualified archaeologist and the appropriate Tribal Historic Preservation Officer(s) are to be contacted to evaluate the discovery and, in consultation with the applicant and the lead agency, develop a treatment plan in any instance where significant impacts cannot be avoided.

Prehistoric materials may include obsidian or chert flakes, tools, locally darkened midden soils, groundstone artifacts, shellfish or faunal remains, and human burials. If human remains are found,

California Health and Safety Code 7050.5 requires that the County Coroner be contacted immediately at 707-445-7242. If the Coroner determines the remains to be Native American, the Native American Heritage Commission will then be contacted by the Coroner to determine appropriate treatment of the remains pursuant to Public Resources Code (PRC) Section 5097.98. Violators shall be prosecuted in accordance with PRC Section 5097.99.

ATTACHMENT 2

**CEQA ADDENDUM TO THE
MITIGATED NEGATIVE DECLARATION FOR THE COMMERCIAL MEDICINAL MARIJUANA LAND USE
ORDINANCE**

**Commercial Medical Marijuana Land Use Ordinance Mitigated Negative Declaration (MND)
(State Clearinghouse # 2015102005), January 2016**

**APN 221-181-018 and 221-181-020, Blue Slide Creek Road, Briceland Area
County of Humboldt**

**Prepared By
Humboldt County Planning and Building Department
3015 H Street, Eureka, CA 95501**

June 2021

Background

Modified Project Description and Project History –

The Commercial Medical Marijuana Land Use Ordinance (CMMLUO) established specific regulations for commercial cannabis operations in Humboldt County. These regulations were developed in concert with the Mitigated Negative Declaration (MND) that was adopted for the ordinance in order to implement the mitigation measures of the MND. The MND addressed the broad environmental impacts that could be expected to occur from the adoption and implementation of the ordinance. The MND specified that the regulations established in the CMMLUO would mitigate the impacts of existing cannabis operations by establishing regulations for an existing unregulated land use to help prevent and reduce environmental impacts that are known to result from unpermitted baseline cultivation operations. Commercial cannabis cultivation in existence as of December 31, 2015 was included in the environmental baseline for the MND and the MND states that "Bringing existing operations into compliance will help to attenuate potential environmental effects from existing cultivation activities, including aesthetic impacts resulting from improper operation or poor siting." The current project was contemplated by the MND and compliance with the provisions of the CMMLUO will fully mitigate all environmental impacts of the project to a less than significant level.

The modified project is a Special Permit for 10,000 square-feet of existing outdoor cultivation utilizing light deprivation techniques. Water for irrigation will be sourced from two existing ponds, one of which is a rainwater catchment pond, and the other is a spring-fed pond. The ponds have a combined capacity of over 2 million gallons. The parcel contains 60,000-gallons of hard tank water storage, and an additional 60,000 gallons of hard tank storage is proposed. The applicant estimates an annual water use of 172,000 gallons. Processing such as drying and curing will occur onsite in a proposed structure, further processing will occur on a contiguous parcel under the same ownership (APN 221-181-007). Power for the operation is provided by solar and a backup generator is onsite to provide supplemental energy. The operation will not require employees as it will be operated by family members.

The applicant submitted a *Cultural Resource Investigation* prepared by Archaeological Resource and Supply Co., dated April 2019. The existing operation is not anticipated to impact any Tribal Cultural resources. The project was referred to the Bear River Band of Rohnerville Rancheria who recommended that the applicant adhere to the inadvertent discovery protocol.

A review of the California Natural Diversity Database (CNDDDB) found that no species of special concern have been mapped near the subject parcel. The nearest Northern Spotted Owl activity center mapped in the CNDDDB is located 1.9 miles northwest of the project site. The subject parcel contains Class II and Class III watercourses as well as an spring-fed pond. The applicant maintains a water right for use of the pond for irrigation water and fire suppression. No special status plant or animal species or sensitive natural communities are anticipated to be impacted by the existing cultivation site.

The modified project is consistent with the adopted MND for the CMMLUO because it complies with all standards of the CMMLUO which were intended to mitigate for impacts of existing cultivation. These include compliance with noise and light standards to limit disturbance to wildlife, increased water storage to allow for complete forbearance from water diversion during the dry season, and proper storage of fertilizers and soil amendments.

Purpose - Section 15164 of the California Environmental Quality Act (CEQA) provides that the lead agency shall prepare an addendum to a previously certified Mitigated Negative Declaration (MND) if some changes or additions are necessary but none of the conditions described in Section 15162 calling for a subsequent EIR or Negative Declaration have occurred. Section 15162 states that when an EIR has been certified for a project, no subsequent EIR shall be prepared for that project unless the lead agency determines, on the basis of substantial evidence in the light of the whole record, one or more of the following:

1. Substantial changes are proposed in the project which require major revisions of the previous MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;
2. Substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or
3. New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous MND was certified as complete, shows any of the following: A) the project will have one or more significant effects not discussed in the previous MND; B) significant effect previously examined will be substantially more severe than shown in the previous MND; C) mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative; or D) mitigation measures or alternatives which are considerably different from those analyzed in the previous MND would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.

Summary of Significant Project Effects and Mitigation Recommended

No changes are proposed for the original MND recommended mitigations. The proposal to authorize the project and minor improvements necessary to bring the operation into compliance with the CMMLUO is fully consistent with the impacts identified and adequately mitigated in the original MND. The project as conditioned to implement responsible agency recommendations, results in no significantly adverse environmental effects beyond those identified in the MND. Compliance with the CMMLUO ensures consistency with the adopted MND and provides for mitigation of all project related impacts to a less than significant level.

In reviewing the application for consistency with the adopted MND, the County considered the following information and studies, among other documents (see Attachment 3 for a complete listing):

- Site Plan prepared by Timberland Resource Consultants dated May 2021.
- *Cultivation and Operations Plan* prepared by Timberland Resource Consultants dated May 2021.
- Right to Divert and Use Water, Certificate H100597 with the State Water Resources Control Board, Division of Water Rights.
- *Water Resource Protection Plan (WRPP)* prepared by Timberland Resource Consultants for the North Coast Regional Water Quality Control Board Order No. 2015-0023.
- Division of Environmental Health Attachment for Commercial Medical Marijuana (CMM) Clearances/ Permits.
- *Cultural Resources Investigation* prepared by Archaeological Research and Supply Co. dated April 2019.

Other CEQA Considerations

Staff suggests no changes for the revised project.

EXPLANATION OF DECISION NOT TO PREPARE A SUPPLEMENTAL MITIGATED NEGATIVE DECLARATION OR ENVIRONMENTAL IMPACT REPORT

See **Purpose** statement above.

In every impact category analyzed in this review, the projected consequences of the current project proposal are either the same or less than significantly increased than the initial project for which the MND was adopted. Based upon this review, the following findings are supported:

FINDINGS

1. The proposed project will permit an existing cannabis operation and bring the operation into compliance with county and state requirements intended to adequately mitigate environmental impacts.
2. The circumstances under which the project was approved have not changed substantially. There are no new significant environmental effects and no substantial increases in the severity of previously identified effects.
3. For the current proposed project, there has been no new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous MND was adopted as complete.

CONCLUSION

Based on these findings it is concluded that an Addendum to the certified MND is appropriate to address the requirements under CEQA for the current project proposal. All of the findings, mitigation requirements, and mitigation and monitoring program of the MND, remain in full force and effect on the original project.

ATTACHMENT 3

Applicant's Evidence in Support of the Required Findings

Attachment 3 includes a listing of all written evidence which has been submitted by the applicant in support of making the required findings. The following materials are on file with the Planning Division:

1. The name, contact address, and phone number(s) of the applicant. (Application form on file)
2. If the applicant is not the record title owner of parcel, written consent of the owner for the application with original signature and notary acknowledgement. (On file)
3. Site plan showing the entire parcel, including easements, streams, springs, ponds and other surface water features, and the location and area for cultivation on the parcel with dimensions of the area for cultivation and setbacks from property lines. The site plan shall also include all areas of ground disturbance or surface water disturbance associated with cultivation activities, including access roads, water diversions, culverts, ponds, dams, graded flats, and other related features. If the area for cultivation is within one-quarter mile (1,320 feet) of a school, school bus stop, church or other place of religious worship, public park, or tribal cultural resource, the site plan shall include dimensions showing that the distance from the location of such features to the nearest point of the cultivation area is at least 600 feet. (Site Plan prepared by Timberland Resource Consultants received 5/19/2021 – **Attached** with project Maps)
4. A cultivation and operations plan that meets or exceeds minimum legal standards for water storage, conservation and use; drainage, runoff and erosion control; watershed and habitat protection; proper storage of fertilizers, pesticides, and other regulated products to be used on the parcel; and a description of cultivation activities (outdoor, indoor, mixed light), the approximate date(s) cannabis cultivation activities have been conducted on the parcel prior to the effective date of this ordinance, if applicable, and schedule of activities during each month of the growing and harvesting season. (Cultivation and Operations Plan prepared by Timberland Resource Consultants received 5/19/21 – **Attached**)
5. Copy of the statement of water diversion, or other permit, license or registration filed with the State Water Resources Control Board, Division of Water Rights, if applicable. (**Attached**)
6. Description of water source, storage, irrigation plan, and projected water usage. (Included in the Addendum to the Cultivation Operations Plan (item 4. above).
7. Copy of Notice of Intent and Monitoring Self-Certification and other documents filed with the North Coast Regional Water Quality Control Board demonstrating enrollment in Tier 1, 2 or 3, North Coast Regional Water Quality Control Board Order No. 2015-0023, or any substantially equivalent rule that may be subsequently adopted by the County of Humboldt or other responsible agency. (NOI and reporting, and Water Resources Protection Plan (WRPP) prepared by Timberland Resource Consultants- **Attached**)
8. If any on-site or off-site component of the cultivation facility, including access roads, water supply, grading or terracing, impacts the bed or bank of any stream or other watercourse, a copy of the Streambed Alteration Permit obtained from the California Department of Fish and Wildlife. (Notification- On file)
9. If the parcel is zoned FR, U or TPZ, or involves the conversion of timberland as defined under Section 4526 of the Public Resources Code, a copy of a less-than-3-acre conversion exemption or timberland conversion permit, approved by the California Department of Forestry and Fire Protection (Cal Fire). Alternately, for existing operations occupying sites created through prior unauthorized conversion of timberland, evidence may be provided showing that the landowner

has completed a civil or criminal process and/or entered into a negotiated settlement with Cal Fire. (Not applicable)

10. Consent for on-site inspection of the parcel by County officials at prearranged date and time in consultation with the applicant prior to issuance of any clearance or permit, and once annually thereafter. (On file)
11. For indoor cultivation facilities, identify the source of electrical power and how it will meet with the energy requirements in Section 55.4.8.2.3, and plan for compliance with applicable building codes. (Not applicable)
12. Acknowledge that the County reserves the right to reduce the size of the area allowed for cultivation under any clearance or permit issued in accordance with this Section in the event that environmental conditions, such as a sustained drought or low flows in the watershed, will not support diversions for irrigation. (On file)
13. Acknowledge that the County reserves the right to engage with local tribes before consenting to the issuance of any clearance or permit, if cultivation operations occur within an Area of Traditional Tribal Cultural Affiliation, as defined herein. This process will follow current departmental referral protocol, including engagement with the tribe(s) through coordination with their Tribal Historic Preservation Officer (THPO) or other tribal representatives. This procedure shall be conducted similar to the protocols outlined under SB 18 (Burton) and AB 52 (Gatto), which describe "government to government" consultation, through tribal and local government officials and their designees. During this process, the tribe may request that operations associated with the clearance or permit be designed to avoid, minimize, or mitigate impacts to tribal cultural resources, as defined herein. Examples include, but are not limited to, conducting a site visit with the THPO or their designee to the existing or proposed cultivation site, requiring that a professional cultural resources survey be performed, or requiring that a tribal cultural monitor be retained during project-related ground disturbance within areas of sensitivity or concern. The County shall request that a records search be performed through the California Historical Resources Information System (CHRIS). (On file)
14. *Road Evaluation Report* for Blue Slide Creek Road prepared by Jarrett Rolff, dated November 8, 2018. **(Attached)**
15. Division of Environmental Health Attachment for Commercial Medical Marijuana (CMM) Clearances/ Permits (DEH Form). (On-file)
16. Cultural Resource Investigation prepared by Archaeological Resource and Supply Co. dated April 2019. (On file- Confidential)



Amended CMMLUO SITE/OPERATIONS

APPS: 11829 & 11830 (to be combined – resulting in APPS: 11830)

APN: 221-181-018 & 020 (single legal parcel)

Material presented in this submission is intended to supersede CMMLUO APPS: 11829 (221-181-018) and APPS: 11830 (221-181-020) as the applicant/agent was recently informed by Humboldt County Planning staff that the two aforementioned parcels comprise one (1) legal parcel. It is therefore appropriate to combine the two previously submitted CMMLUO applications (11829 & 11830) into a single application corresponding to the one (1) recognized legal parcel (GIS designation: 221-181-018 & 020).

Interim Permits for 11829 and 11830 have previously been issued. It is the intent of this amended overview to combine the two previous applications into a single application and obtain a single permit for the combined square footage (10,000 ft² OD).

Project Description: The applicant is seeking a Zoning Clearance Certificate under the Humboldt County CMMLUO to allow continued outdoor cannabis cultivation up to 10,000 ft², and development of appurtenant support infrastructure/facilities on the subject parcel. Date stamped Aerial imagery has been previously provided showing cultivation operations occurring prior to January 1, 2016.

The applicant acknowledges that the commercial cannabis activity approval being sought is subject to compliance with other Humboldt County zoning and land use regulations, as well as other applicable provisions of the Humboldt County Code and applicable state laws. Determination of compliance will require multi-agency review of proposed activity/development described in the aforementioned special permit and, may also require site inspections by personnel from various governmental agencies.

If development and/or activities on the subject parcel are determined to be out of compliance with State or County code, regulation or policy, a compliance agreement can be formulated between the applicant and relevant agency or agencies, which includes a compliance timeline whereby operations may continue under a “Provisional Clearance or Permit” and corrective action is initiated to achieve compliance under agreed upon terms.

Parcel Information: The subject parcel (221-181-018 & 221-181-020) is approximately 44 acres and is zoned U – Unclassified with AL40 framework designation. The address assigned to the subject parcel is 5351 Blue Slide Creek Road, Whitethorn, CA.

Topography/Landscape: The native ground surface surrounding the cultivation area slopes to the east gently at approximately 17%. Native tree species cover most of the parcel with open grass-land occupying 15% of the area.

Surface Water Features: Class II & III watercourses and a pond.

Cultivation Area(s) and/or other graded flats: Approved Cultivation under the two (2) previously issued Interim Permits on APN: 221-181-018 & 020 (one legal parcel) shall be **combined into a single permit totaling 10,000 ft² OD** cultivation comprise two (2) cultivation areas.

The eastern cultivation area (221-181-018) is located within a natural meadow and consists of the following:

- 30' x 96' greenhouse
- Four (4) hoop-houses each 10' x 80'
- Total cultivation canopy > 6,080 ft²

The western cultivation area (221-181-020) consists of the following:

- 30' x 96' greenhouse
- (2) – beds, each measuring 5'x 104'
- Outdoor cultivation > 720 ft²

Total cultivation area is 3,920 ft²

Proposed cultivation areas and surrounding ground surfaces have been evaluated in the development of a site-specific Water Resources Protection Plan (WRPP) prepared by Timberland Resource Consultants. If deemed necessary, the WRPP prescribes corrective measures to address conditions which may adversely impact water resources and it will establish a timeline in which to achieve compliance with RWQCB Order No.2015-0023. Corrective measures prescribed in the WRPP do not preclude the need for Cultivation Areas or other manmade features to be brought into compliance with all applicable state and local grading, excavation and erosion/sediment control requirements.

Irrigation Water Demand: The monthly water demand anticipated to maintain the two aforementioned cultivation areas are listed below.

The eastern cultivation area (221-181-018) totaling 6,080 ft² OD; water sourced from Pond 1 described above.

	<i>Greenhouse+Hoops</i>	<i>Gallons</i>
<i>March</i>		3,000
<i>April</i>		8,000
<i>May</i>		9,500
<i>June</i>		16,000
<i>July</i>		19,000
<i>August</i>		17,500
<i>September</i>		12,500
<i>October</i>		7,000

The western cultivation (APN: 221-181-020) area totalling 3,920 ft² OD; water sourced from Pond 2 described above.

	<i>Greenhouse+Beds</i>	<i>Gallons</i>
<i>March</i>		2,000
<i>April</i>		6,000
<i>May</i>		8,500
<i>June</i>		13,000
<i>July</i>		16,000
<i>August</i>		16,500
<i>September</i>		11,500
<i>October</i>		6,000

Totalizing Flow Meters shall be installed in the irrigation system(s) and water usage shall be monitored and recorded in accordance with state/local requirements.

Irrigation Method(s): Irrigation is accomplished by use of drip lines. The flow to drip lines is regulated by timers and adjusted for maximum efficiency taking into consideration temperature, plant demand etc. Water delivery throughout the system is carefully monitored on a regular basis to ensure proper function and responsible water use. Mulch is carefully placed as a top dressing to optimize soil water retention. Occasional hand watering may be employed if needed.

Irrigation Runoff/Erosion control: The use of carefully regulated drip irrigation minimizes the chance of overwatering or residual discharge of irrigation solutions outside of the "targeted" root zone. In the unlikely event that residual discharge did occur it would contact permeable soil on nearly level ground in and around cultivation areas and be rapidly absorbed. **Lateral movement/irrigation runoff** of any irrigation solutions away from the point of ground contact is very unlikely. The ground surface in and around cultivation areas is proactively managed year-round to prevent any unwanted migration of entrained constituents such as fine sediment, fertilizer or other organic particles.

Watershed Protection: Watershed Protection is accomplished through implementation of BMP's and corrective measures prescribed in a **previously submitted** site-specific Water Resources Protection Plan (WRPP) developed by Timberland Resource Consultants, RWQCB approved Third Party Program Administrator. The WRPP identifies various culvert and road adjustments needed within the subject parcel and prescribes a timeline in which to complete corrective measures. Enrollees under R1-2015-0023, engage in ongoing monitoring, reporting and maintenance including periodic site inspections and reviews of operational practices to ensure regulatory requirements related to the following items are being met.

<i>Site maintenance, erosion control, and drainage features</i>	<i>Stream crossing maintenance</i>
<i>Riparian and wetland protection and management</i>	<i>Spoils management</i>
<i>Water storage and use</i>	<i>Irrigation runoff</i>
<i>Fertilizers and soil amendments</i>	<i>Pesticides and herbicides</i>
<i>Petroleum products and other chemicals</i>	<i>Cultivation-related wastes</i>
<i>Refuse and human waste</i>	

Additionally, participants ensure that management measures and controls are effectively protecting water resources, and that any newly developing problems representing a water quality concern are identified and corrected quickly.

The attached Notice of Applicability provides notice that the requirements of the State Water Board *Cannabis Cultivation Policy- Principles and Guidelines for Cannabis Cultivation (Policy)*, and the *General Waste Discharge Requirements and Waiver of Waste Discharge Requirements for Discharges of Waste Associated with Cannabis Cultivation Activities*, **Order WQ 2019-0001-DWQ**

Fertilizers, Pesticides, and other Regulated Products:

List and describe machinery and equipment used for cultivation and associated activities.

Back up generator

Describe equipment service and maintenance; including where it is done (oil change, cleaning, etc.)

Equipment service/maintenance is done by qualified service providers at either Redway or Garberville.

List and describe petroleum products and automotive fluids used onsite.

Conventional 5 gallon gas cans.

List and describe compressed gases, cleaners, solvents and sanitizers; indicate amounts normally stored and how/where they are stored. n/a

Fertilizers, Pesticides, other Regulated products: The fertilizers/amendments listed below are used at the start of the grow season; only quantities needed are purchased and brought to the site. Annual reporting of fertilizer/amendment use is required under RWQCB Order No. R1-2015-0023 and the data is provided on page 4, Appendix C (RWQCB Order No. R1-2015-0023).

Mixing of the products listed below takes place only within a small area near cultivation sites and the products are kept protected from accidental spillage or disturbance from wildlife while mixing takes place.

Stutzman Farms – Sup’R Green Composted Chicken Manure 3-2-2

Dr. Earth – All Purpose Fertilizer 5-5-5

Finnish Bone Meal

If soil amending is required following initial start-up, additional products from the list above will be obtained as needed for specific application. There is no storage of these products.

There are no pesticides or herbicides used or stored at the premises or cultivation areas.

The applicant acknowledges that the storage and/or use of certain materials in specified volumes and/or weights will be subject to regulation through Humboldt County Division of Environmental Health CUPA and may require: submittal of inventories for those materials, documentation of emergency and training procedures, maintenance of hazardous waste disposal records, obtaining an EPA generator ID number and be subject to site inspections.

Cultivation related wastes are sorted such that compostable materials are recycled/composted onsite within a small area equipped with perimeter and top containment to prevent unwanted movement of materials due to weather conditions or animals/pests. Other materials, unsuitable for composting, are stored in conventional trash containers with tight fitting lids and hauled to an approved transfer station as needed. If it becomes necessary, exhausted soil will be removed from cultivation beds and carefully mixed and spread over native soils on level ground at select locations to initiate microbial reconditioning and prevent unwanted constituent migration. Spent growth medium containing inorganic substances such as perlite, will be stored in weatherproof containers and hauled to an approved waste facility as needed

Human Waste: The residence on the subject parcel contains a bathroom/restroom served by a conventional septic system and is located in close proximity to all agricultural activities.

Cultivation Operations/Practices:

<i>January</i>	<i>Monitor and maintain site/Infrastructure</i>
<i>February</i>	<i>Ongoing site and infrastructure maintenance</i>
<i>March</i>	<i>Prepare beds for propagation, introduce young plants to beds, add 4 hours solar powered light (10 lights on string – each bulb 6.5 watts) at days end to greenhouse. Provide black out coverage to prevent light spill.</i>
<i>April</i>	<i>Ongoing garden care, continue supplemental light and greenhouse coverage.</i>
<i>May</i>	<i>Ongoing garden care, utilize solar fans as needed,</i>
<i>June</i>	<i>Ongoing garden care and site maintenance, 1st round harvest starts,</i>
<i>July</i>	<i>Ongoing garden care, complete full term planting – cage plants as needed.</i>
<i>August</i>	<i>Ongoing garden care, monitor water supply, etc. – use solar fans as needed.</i>
<i>September</i>	<i>Ongoing garden care</i>
<i>October</i>	<i>Ongoing garden care-harvest 2nd round and full term, initiate site cleanup</i>
<i>November</i>	<i>Complete harvest/trimming, start site preparations for winter.</i>

Processing: The applicant proposes to develop an Ag processing barn to serve cultivation occurring on *applicant owned* adjoining parcels. All cultivation on the *applicant owned* adjoining parcels is carried out by family members and each parcel has a CMMLUO permit application on file. The proposed Ag processing barn would be situated on APN: 221-181-007. All product to be processed in the Ag barn would originate from adjoining parcels under the same ownership; each operated by family members. Only family members will engage in processing.

Harvested plants would be set to dry inside the Ag barn. Domestic fans and/or dehumidifiers may be used to facilitate drying.

All equipment, surfaces and tools which come into contact with harvested cannabis are washed and sanitized throughout the day

Family members involved with processing utilize PPE including disposable face masks, hair nets and latex gloves. Ample potable water for handwashing along with restroom facilities equipped with potable water, first aid kits and an eye-wash station is readily available.

Family members involved with processing will receive information/training prior to commencement of any work to ensure all operational activities are conducted in a safe manner. This will include the following:

Explanation of the required use of personal protection equipment – sterile safety gloves, protective eyewear and respiratory protection.

Emergency action response plans.

Fire prevention and response.

Hazard communications policies, including maintenance of material safety sheets (MSDS).

Job hazard analyses.

Periodic review and evaluation of operational practices including security procedures.

Security: Access to the subject parcel is restricted by placement of locked metal gates at entrance roads. Surrounding parcels under the same ownership are also equipped with locking metal gates at entrance roads. Cultivation areas are fenced. There is usually one or more family members on the premises.





STATE OF CALIFORNIA
CALIFORNIA ENVIRONMENTAL PROTECTION AGENCY
STATE WATER RESOURCES CONTROL BOARD

DIVISION OF WATER RIGHTS

RIGHT TO DIVERT AND USE WATER

REGISTRATION H507536

CERTIFICATE H100597

Right Holder: William Rolff
PO BOX 2093
Redway, CA 95560

The State Water Resources Control Board (State Water Board) authorizes the diversion and use of water by the right holder in accordance with the limitations and conditions herein SUBJECT TO PRIOR RIGHTS. The priority of this right dates from 07/29/2019. This right is issued in accordance with the State Water Board delegation of authority to the Deputy Director for Water Rights (Resolution 2012-0029) and the Deputy Director for Water Rights redelegation of authority dated October 19, 2017.

The Deputy Director for Water Rights finds that this registration meets the requirements for registration of small irrigation use appropriation. (Wat. Code, § 1228 et seq.)

Right holder is hereby granted a right to divert and use water as follows:

1. Location of point(s) of diversion (**Coordinates in WGS 84**)

Name of Diversion	Source	Tributary To:	Thence	Latitude	Longitude	County	Assessor's Parcel Numbers (APN)
POD B	Unnamed Spring	Unnamed Stream	Blue Slide Creek	40.154525	-123.935544	Humboldt	221-181-018
POD D	Unnamed Spring	Unnamed Stream	Blue Slide Creek	40.158582	-123.943003	Humboldt	221-181-016

2. Purpose of Use and 3. Place of Use

2. Purpose of Use	3. Place of Use		
	County	Assessor's Parcel Numbers (APN)	Acres
Irrigation, Fire Protection	Humboldt	221-181-016	0.06
Irrigation, Fire Protection	Humboldt	221-181-019	0.06
Irrigation, Fire Protection	Humboldt	221-181-020	0.06
Irrigation, Fire Protection	Humboldt	221-181-017	0.06
Irrigation, Fire Protection	Humboldt	221-181-018	0.06

Note: Assessor's Parcel Numbers provided are based on the user's entries in this portal on 06/28/2019.
The place of use is shown on the map filed on 06/28/2019 with the State Water Board.

4. Quantity and Season:

0.76 acre-feet. The rate of diversion to storage shall not exceed **42,000 gallons per day (gpd) or the diversion rate specified in the current version of the State Water Board's Cannabis Policy, whichever is more restrictive.** For onstream storage reservoirs, the diversion rate and diversion season bypass conditions may be modified by the Deputy Director for Water Rights (or designee) or the California Department of Fish and Wildlife as part of the onstream storage reservoir determinations under the Cannabis Policy.

5. No water shall be diverted or used under this right unless the right holder is in compliance with all applicable conditions and requirements, including the numeric and narrative instream flow requirements, of the current version of the State Water Board's Cannabis Policy, except as follows:

Right holders enrolled under Regional Water Quality Control Board Order R1-2015-0023 or Order R5-2015-0113 shall comply at all times with requirements related to flow, diversion, storage, and similar requirements of Attachment A of the Cannabis Policy identified by the Division of Water Rights below in this condition. This condition remains in effect until July 1, 2019, or when the right holder enrolls under the statewide Cannabis General Order, whichever comes first, at which time right holders shall comply with all applicable conditions and requirements of Attachment A of the Cannabis Policy.

- Section 1 – Term Numbers 4, 15, 17, 24, 26, and 36.
- Section 2 – Term Numbers 23, 63, 64, 66, 69 – 93, 95, and 97 – 102.
- Section 3 – All Instream Flow Requirements for Surface Water Diversions (Requirements 1 – 7) and the Gage Installation, Maintenance, and Operation Requirements.
- Section 4 – All requirements and conditions.

The current version of the State Water Board's *Cannabis Policy* is available online at:
<https://www.waterboards.ca.gov/cannabis>.

6. No water shall be diverted or used under this right, and no construction related to such diversion shall commence, unless right holder has obtained and is in compliance with all necessary permits or other approvals required by other agencies.
7. Diversion works shall be constructed and water applied to beneficial use with due diligence.
8. No water shall be diverted under this right unless right holder complies with all lawful conditions required by the California Department of Fish and Wildlife. (Wat. Code, § 1228.6, subd. (a)(2).)
9. No water shall be diverted under this right unless it is diverted in accordance with the information set forth in the completed registration form as to source, location of point of diversion, purpose of use, place of use, quantity, and season of diversion. This information is reproduced as conditions 1 through 4 of this certificate.
10. No water shall be diverted under this right unless right holder complies with all applicable state, city, county, and local laws, regulations, ordinances, permits, and license requirements including, but not limited to those for cannabis cultivation, grading, construction, and building.
11. Pursuant to Water Code sections 100 and 275 and the common law public trust doctrine, all rights and privileges under this right, including method of diversion, method of use, and quantity of water diverted, are subject to the continuing authority of the State Water Board in accordance with law and in the interest of the public welfare to protect public trust uses and to prevent waste, unreasonable use, unreasonable method of use, or unreasonable method of diversion of said water.
12. The State Water Board reserves jurisdiction over this registration to change the season of diversion and rate of diversion based on later findings of the State Water Board concerning availability of water and the protection of beneficial uses. Any action to change the authorized season of diversion and rate of diversion will be taken only after notice to interested parties and opportunity for hearing. For changes required by amendments to the Cannabis Policy, the State Water Board may provide notice and the opportunity for a hearing by following the procedures specified in section 13147 of the Water Code.
13. Right holder shall grant, or secure authorization through right holder's right of access to property owned by another party, the staff of the State Water Board, and any other authorized representatives of the State Water Board the following:
- a. Entry upon property where water is being diverted, stored, or used under a right issued by the State Water Board or where monitoring, samples and/or records must be collected under the conditions of this right;
 - b. Access to copy any records at reasonable times that are kept under the terms and conditions of a right or other order issued by the State Water Board;
 - c. Access to inspect at reasonable times any project covered by a right issued by the State Water Board, equipment (including monitoring and control equipment), practices, or operations regulated by or required under this right, and,

with a right or other order issued by the State Water Board, or as otherwise authorized by the Water Code.

14. Diversion of water under this right is subject to prior rights. Right holder may be required to curtail diversion or release water stored during the most recent collection season should diversion under this right result in injury to holders of legal downstream senior rights. If a reservoir is involved, right holder may be required to bypass or release water through, over, or around the dam. If release of stored water would not effectively satisfy downstream prior storage rights, right holder may be required to otherwise compensate the holders of such rights for injury caused.
15. This right shall not be construed as conferring right of access to any lands or facilities not owned by right holder.
16. All rights are issued subject to available flows. Inasmuch as the source contains treated wastewater, imported water from another stream system, or return flow from other projects, there is no guarantee that such supply will continue.
17. If storage or diversion of water under this right is by means of a dam, right holder shall allow sufficient water at all times to pass through a fishway or, in the absence of a fishway, allow sufficient water to pass over, around, or through the dam to keep in good condition any fish that may be planted or exist below the dam; provided that, during a period of low flow in the stream, upon approval of the California Department of Fish and Wildlife, this requirement will be satisfied if sufficient water is passed through a culvert, waste gate, or over or around the dam to keep in good condition any fish that may be planted or exist below the dam if it is impracticable or detrimental to pass the water through a fishway. In the case of a reservoir, this provision shall not require the passage or release of water at a greater rate than the unimpaired natural inflow into the reservoir. (Fish & G. Code, § 5937.)
18. The facilities for diversion under this right shall include satisfactory means of measuring and bypassing sufficient water to satisfy downstream prior rights and any requirements of the California Department of Fish and Wildlife and the State Water Board's Cannabis Policy.
19. This right does not authorize any act which results in the taking of a threatened, endangered, or candidate species or any act which is now prohibited, or becomes prohibited in the future, under either the California Endangered Species Act (Fish and Game Code section 2050 et seq.) or the federal Endangered Species Act (16 U.S.C.A. section 1531 et seq.). If a "take" will result from any act authorized under this water right, the right holder shall obtain authorization for an incidental take prior to construction or operation of the project. Right holder shall be responsible for meeting all requirements of the state and Federal Endangered Species Acts for the project authorized under this right.
20. This right is subject to: 1) the submittal of an annual report of water use; and 2) satisfactory renewal, on forms prescribed by the State Water Board. This right is also subject to payment of annual fees. (Wat. Code, § 1228.5.)
21. This right shall be totally or partially forfeited for nonuse if the diversion is abandoned or if all or any part of the diversion is not beneficially used for a continuous period of five years.
22. This right is subject to enforcement, including but not limited to revocation, by the State Water Board if 1) the State Water Board finds that the right holder knowingly made any false statement, or knowingly concealed any material fact, in the right; 2) the right is not renewed as required by the conditions of this certificate; or 3) the State Water Board finds that the right holder is in violation of the conditions of this right. (Wat. Code, § 1228.4 et seq.)
23. The State Water Board intends to develop and implement a basin-wide program for real-time electronic monitoring and reporting of diversions, withdrawals, releases, and streamflow in a standardized format if and when resources become available. Such real-time reporting will be required upon a showing by the State Water Board that the program and the infrastructure are in place to accept real-time electronic reports. Implementation of the reporting requirements shall not necessitate amendment to this right.

STATE WATER RESOURCES CONTROL BOARD
DIVISION OF WATER RIGHTS

This certificate was issued automatically as a result of the registrant self-certifying submittal of a water right registration filing in substantial compliance with Water Code §1228.3.

Dated: 06/28/2019 15:04:56

Water Resource Protection Plan

WDID# - 1B16642CHUM

APN 221-181-16, 221-181-17, 221-181-18,
221-181-19, 221-181-20



Prepared by:

Timberland Resource Consultants

165 South Fortuna Blvd

Fortuna, CA 95540

10-03-2017

Purpose

This Water Resource Protection Plan (WRPP) has been prepared on behalf of the discharger, for the Humboldt County property identified as APN 221-181-16, 221-181-17, 221-181-18, 221-181-19, 221-181-20, by agreement and in response to the California Water Code Section 13260(a), which requires that any person discharging waste or proposing to discharge waste within any region that could affect the quality of the waters of the state, other than into a community sewer system, shall file with the appropriate regional water board a Report of Waste Discharge (ROWD) containing such information and data as may be required by the Regional Water Board. The Regional Water Board may waive the requirements of Water Code section 13260 for specific types of discharges if the waiver is consistent with the Basin Plan and in the public interest. Any waiver is conditional and may be terminated at any time. A waiver should include monitoring requirements to verify the adequacy and effectiveness of the waiver's conditions. California Regional Water Quality Control Board, North Coast Region, Order R1-2015-0023, conditionally waives the requirement for the property owner to file an ROWD for discharges and associated activities described in Finding-4.

Scope of Report

Order No. R1-2015-0023 states that "Tier 2 Dischargers and Tier 3 Dischargers who intend to cultivate cannabis before, during, or following site cleanup activities shall develop and implement a water resource protection plan that contains the elements listed and addressed below. Dischargers must keep this plan on site, and produce it upon request by Regional Water Board staff. Management practices shall be properly designed, installed, and assessed periodically for effectiveness. If a management measure is found to be ineffective, the plan must be adapted and implemented to incorporate new or additional management practices to meet standard conditions. Dischargers shall certify annually to the Regional Water Board individually or through an approved third party program that the plan is being implemented and is effectively protecting water quality, and report on progress in implementing site improvements intended to bring the site into compliance with all conditions of this Order."

Methods

The methods used to develop this WRPP include both field and office components. The office component consisted of aerial photography review and interpretation, existing USGS quad map review, GIS mapping of field data, review of on-site photography points, streamflow calculations, and general planning. The field component included identifying and accurately mapping all watercourses, wet areas, and wetlands located downstream of the cultivation areas, associated facilities, and all appurtenant roads accessing such areas. An accurate location of the Waters of the State is necessary to make an assessment of whether potential and existing erosion sites/pollution sites have the potential to discharge waste to an area that could affect Waters of the State (including groundwater). All cultivation areas, associated facilities, and all appurtenant roads accessing such areas were assessed for discharges and related controllable water quality factors from the activities listed in Order R1-2015-0023, Finding 4a-j. The field assessment also included an evaluation and determination of compliance with the Standard Conditions per Provision I.B of Order No. R1-2015-0023. The water resource protection plans required under Tier 2 are meant to describe the specific measures a discharger implements to achieve compliance with standard conditions. Therefore, all required components of the water resource protection plan per Provision I.B of Order No. R1-2015-0023 were physically inspected and evaluated. A comprehensive summary of each Standard Condition as it relates to the subject property is appended.

Water Resource Protection Plan

General Location Map [WDID# - 1B16642CHUM]

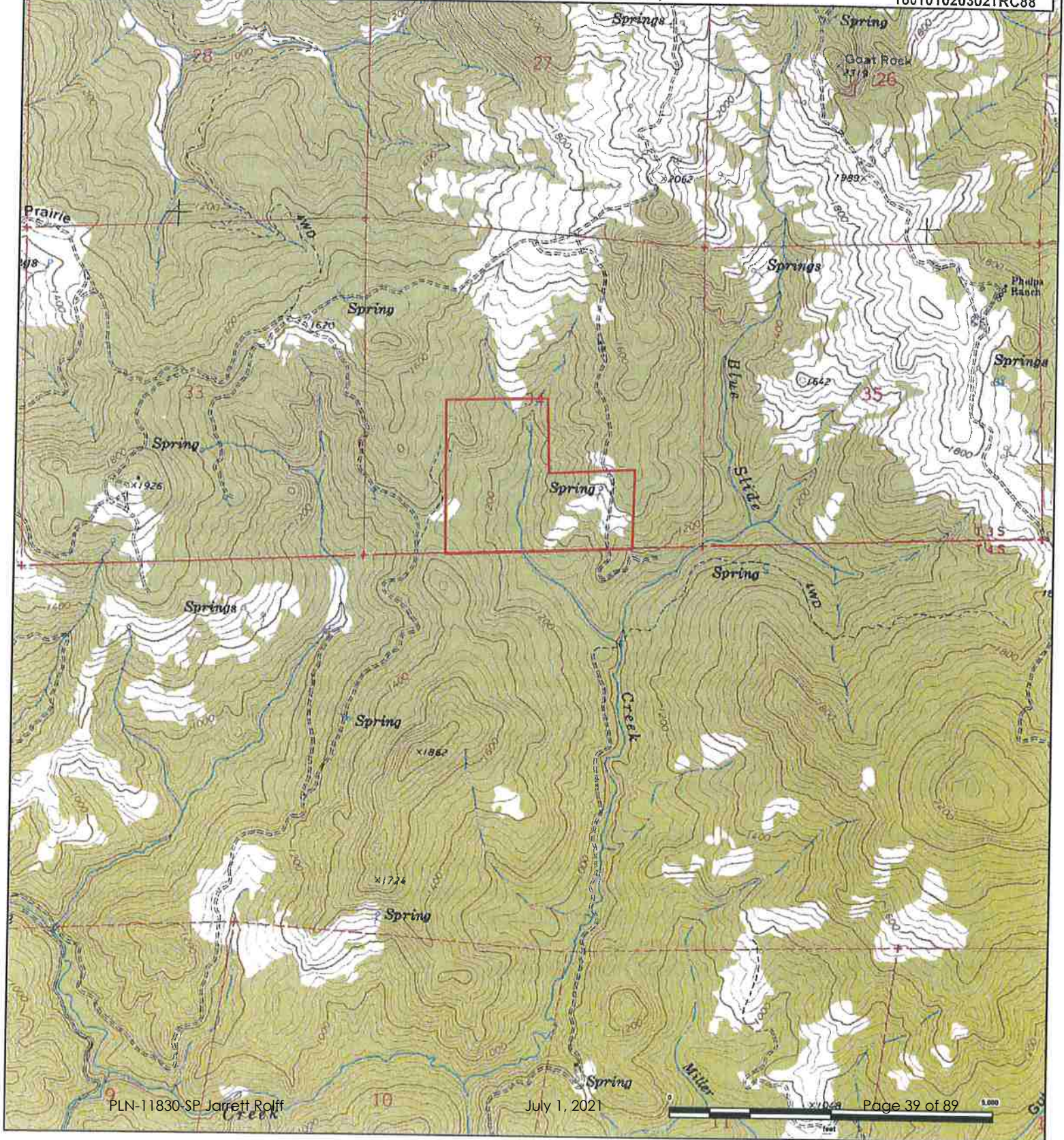


 Property Boundary



Located in 34, T3S, R2E, HB&M, Humboldt County from the Ettersburg 7.5' USGS Quad Map

180101020302TRC88



Property Description

The property consists of five contiguous parcels of land totaling 120 acres. The property is located in Section 34, T3S, R2E, HB&M, Humboldt County from the Ettersburg 7.5' USGS Quad Map. Property boundaries were georeferenced using field collected GPS data from known property corners. The property is located approximately 3 miles northeast of Ettersburg, California. The property is accessed by Blue Slide Road. Vegetation on the property consists of Douglas-fir and tanoak associations, riparian woodland, true oak woodlands, and oak savannah grasslands. Generally, the property has a south facing aspect with an elevation range of approximately 1,120-1,800 feet above sea level.

Project Description

There are currently four cultivation areas located on the property. Cultivation Area A is approximately 11,400 ft² and consists of a meadow with two greenhouses on graded flats. Cultivation Area B is approximately 12,900 ft² and consists of a clearing with above ground pots on terraced hillslope. Cultivation Area C is approximately 39,600 ft² and consists of a clearing with above ground pots on terraced hillslope. Cultivation Area D is approximately 19,700 ft² and consists of a meadow with two greenhouses on a graded flat. All water used for the irrigation of cannabis is derived from a permitted well located on the property.

Monitoring Plan

Tier 2 Dischargers shall include a monitoring element in the Water Resource Protection Plan that at a minimum provides for periodic inspection of the site, checklist to confirm placement and efficacy of management measures, and document progress on any plan elements subject to a time schedule. Tier 2 Dischargers shall submit an annual report (Appendix C) by March 31 of each year that documents implementation and effectiveness of management measures during the previous year. Tier 2 annual reporting is a function that may be provided through an approved third party program.

Monitoring of the site includes visual inspection and photographic documentation of each feature of interest listed on the site map, with new photographic documentation recorded with any notable changes to the feature of interest. At a minimum, all site features must be monitored annually, to provide the basis for completion of the annual re-certification process. Additionally, sites shall be monitored at the following times to ensure timely identification of changed site conditions and to determine whether implementation of additional management measures are necessary to prevent, minimize, and mitigate discharges of waste to surface water: 1) just prior to October 15 to evaluate site preparedness for storm events and storm water runoff, 2) following the accumulation of 3" total precipitation or by November 15, whichever is sooner, and 3) following any rainfall event with an intensity of 3" precipitation in 24 hours. Precipitation data can be obtained from the National Weather Service Forecast Office (e.g. by entering the zip code of the parcel location at <http://www.srh.noaa.gov/forecast>). Sites requiring monitoring are indicated as such within the WRPP Mitigation report in the follow pages.

Monitoring Plan Reporting Requirements

Order No. R1-2015-0023, Appendix C must be submitted to the Regional Water Board or approved third party program upon initial enrollment in the Order (NOI) and annually thereafter by March 31. Forms submitted to the Regional Water Board shall be submitted electronically to northcoast@waterboards.ca.gov. If electronic submission is infeasible, hard copies can be submitted to: North Coast Regional Water Quality Control Board, 5550 Skylane Boulevard, Suite A, Santa Rosa, CA 95403.

Assessment of the Standard Conditions

Assessment of Standard Conditions consisted of field examinations in the winter of 2016 and spring of 2017. The examination evaluated areas near, and areas with the potential to directly impact, watercourses for sensitive conditions including, but not limited to, existing and proposed roads, skid trails and landings, unstable and erodible watercourse banks, unstable upslope areas, debris, jam potential, inadequate flow capacity, changeable channels, overflow channels, flood prone areas, and riparian zones. Field examinations also evaluated all roads and trails on the property, developed areas, cultivation sites, and any structures and facilities appurtenant to cultivation on the property. Anywhere the Standard Conditions are not met on the property, descriptions of the assessments and the prescribed treatments are outlined in the Mitigation Report to follow.

Summary of Standard Conditions Compliance

1. Site Maintenance, Erosion Control, and Drainage Features Y☐/N☒
2. Stream Crossing Maintenance Y☐/N☒
3. Riparian And Wetland Protection and Management Y☐/N☒
4. Spoils Management Y☒/N☐
5. Water Storage and Use Y☒/N☐
6. Irrigation Runoff Y☒/N☐
7. Fertilizers and Soil Amendments Y☒/N☐
8. Pesticides and Herbicides Y☒/N☐
9. Petroleum Products and Other Chemicals Y☒/N☐
10. Cultivation-Related Wastes Y☐/N☒
11. Refuse and Human Waste Y☒/N☐

1. Site Maintenance, Erosion Control, and Drainage Features

Currently, all roads are appropriately maintained with adequate surfacing and drainage features to avoid the development of surface ruts, gullies, or surface erosion. Roads, driveways, trails, and other defined corridors for foot or vehicle traffic have adequate drainage features/structures to prevent or minimize erosion along the flow paths and at their respective outlets. No unstable areas, nor evidence of the potential of road/surface related runoff to create unstable areas, was noted during assessment of the property. All roads, clearings, fill prisms, and terraced areas (cleared/developed areas with the potential for sediment erosion and transport) are currently maintained so that they are not hydrologically connected to surface waters, including wetlands, ephemeral, intermittent and perennial streams. Any/all ditch relief drains, rolling dip outlets, road surfaces, and terrace surfaces are maintained to promote infiltration and/or dispersal of outflows and have no apparent erosion or evidence of soil transport to any receiving waters. No stockpiled construction materials are stored in any location that could be transport to receiving waters.

Roads on the property have been historically used for timber harvesting. Roads are being classified as "permanent" (being used year-round), "seasonal" (being used primarily during summer months), and "trail" (being rarely used for occasional access to features on the property).

Summary of Standard Conditions Compliance (Cont.)

During multiple inspection of the roads, cultivation areas, and watercourses, three sites were identified where road surface runoff was not being adequately dispersed and erosion of the road surface was occurring. Of these three sites, two have existing surface drainage structures in need of maintenance. Further details can be found in the Mitigation Report to follow.

Cultivation Area A is located in a meadow, on a graded flat with slopes of less than 5% and adjoining natural hillslopes of approximately 15%. Surrounding the cultivation area is densely vegetated grassland with the nearest riparian area approximately 55' away. The cultivation area is well drained with no associated erosion.

Cultivation Area B is located in a meadow, with two greenhouses on grades sites with slopes of <5% cut into natural hillslopes of approximately 26%. Surrounding the cultivation area is densely vegetated grassland with the nearest Class II riparian area approximately 95' away. The cultivation area is well drained with no associated erosion. Some erosion was noted on the road accessing the cultivation area at Site 37.

Cultivation Area C is located in a meadow, on natural slopes of approximately 13%. Surrounding the cultivation area are densely vegetated grassland with the nearest Class II riparian area approximately 55' away. The cultivation area is well drained with no associated erosion.

Cultivation Area D is located in a meadow, on two grades site with slopes of <5% cut into natural hillslopes of approximately 20%. Surrounding the cultivation area is densely vegetated grassland with the nearest Class II riparian area approximately 155' away. The cultivation area is well drained with no associated erosion.

2. Stream Crossing Maintenance

There are nine stream crossings located on the property. Of these nine crossings, two are functioning adequately and are appropriately sized for a 100-year storm event. A crossing on an old, un-used, skid road (Site 36) shall be removed. Two crossings on trails (Sites 18 & 23) lack any drainage structure and are creating erosion. Site 20 is a failed, on-stream, pond outlet that shall be reconstructed with the appropriate sized culvert. The remaining three crossings (Sites 27, 41, & 44) are either not functioning adequately or are not sized for a 100-year storm event and shall require either replacement. Further details can be found in the Mitigation Report to follow.

ID#	Existing Culvert (D) Diameter (in)	Headwall (HW) Height (in)	HW/D (ratio)	Selected Discharge Method	Q100 (cfs)	Culvert Capacity (cfs)	Culvert is Undersized	Recommended Culvert Dia. (in)	Recommendation Based On
Site 5	18	0	0.0	RATIONAL	8	6	TRUE	24	Q100
Site 20	0	0	0.0	RATIONAL	11	0	TRUE	24	Q100
Site 27	36	0	0.0	RATIONAL	95	32	TRUE	60	Q100
Site 41	18	0	0.0	RATIONAL	6	6		18	Q100
Site 44	24	0	0.0	RATIONAL	49	12	TRUE	48	Q100

3. Riparian and Wetland Protection and Management

Multiple assessments of the property concluded that Cultivation Areas C & D, and associated, facilities are not located or occurring within 100' of any Class I or II watercourse or within 50' of any Class III watercourse or wetland, buffers maintain natural slopes with native vegetation, and buffers are of sufficient width to filter

Summary of Standard Conditions Compliance (Cont.)

wastes from runoff discharging from production lands and associated facilities to all wetlands, streams, drainage ditches, or other conveyances.

Cultivation Area B is located approximately 45' from a Class II watercourse. However, the topography of the cultivation area drains to the north away from the adjacent watercourse posing no threat to water quality. The site will continue to be monitored. The presence of the cultivation site is not adversely affecting or LWD recruitment, and the riparian filter strip is functioning adequately in removing any potential surface runoff that might originate in or around the cultivation site.

Cultivation Area C is located within an existing orchard. The cultivation area is approximately 50' from a Class II watercourse. Straw wattles have been installed along the entire lower margin of the cultivation area. The intermediate area between the active cultivation area and watercourse is densely vegetated with grasses providing a filtration buffer to prevent the migration of cultivation related soils and nutrients thus posing no threat to water quality. The site will continue to be monitored for threats to water quality.

4. Spoils Management

Currently, no spoils are not stored or placed in or where they can enter any surface water. Any/all spoils are adequately contained or stabilized to prevent sediment delivery to surface waters. Any/all spoils generated through development or maintenance of roads, driveways, earthen fill pads, or other cleared or filled areas have not been sidecast in any location where they can enter or be transported to surface waters. Any/all future spoils generated as a result of any future construction projects that are to be stored on the property shall be done so in accordance with the BMP's.

5. Water Storage and Use


All water on the property is derived from four ponds located on the property. The discharger has pre-existing water rights on these ponds for domestic, livestock, and non-cannabis agricultural use. Pond 1, located near the center of the property, is a spring fed pond that holds approximately 30,000 gallons and is used for irrigation of Cultivation Area C. The discharger uses approximately 48,000 gallons annually from this pond for the irrigation of cannabis. Pond 2, located near the southwestern corner of the property, is seasonally fed by a Class III watercourse and holds approximately 684,000 gallons and is used for the irrigation of Cultivation Area B. The discharger uses approximately 57,000 gallons annually from this pond for the irrigation of cannabis. Pond 3, located on the eastern portion of the property, is a spring fed pond that holds approximately 228,000 gallons and is used for the irrigation of Cultivation Area A. The discharger uses approximately 50,000 gallons annually from this pond for the irrigation of cannabis. Pond 4, located in the northwestern portion of the property, is an off-stream, rain catchment pond that holds approximately 1,141,000 gallons and is used for the irrigation of Cultivation Area D. The discharger uses approximately 57,000 gallons annually from this pond for the irrigation of cannabis.

At this time the discharge has 70,300 gallons of water storage tanks installed as well as, approximately, 2,086,000 total gallons of pond storage from the four mapped ponds located on the property. This volume of water storage is sufficient to allow for full forbearance during the required period. Water metering device(s) shall be installed prior to any cultivation operation, 2018, to meter water used for the irrigation of cannabis. Separate water meter(s) shall be installed to record domestic water use.

STATEMENT OF CONTINGENT AND LIMITING CONDITIONS CONCERNING THE PREPARATION AND USE OF WATER RESOURCE PROTECTION PLAN

Prepared by Timberland Resource Consultants

1. This Water Resource Protection Plan has been prepared for the property within APN 221-181-16, 221-181-17, 221-181-18, 221-181-19, 221-181-20, in Humboldt County, at the request of the Client.
2. Timberland Resource Consultants does not assume any liability for the use or misuse of the information in this Water Resource Protection Plan.
3. The information is based upon conditions apparent to Timberland Resource Consultants at the time the inspection was conducted. Changes due to land use activities or environmental factors occurring after this inspection, have not been considered in this Water Resource Protection Plan.
4. Maps, photos, and any other graphical information presented in this report are for illustrative purposes. Their scales are approximate, and they are not to be used for locating and establishing boundary lines.
5. The conditions presented in this Water Resource Protection Plan may differ from those made by others or from changes on the property occurring after the inspection was conducted. Timberland Resource Consultants does not guarantee this work against such differences.
6. Timberland Resource Consultants did not conduct an investigation on a legal survey of the property.
7. Persons using this Water Resource Protection Plan are advised to contact Timberland Resource Consultants prior to such use.
8. Timberland Resource Consultants will not discuss this report or reproduce it for anyone other than the Client named in this report without authorization from the Client.



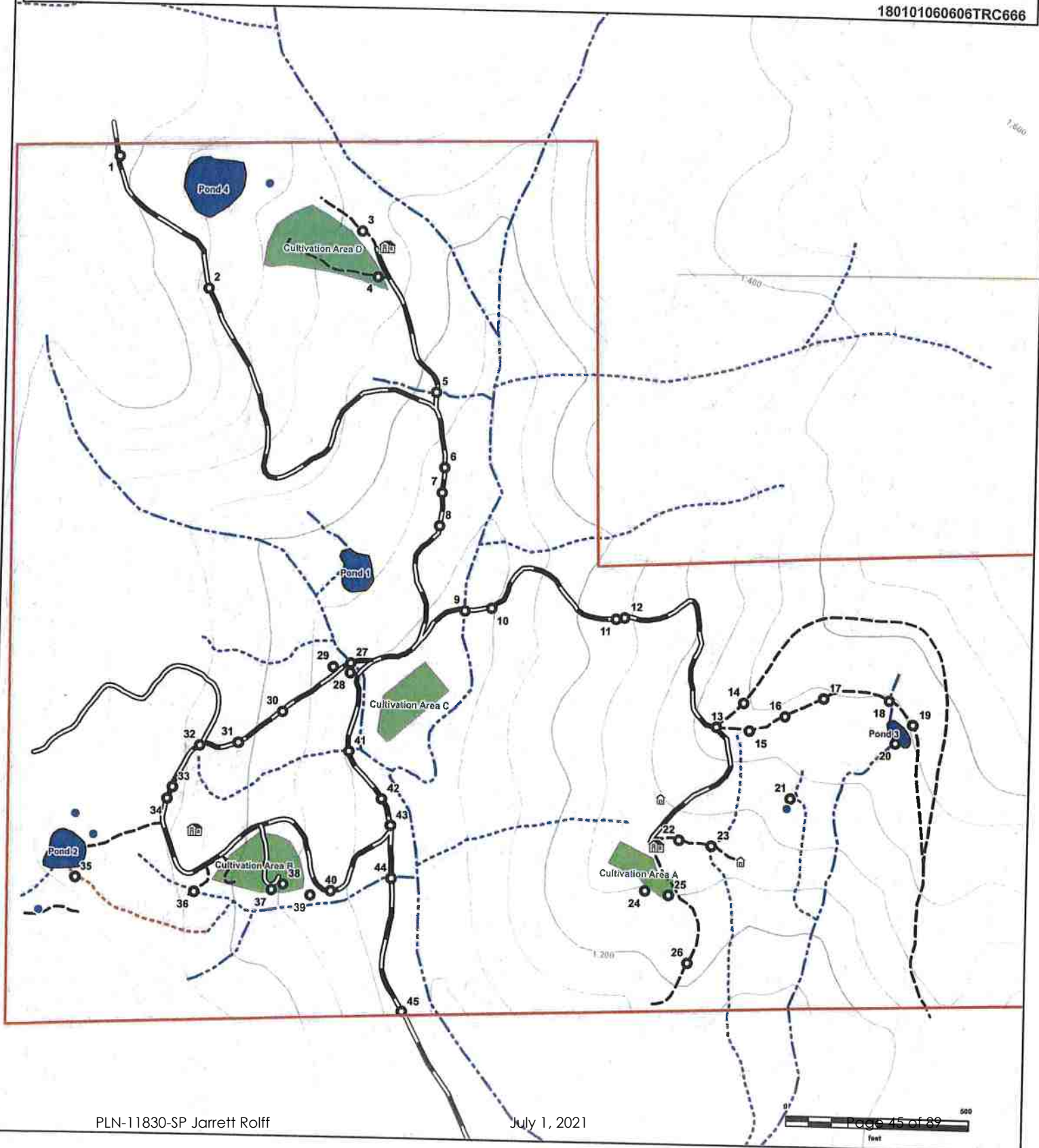
Jessie Cahill
Timberland Resource Consultants

Water Resource Protection Plan

Site Map [WDID# - 1B16642CHUM]

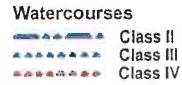
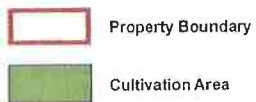


180101060606TRC666



Water Resource Protection Plan

Site Map [WDID# - 1B16642CHUM]



180101060606TRC666



WRPP - Mitigation Report

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Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
1	-123.943319 40.158757	Permanent	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Long inside ditch is concentrating surface runoff.						Prescribed Action: Install new 18" DRC at this location as per the BMP's.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
2	-123.9424 40.157789	Permanent		X		A.1.		
Current Condition: Existing 18" plastic DRC is functioning adequately.						Prescribed Action: None		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
3	-123.940917 40.158248	Trail	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Location of an existing waterbar in need of maintenance.						Prescribed Action: Maintain existing waterbreak structure as per BMP's to ensure that all road surface runoff is captures and drained from road surface.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
4	-123.940745 40.15791	Trail		X		A.1.		
Current Condition: Existing 18" CMP DRC is functioning adequately.						Prescribed Action: None		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
5	-123.940138 40.157062	Permanent		X		A.1.		
Current Condition: Existing Class II watercourse crossing with an 18" plastic culvert is functioning adequately.						Prescribed Action: None		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
7	-123.940046 40.156315	Permanent	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Long inside ditch concentrating surface runoff.						Prescribed Action: Install new 24" DRC at this location as per the BMP's.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
8	-123.940058 40.156066	Permanent	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Existing 18" CMP DRC. Inlet and outlet are obstructed by sediment.						Prescribed Action: Clean and maintain existing DRC.		

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Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
9	-123.939781 40.15544	Permanent		X		A.1.		
Current Condition: Existing 20' long bridge over Class II watercourse is functioning adequately. Bridge is approximately 64" above the stream.						Prescribed Action: None		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
10	-123.939522 40.155466	Permanent	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Section of road lacks adequate surface drainage structures to prevent surface erosion beyond this point.						Prescribed Action: Install new 18" DRC at this location as per the BMP's. Additionally, rock and woody debris shall be installed approximately 6' from the outlet of the new DRC to facilitate the settling out of potential sediment.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
11	-123.938298 40.155415	Permanent	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Section of road lacks adequate surface drainage structures to prevent surface erosion beyond this point.						Prescribed Action: Install new rolling dip as per the BMP's. Rolling dip is to drain to the northern edge of the road.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
12	-123.938217 40.155428	Permanent	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Existing pushout structure requires maintenance to be fully functional.						Prescribed Action: Maintain existing pushout structure as per the Steep Road Drainage BMP's to ensure that all road surface runoff is captured and drained from road surface.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
13	-123.937288 40.154636	Trail	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Surface erosion of trail is occurring.						Prescribed Action: Erosion control (seed and straw) is to be applied to the road surface from the intersection to Site 14. A minimum of 3" of straw shall completely cover the road surface.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
14	-123.937028 40.154822	Trail	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Section of trail lacks adequate surface drainage structures to prevent surface erosion beyond this point.						Prescribed Action: Install new waterbar structure in this location as per the BMP's.		

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Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
15	-123.936966 40.154617	Trail	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Section of trail lacks adequate surface drainage structures to prevent surface erosion beyond this point.						Prescribed Action: Install new rocked rolling dip as per the BMP's.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
16	-123.93662 40.154731	Trail	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Section of trail lacks adequate surface drainage structures to prevent surface erosion beyond this point.						Prescribed Action: Install new rolling dip as per the BMP's.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
17	-123.936246 40.154874	Trail	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Section of trail lacks adequate surface drainage structures to prevent surface erosion beyond this point.						Prescribed Action: Install new rolling dip as per the BMP's.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
18	-123.935604 40.154877	Trail	X	X		A.2.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: A seasonal Class II watercourse flows across an un-used trail and then into the pond below. Minor erosion on the trail surface has occurred over time.						Prescribed Action: The road surface and connected ditch to the pond shall be rocked to prevent the potential for future erosion/downcutting.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
19	-123.935365 40.154703	Trail	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Persistent cutbank seeps have caused cutbank to slump onto un-used trail above pond. Sediment from the slump delivers to the pond.						Prescribed Action: Slumping cutbank material shall be removed and stored in an appropriate location where it cannot be transported to a watercourse. The remaining cutbank area is to be rock armored to prevent further erosion.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
20	-123.93553 40.154563		X	X	X	A.2.	Prior to 10/15/20 pending the approval of any required permits	
Current Condition: Location of failed pond outflow.						Prescribed Action: Pond and out-flow are to be repaired. If the out-flow is to consist of a culvert, a 24" culvert shall be used to accommodate a 100-year storm event.		

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Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
21	-123.93654 40.15412		X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Bank seeps from the cutbanks associated with a small graded flat for water storage tanks.						Prescribed Action: Wattles are to be installed along the margins of fill slopes associated with the graded flat.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
22	-123.937612 40.153785	Trail	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Bank seepage is creating standing water along road surface.						Prescribed Action: A new waterbar shall be installed at this location per the BMP's.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
23	-123.937295 40.15375	Trail	X	X	X	A.2.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: A Class III watercourse flows across the surface on an unused trail.						Prescribed Action: A rocked ford shall be installed at this location as per the BMP's.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
24	-123.937927 40.153402			X		A.1.		
Current Condition: Location of seasonal seepage along the margin of an unstable area.						Prescribed Action: None		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
25	-123.937697 40.153375		X	X		A.10.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Location of cultivation related wastes, including a poorly contained soils pile, and misc cultivation related material that is stored too close to the adjacent watercourse.						Prescribed Action: Cultivation related waste shall be relocated to an appropriate location where it cannot be transported to a watercourse by wind or rain or disposed of at the appropriate disposal facility.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
26	-123.937492 40.152874	Trail	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Surface erosion of trail is occurring.						Prescribed Action: Waterbars shall be installed per the BMP's at 75' intervals and the surface shall be treated with straw mulch along the entire extent of the trail.		

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Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
27	-123.940871 40.155024	Permanent	X	X	X	A.2.	Prior to 10/15/20 pending the approval of any required permits	
Current Condition: Existing Class II watercourse crossing with a 36" culvert. The crossing flows under both roads associated with the intersection. The crossing lacks a critical dip and the culvert is not adequately sized for a 100-year storm event.						Prescribed Action: Install new 60" culvert crossing per the BMP's.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
28	-123.940872 40.154952	Permanent	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Cutbank erosion is occurring from drainage associated with shortcut road.						Prescribed Action: Use of shortcut road is to be discontinued and road surface is to be treated with straw mulch.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
29	-123.941038 40.154993	Permanent	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Existing inside ditch begins downcutting/eroding for the last 40' prior to connecting with watercourse.						Prescribed Action: Inside ditch/gully shall be rock lined for 40' from edge of the watercourse.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
30	-123.941518 40.154648	Permanent	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Section of road lacks adequate surface drainage structures to prevent surface erosion beyond this point.						Prescribed Action: A rocked rolling dip shall be installed at this location per the BMP's.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
31	-123.941941 40.154409	Permanent	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Existing rolling dip structure requires maintenance to regain full function.						Prescribed Action: Existing rolling dip structure is to be maintained as per the BMP's to ensure that all road surface runoff is captured and drained from road surface.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
32	-123.942319 40.154381	Permanent		X		A.1.		
Current Condition: Existing 18" plastic DRC is functioning adequately.						Prescribed Action: None		

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Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
33	-123.942571 40.154065	Permanent	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Road lacks inside ditch to carry water to DRC.						Prescribed Action: A new inside ditch shall be constructed from this location to the DRC at Site 32.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
34	-123.942619 40.153978	Permanent	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Existing rolling dip structure requires maintenance to regain full function.						Prescribed Action: Existing rolling dip structure is to be maintained as per the BMP's to ensure that all road surface runoff is captured and drained from road surface.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
35	-123.943495 40.153375			X		A.1.		
Current Condition: Location of a knickpoint in gully created from pond outflow. Activity level of knickpoint/gully erosion is unknown until further monitoring occurs.						Prescribed Action: None		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
36	-123.942324 40.153291	Trail	X	X	X	A.2.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Existing Class III watercourse crossing with a 6" CMP on un used trail. Culvert is rusted out and undersized for a 100-year storm event.						Prescribed Action: The existing culvert crossing is to be decommissioned as per the BMP's.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
37	-123.941562 40.153321	Seasonal	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: At this location, bare mineral soil is exposed along the road and associated cutbanks creating a sediment delivery risk.						Prescribed Action: This road segment is to be treated with surface rock. Any remaining areas of exposed bare mineral soil are to be treated with native seed mix and straw mulch as per the erosion control BMP's.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
38	-123.94145 40.153365		X	X		A.10.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: At this location, cultivation related wastes including plant stalks, debris, and soils have been discarded over the edge of the fillslope adjacent to a Class II watercourse.						Prescribed Action: Cultivation related waste shall be relocated to an appropriate location where it cannot be transported to a watercourse by wind or rain or disposed of at the appropriate disposal facility.		

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Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
39	-123.94118 40.153288	Permanent		X		A.1.		
Current Condition: Push-out outlet from switchback, drains through old road fill edge. The ditch appears to be stable.						Prescribed Action: None		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
40	-123.94098 40.153326	Permanent	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: This section of road lacks adequate surface drainage structures to prevent surface erosion beyond this point.						Prescribed Action: A new rolling dip shall be installed at this location as per the BMP's. The dip shall drain to the inboard side of the road into the cedar grove.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
41	-123.940855 40.154368	Permanent	X	X	X	A.2.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Existing Class III watercourse crossing with an 18" culvert. Culvert is rusted out and undersized for a 100-year storm event.						Prescribed Action: Install new 18" culvert crossing per the BMP's. The new crossing will require 50-60' of culvert.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
42	-123.940518 40.154019	Permanent	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: The Class II watercourse below the road is eroding and undercutting the road fill at this location.						Prescribed Action: Rip-rap shall be installed in the eroding portion of the fillslope to protect fill from further undercutting by stream flows.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
43	-123.940424 40.153823	Permanent	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Existing 18" DRC. The inside ditch leading to the DRC is downcutting and requires stabilization.						Prescribed Action: The inside ditch shall be rocklined for 50' west from the existing DRC.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
44	-123.940396 40.153431	Permanent	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Existing Class II watercourse crossing with an 24" plastic culvert is functioning but is undersized for a 100-year storm event. Perched fill above the northern, outboard channel margin is eroding from road surface runoff.						Prescribed Action: A new 48" culvert crossing shall be installed at this location per the BMP's. During the installation of the new crossing the perched fill shall be layed back to a stable angle.		



Timberland
Resource
Consultants

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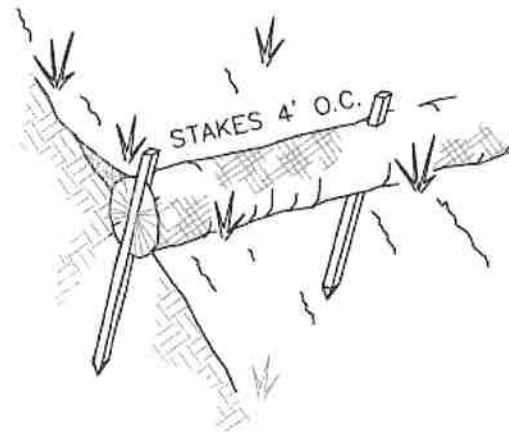
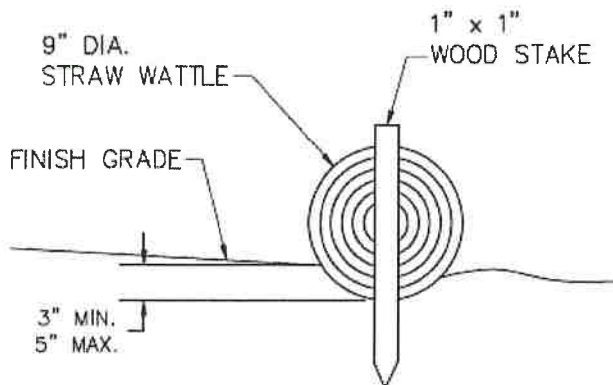
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
45	-123.94025 40.152444	Permanent	X	X		A.1.	Prior to 10/15/19 pending the approval of any required permits	
Current Condition: Long inside ditch is concentrating surface runoff.						Prescribed Action: Install new 18" DRC at this location per the BMP's.		

BMP: General BMP's

- If operations require moving of equipment across a flowing stream, such operations shall be conducted without causing a prolonged visible increase in stream turbidity. For repeated crossings, the operator shall install a bridge, culvert, or rock-lined crossing.
- During construction in flowing water, which can transport sediment downstream, the flow shall be diverted around the work area by pipe, pumping, temporary diversion channel or other suitable means. When any dam or artificial obstruction is being constructed, maintained, or placed in operation, sufficient water shall at all times be allowed to pass downstream to maintain fish life below the dam. Equipment may be operated in the channel of flowing live streams only as necessary to construct the described construction.
- Disturbance or removal of vegetation shall not exceed the minimum necessary to complete operations. The disturbed portion of any stream channel shall be restored to as near their original condition as possible. Restoration shall include the mulching of stripped or exposed dirt areas at crossing sites prior to the end of the work period.
- Structures and associated materials not designed to withstand high seasonal flow shall be removed to areas above the high water mark before such flows occur.
- No debris, soil, silt, sand, bark, slash, sawdust, rubbish, cement or concrete washing, oil or petroleum products, or other organic or earthen material from any logging, construction, or associated activity of whatever nature shall be allowed to enter into or be placed where it may be washed by rainfall or runoff into waters of the State. When operations are completed, any excess materials or debris shall be removed from the work area. No rubbish shall be deposited within 150 feet of the high water mark of any stream.

BMP: Erosion Control

- Erosion control and sediment detention devices and materials shall be incorporated into the cleanup/restoration work design and installed prior to the end of project work and before the beginning of the rainy season. Any continuing, approved project work conducted after October 15 shall have erosion control works completed up-to-date and daily.
- Erosion control materials shall be, at minimum, stored on-site at all times during approved project work between May 1 and October 15.
- Approved project work within the 5-year flood plain shall not begin until all temporary erosion controls (straw bales or silt fences that are effectively keyed-in) are installed downslope of cleanup/restoration activities.
- Non-invasive, non-persistent grass species (e.g., barley grass) may be used for their temporary erosion control benefits to stabilize disturbed slopes and prevent exposure of disturbed soils to rainfall.
- Upon work completion, all exposed soil present in and around the cleanup/restoration sites shall be stabilized within 7 days.
- Soils exposed by cleanup/restoration operations shall be seeded and mulched to prevent sediment runoff and transport.
- Straw Wattles (if used) shall be installed with 18 or 24 inch wood stakes at four feet on center. The ends of adjacent straw wattles shall be abutted to each other snugly or overlapped by six inches. Wattles shall be installed so that the wattle is in firm contact with the ground surface.



BMP: Permanent Culvert Crossing

- New culvert installations shall be sized to accommodate a 100-year storm.
- If the new culvert is replacing a poorly installed old culvert the crossing may need to be abandoned to the following standard:
 - When fills are removed they shall be excavated to form a channel that is as close as feasible to natural watercourse grade and orientation, and that is wider than the natural channel.
 - Excavated banks shall be laid back to a 2:1 (50%) or natural slope.
- New culverts shall be placed at stream gradient, or have downspouts, or have energy dissipaters at outfall.
 - Align culverts with the natural stream channel orientation to ensure proper function, prevent bank erosion and minimize debris plugging. See Figure 97 below.
 - Place culverts at the base of the fill and at the grade of the original streambed or install a downspout past the base of the fill. Downspouts should only be installed if there are no other options.
 - Culverts should be set slightly below the original stream grade so that the water drops several inches as it enters the pipe.
 - Culvert beds should be composed of rock-free soil or gravel, evenly distributed under the length of the pipe.
 - Compact the base and sidewall material before placing the pipe in its bed.
 - Lay the pipe on a well-compacted base. Poor basal compaction will cause settling or deflection in the pipe and can result in separation at a coupling or rupture in the pipe wall.
 - Backfill material should be free of rocks, limbs or other debris that could dent or puncture the pipe or allow water to seep around the pipe.
 - Cover one end of the culvert pipe, then the other end. Once the ends are secure, cover the center.
 - Tamp and compact backfill material throughout the entire process, using water as necessary for compaction.
 - Backfill compacting will be done in 0.5 – 1.0 foot lifts until 1/3 of the diameter of the culvert has been covered.
 - Push layers of fill over the crossing to achieve the final design road grade, at a minimum of one-third to one-half the culvert diameter.
- Critical dips shall be installed on culvert crossings to eliminate diversion potential. Refer to Figure 86 below.
- Road approaches to crossings shall be treated out to the first drainage structure (i.e. waterbar) or hydrologic divide to prevent transport of sediment.
- Road surfaces and ditches shall be disconnected from streams and stream crossings to the greatest extent feasible. Ditches and road surfaces that cannot be feasible disconnected from streams or stream crossings shall be treated to reduce sediment transport to streams.
- If downspouts are used they shall be secured to the culvert outlet and shall be secure on fill slopes.
- Culverts shall be long enough so that road fill does not extend or slough past the culvert ends.
- Inlet of culverts and associate fill shall be protected with appropriate measures that extend at least as high as the top of the culvert.
- Outlet of culverts shall be armored with rock if road fill sloughing into channel can occur.
- Armor inlets and outlets with rock, or mulch and seed with grass as needed (not all stream crossings need to be armored).
- Where debris loads could endanger the crossing a debris catchment structure shall be constructed upstream of the culvert inlet.
- Bank and channel armoring may occur when appropriate to provide channel and bank stabilization.

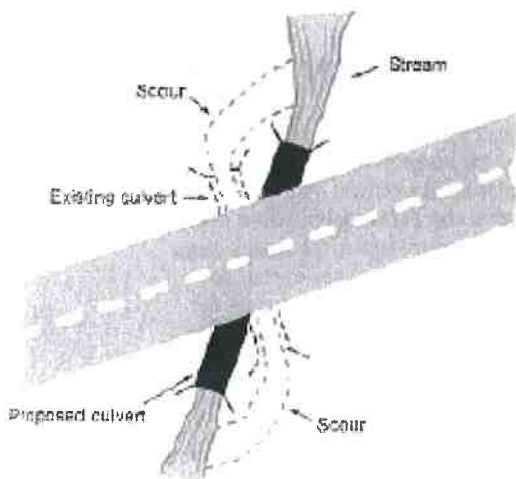


FIGURE 97. Culvert alignment should be in relation to the stream and not the road. It is important that the stream enters and leaves the culvert in a relatively straight horizontal alignment so streamflow does not have to turn to enter the inlet or discharge into a bank as it exits. This figure shows a redesigned culvert installation that replaces the bending alignment that previously existed. Channel turns at the inlet increase plugging potential because wood going through the turn will not align with the inlet. Similarly, channel turns at the inlet and outlet are often accompanied by scour against the channel banks (Wisconsin Transportation Information Center, 2004).

BMP: Permanent Culvert Crossing (Cont.)

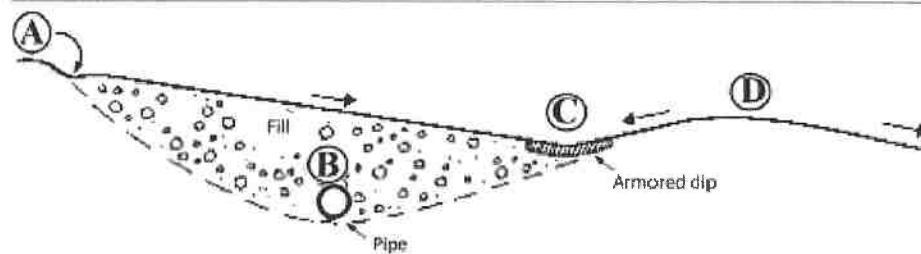
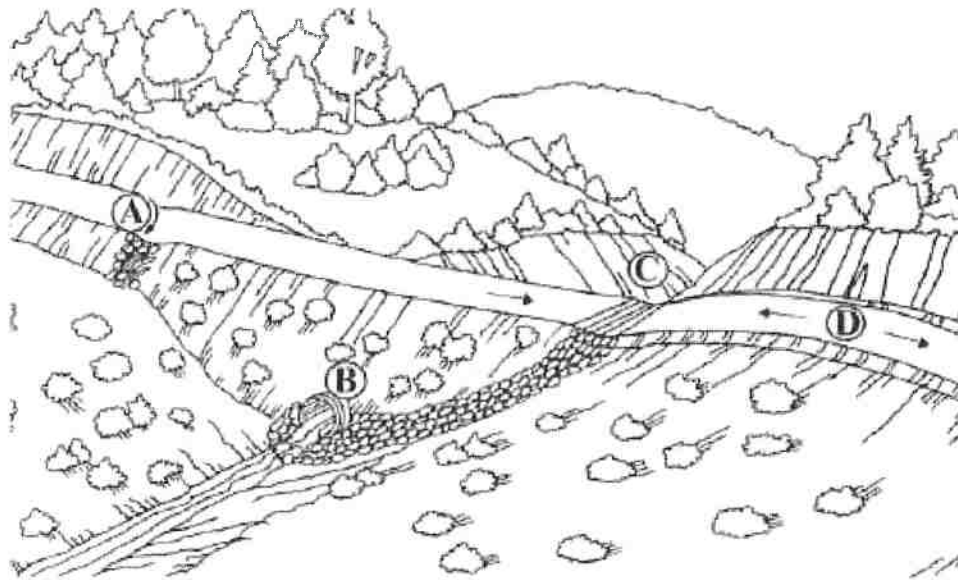


FIGURE 84. Critical dips or dipped crossing fills should be centered near a stream crossing's down-road hingeline, not over the centerline of the crossing where overtopping could cause washout or severe erosion of the fill. If the stream crossing culvert (B) plugs, water will pond behind the fill until reaching the critical dip or low point in the crossing (C) and flowing back down into the natural stream channel. The down-road ditch must be plugged to prevent streamflow from diverting down the ditch line. For extra protection in this sketch, uprap armor has been placed at the critical dip outfall and extending downslope to the stream channel. This is only required or suggested on stream crossings where the culvert is highly likely to plug and the crossing fill overtopped. The dip at the hinge line is usually sufficient to limit erosional damage during an overtopping event. Road surface and ditch runoff is disconnected from the stream crossing by installing a rolling dip and ditch relief culvert just up-road from the crossing (A) (Keller and Sherar, 2003).

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BMP: Permanent Culvert Crossing (Cont.)

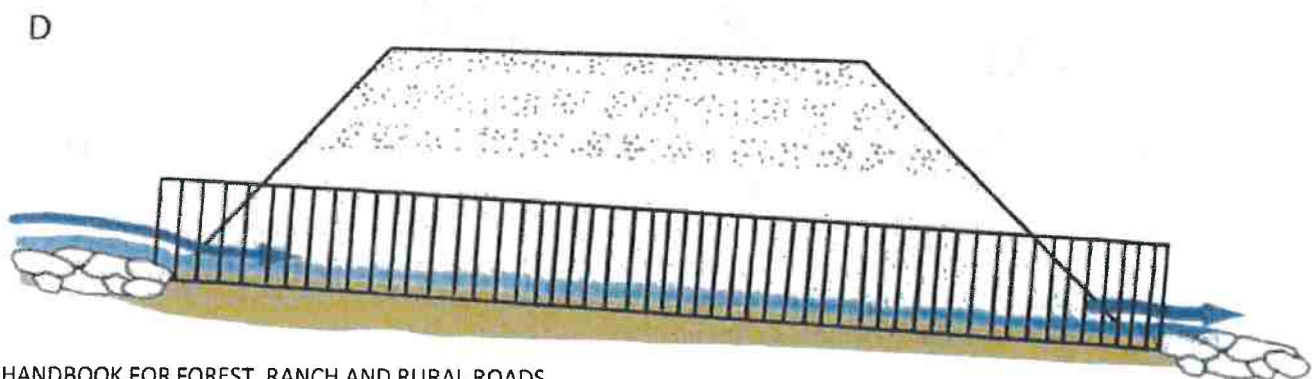
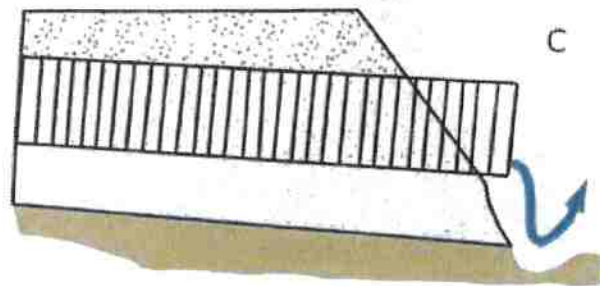
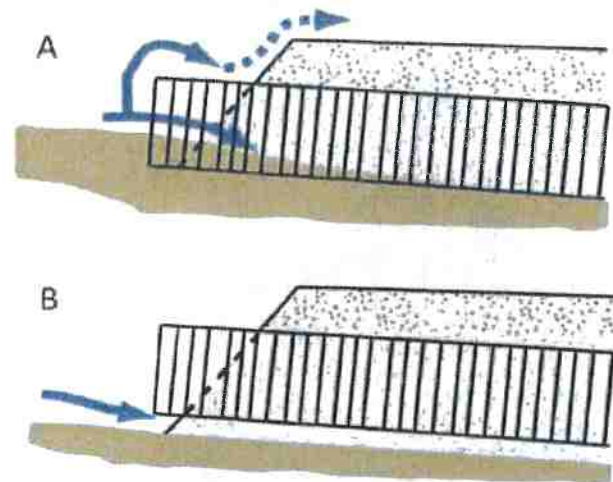


FIGURE 155. Proper culvert installation involves correct culvert orientation, setting the pipe slightly below the bed of the original stream, and backfilling and compacting the fill as it is placed over the culvert. Installing the inlet too low in the stream (A) can lead to culvert plugging, yet if set too high (B) flow can undercut the inlet. If the culvert is placed too high in the fill (C), flow at the outfall will erode the fill. Placed correctly (D), the culvert is set slightly below the original stream grade and protected with armor at the inlet and outlet. Culverts installed in fish-bearing stream channels must be inset into the streambed sufficiently (>25% embedded) to have a natural gravel bottom throughout the culvert (Modified from: MDSL, 1991).

HANDBOOK FOR FOREST, RANCH AND RURAL ROADS

BMP: Crossing Abandonment

- When fills are removed they shall be excavated to form a channel that is as close as feasible to natural watercourse grade and orientation, and that is wider than the natural channel.
- Excavated banks shall be laid back to a 2:1 (50%) or natural slope.
- Temporary crossings shall be removed by November 15.
 - Any temporary culvert crossing left in after October 15 or installed between October 15 and May 1, shall be sized to accommodate the estimated 100-year flow.
- Bank and channel armoring may occur when appropriate to provide channel and bank stabilization.

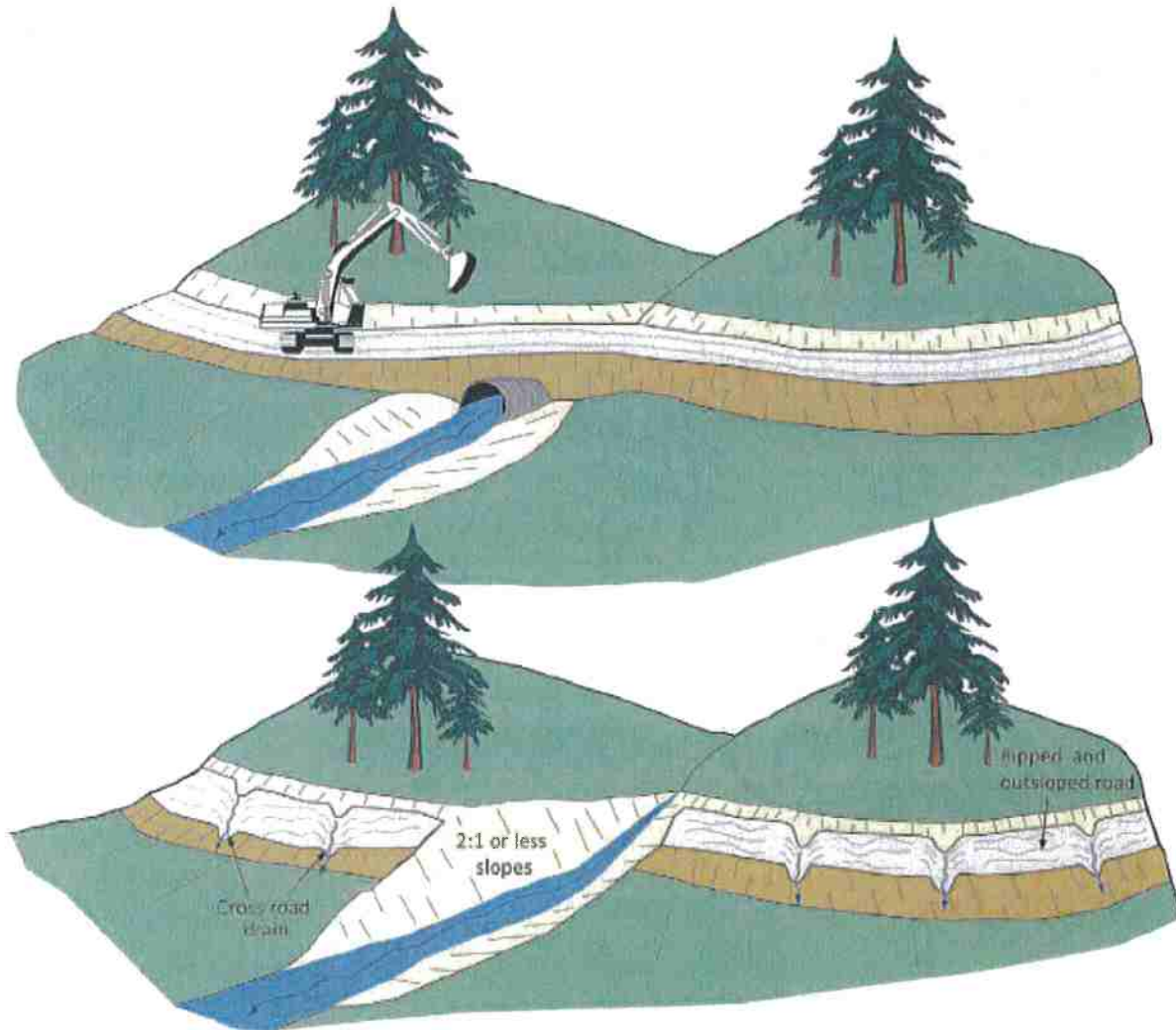


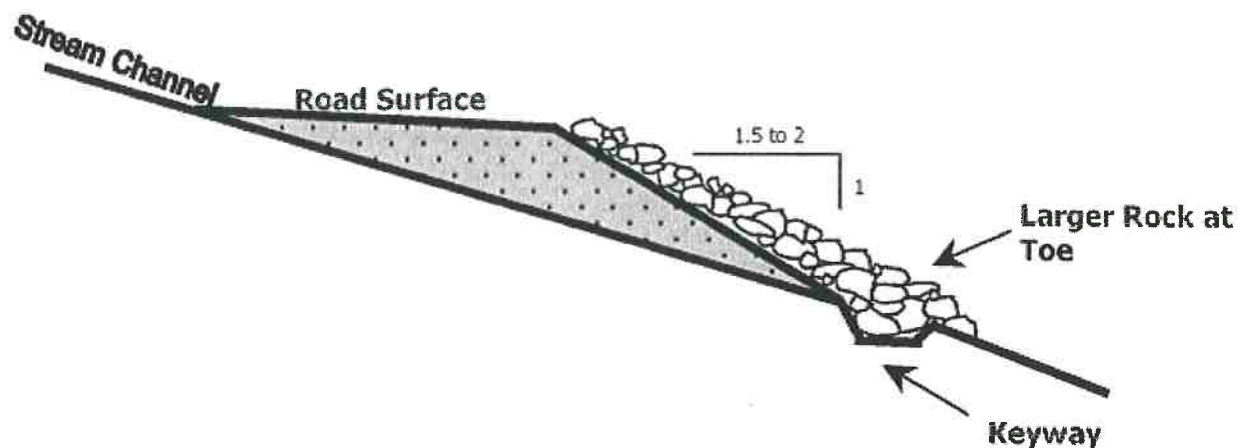
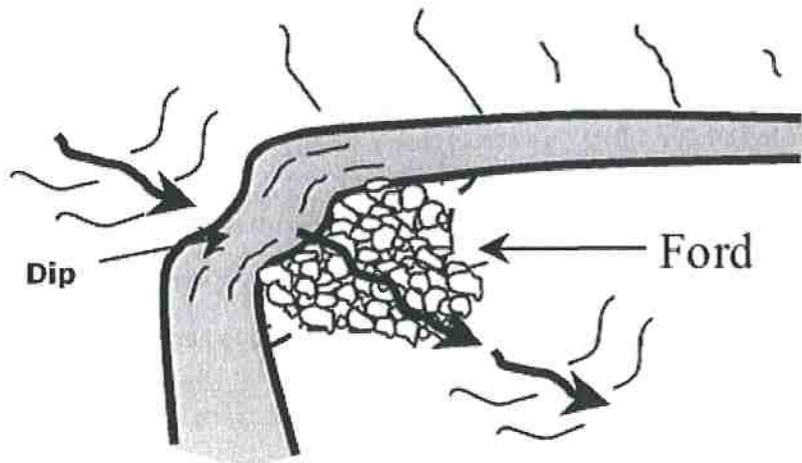
FIGURE 263. On roads that are to be closed (decommissioned), all stream crossing culverts and fills should be removed. Stream crossing excavations are best performed using an excavator. The original channel should be excavated and exhumed down to the former streambed, with a channel width equal or greater than the natural channel above and below the crossing. Sideslopes should be laid back to a stable angle, typically a 2:1 (50%) gradient, or less. Spoil can be endhailed off-site or stored on the road bench adjacent the crossing, provided it is placed and stabilized where it will not erode or fail and enter the stream.

BMP: Rocked Ford

- Rocked fords are drainage structures designed to carry watercourses across roads.
- In channel constructed fords shall be of appropriate material that shall withstand erosion by expected velocities and placed in a U-shaped channel to create a drivable crossing.
 - The road shall dip into and out of the rocked ford to minimize diversion potential. Construct a broad rolling dip across the roadbed, centered at the crossing, which is large enough to contain the expected 100-yr flood discharge while preventing flood flow from diverting down the road or around the rock armor.
- The road surface at the ford shall be constructed with clean rock. The rock shall be applied to a minimum depth of 6 inches.
 - A range of interlocking rock armor sizes should be selected and sized so that peak flows will not pluck or transport the armor off the roadbed or the sloping fill face of the armored fill.
- The ford's outlet shall be rock armored to resist downcutting and erosion.
 - *Excavate the keyway and armored area* - Excavate a two to three foot deep "bed" into the dipped road surface and adjacent fillslope (to place the rock in) that extends from approximately the middle of the road, across the outer half of the road, and down the outboard road fill to where the base of the fill meets the natural channel. At the base of the fill, excavate a keyway trench extending across the channel bed.
 - *Armor the basal keyway* - Put aside the largest rock armoring to create the buttresses. Use the largest rock armor to fill the basal trench and create a buttress at the base of the fill. This should have a "U" shape to it and it will define the outlet where flow leaves the armored fill and enters the natural channel.
 - *Armor the fill* - Backfill the fill face with the remaining rock armor making sure the final armor is unsorted and well placed, the armor is two coarse-rock layers in thickness, and the armored area on the fill face also has a "U" shape that will accommodate the largest expected flow.
 - *Armor the top of the fill* - Install a second trenched buttress for large rock at the break-in-slope between the outboard road edge and the top of the fill face.
- If water is expected during the time of use, an adequate sized pipe shall be installed to handle the flow if present (min. 6 inch).
 - The pipe shall be laid over the rocked ford surface.
 - The inlet should be at grade with the upstream flow.
 - The outlet shall drain onto the outlet armoring of the rocked ford.
 - A layer of clean rock/gravel shall be installed over the pipe to establish the running surface of the truck road.
 - Following use, the temporary pipe shall be removed and the placed rock/gravel shall be graded out of the ford and used on the approaches.
 - No significant alteration to the bed and bank of the stream shall occur.
- Road approaches to rocked fords shall be rock surfaced out to the first drainage structure (i.e. waterbar) or hydrologic divide to prevent transport of sediment using rock.
- Bank and channel armoring may occur when appropriate to provide channel and bank stabilization.
- Road approach rock and rock ford armoring shall be reapplied following use as needed to maintain a permanent crossing.

BMP: Rocked Ford (Cont.)

FORD: A large dip is graded into the road at the axis of the stream channel. The outside fill face is dished out to form a spillway with large rock. On large watercourses, rock is keyed several feet into firm native soils. The road surface is rocked with 6" of minus rock.



BMP: Armored Ford [Fill]

- Armored fords are drainage structures designed to carry watercourses across roads.
- Armored fords shall have a U-shaped channel to create a drivable crossing.
 - The road shall dip into and out of the armored ford to minimize diversion potential. Construct a broad rolling dip across the roadbed, centered at the crossing, which is large enough to contain the expected 100-yr flood discharge while preventing flood flow from diverting down the road or around the rock armor.
- The road surface at the armored ford shall utilize native soils.
- The ford's inlet shall be rock armored if a threat of head cutting exists.
 - *Excavate the keyway* - Excavate a one to three foot deep "bed" into the inboard edge of the road
 - *Armor the basal keyway* - place various sized rock in the constructed keyway to prevent head cutting. Use the largest rock armor to fill the keyway trench and create a buttress along the inboard edge of the road. This should have a "U" shape to it and it will define the inlet where flow leaves the natural channel and enters the road.
- The ford's outlet shall be rock armored to resist downcutting and erosion.
 - *Excavate the keyway and armored area* - Excavate a two to three foot deep "bed" into the dipped road surface and adjacent fillslope (to place the rock in) that extends from approximately the middle of the road, across the outer half of the road, and down the outboard road fill to where the base of the fill meets the natural channel. At the base of the fill, excavate a keyway trench extending across the channel bed.
 - *Armor the basal keyway* - Put aside the largest rock armoring to create the buttresses. Use the largest rock armor to fill the basal trench and create a buttress at the base of the fill. This should have a "U" shape to it and it will define the outlet where flow leaves the armored fill and enters the natural channel.
 - *Armor the fill* - Backfill the fill face with the remaining rock armor making sure the final armor is unsorted and well placed, the armor is two coarse-rock layers in thickness, and the armored area on the fill face also has a "U" shape that will accommodate the largest expected flow.
 - *Armor the top of the fill* - Install a second trenched buttress for large rock at the break-in-slope between the outboard road edge and the top of the fill face.
- If water is expected during the time of use, an adequate sized pipe shall be installed to handle the flow if present (min. 6 inch).
 - The pipe shall be laid over the armored ford surface.
 - The inlet should be at grade with the upstream flow.
 - The outlet shall drain onto the outlet armoring of the rock armored ford.
 - A layer of clean native shall be installed over the pipe to establish the running surface of the truck road.
 - Following use, the temporary pipe shall be removed and the placed native soil shall be removed and drifted along the approaches.
 - No significant alteration to the bed and bank of the stream shall occur.
- Road approaches to armored fords shall be treated with seed and straw mulch out to the first drainage structure (i.e. waterbar) or hydrologic divide to prevent transport of sediment pursuant to Item 18, Section II.
- Bank and channel armoring may occur when appropriate to provide channel and bank stabilization.
- Armored ford armoring shall be reapplied following use as needed to maintain a permanent crossing.

BMP: Armored Ford [Fill] (Cont.)

FIGURE 120. This armored fill crossing of a steep, ephemeral stream was constructed to provide a low maintenance crossing. The crossing has been deeply dipped to reduce the volume of road fill and to eliminate the potential for stream diversion. The fill slope has been heavily armored through the axis of the crossing to contain flood flows and prevent down-cutting. Armored fills cannot be used on fish bearing streams.

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BMP: Rolling Dip

- Rolling dips are drainage structures designed to carry surface water across roads.
- The truck road shall dip into and out of the rolling dip to minimize diversion potential.
- The rolling dip shall be constructed with clean native materials.
- The rolling dips outlet may be armored to resist downcutting and erosion.
- Do not discharge rolling dips into swales that show signs of instability or active landsliding.
- If the rolling dip is designed to divert both road surface and ditch runoff, block the down-road ditch with compacted fill.

BMP: Rocked Rolling Dip

- Rocked rolling dips are drainage structures designed to carry surface water across roads.
- The truck road shall dip into and out of the rocked rolling dip to minimize diversion potential.
- The rocked rolling dip shall be constructed with clean native rock that is large enough to remain in place during peak flows. Rock size shall vary relative to the size of the watercourse; however an average 6" sized rock shall be used.
- The rocked rolling dips inlet and outlet shall be armored to resist downcutting and erosion.
- The entire width of the rocked rolling dip shall be rock armored to a minimum of 5-feet from the centerline of the dip.
- If a keyway is necessary, the rocked rolling dip keyway at the base of the dip shall be of sufficient size, depth and length to support materials used in the rocked rolling dip construction back up to the road crossing interface.
- Do not discharge rolling dips into swales that show signs of instability or active landsliding.
- If the rolling dip is designed to divert both road surface and ditch runoff, block the down-road ditch with compacted fill.
- The rolling dip must be drivable and not significantly inhibit traffic and road use.

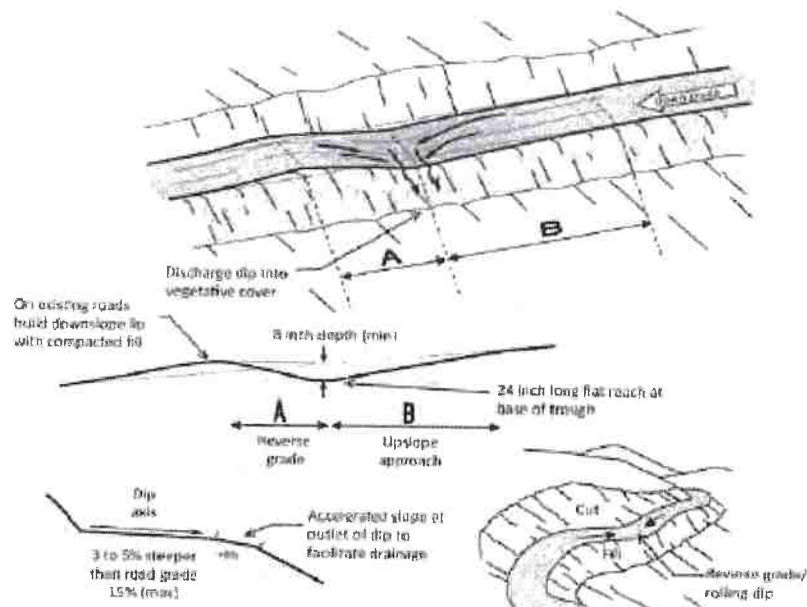
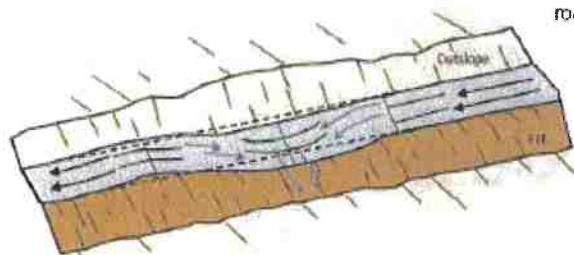


FIGURE 34. A classic Type I rolling dip, where the excavated up-road approach (B) to the rolling dip is several percent steeper than the approaching road and extends for 60 to 80 feet to the dip axis. The lower side of the structure reverses grade (A) over approximately 15 feet or more, and then falls down to rejoin the original road grade. The dip must be deep enough that it is not obliterated by normal grading, but not so deep that it is difficult to negotiate or a hazard to normal traffic. The outward cross-slope of the dip axis should be 3% to 5% greater than the up-road grade (B) so it will drain properly. The dip axis should be out-sloped sufficiently to be self-cleaning, without triggering excessive downcutting or sediment deposition in the dip axis (Modified from: Best, 2013).

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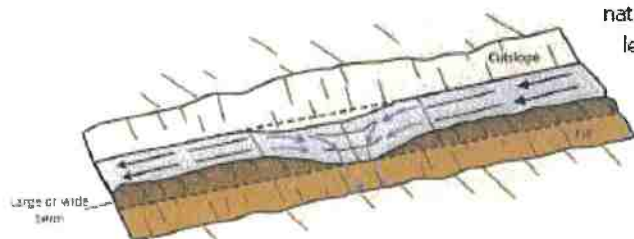
BMP: (Rocked) Rolling Dip (Cont.)

Type 1 Rolling Dip (Standard)



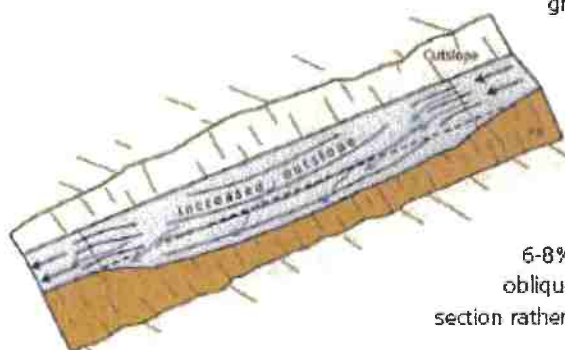
Type 1 rolling dips are used where road grades are less than about 12-14% and road runoff is not confined by a large through cut or berm. The axis of the dip should be perpendicular to the road alignment and sloped at 3-4% across the road tread. Steep roads will have longer and more abrupt dip dimensions to develop reverse grade through the dip axis. The road tread and/or the dip outlet can be rocked to protect against erosion, if needed.

Type 2 Rolling Dip (Through-cut or thick berm road reaches)



Type 2 rolling dips are constructed on roads up to 12-14% grade where there is a through cut up to 3 feet tall, or a wide or tall berm that otherwise blocks road drainage. The berm or native through cut material should be removed for the length of the dip, or at least through the axis of the dip, to the extent needed to provide for uninterrupted drainage onto the adjacent slope. The berm and slope material can be excavated and endhauled, or the material can be sidecast onto native slopes up to 45%, provided it will not enter a stream.

Type 3 Rolling Dip (Steep road grade)



Type 3 rolling dips are utilized where road grades are steeper than about 12% and it is not feasible to develop a reverse grade that will also allow passage of the design vehicle (steep road grades require more abrupt grade reversals that some vehicles may not be able to traverse without bottoming out).

Instead of relying on the dip's grade reversal to turn runoff off the roadbed, the road is built with an exaggerated outslope of 6-8% across the dip axis. Road runoff is deflected obliquely across the dip axis and is shed off the outsloped section rather than continuing down the steep road grade.

FIGURE 36. Rolling dip types

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BMP: Steep Road Drainage Structures



FIGURE 55. Steep roads that go straight up or down a hillside are very difficult to drain. This steep, fall line road developed a through cut cross section that was drained using lead out ditches to direct runoff off the road and onto the adjacent, vegetated hillside. The road was "outsloped" to drain runoff to the right side, and the lead out ditch was built slightly steeper than the road grade, to be self-cleaning. Four lead out ditches have been constructed at 100-foot intervals to the bottom of the hillside.

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BMP: Ditch Relief Culvert

- Install ditch relief culverts at an oblique (typically 30 degree) angle to the road so that ditch flow does not have to make a sharp angle turn to enter the pipe. On low gradient roads (<5%), where ditch flow is slow, ditch relief culverts can be installed at right angles to the road.
- Install ditch relief culverts (DRC) to outlet at, and drain to, the base of the fill.
- If it cannot be installed at the base of the fill, install the DRC with a grade steeper than the inboard ditch draining to the culvert inlet, and then install a downspout on the outlet to carry the culverted flow to the base of the fillslope.
- Downspouts longer than 20 feet should be secured to the hillslope for stability.
- Ditch relief culverts should not carry excessive flow such that gulying occurs below the culvert outlet.
- Do not discharge flows from ditch relief culverts onto unstable or highly erodible hillslopes.
- If the ditch is on an insloped or crowned road, consider using outsloping to drain the road surface. The ditch and the ditch relief culvert would then convey only spring flow from the cutbank and upslope ditch, and not turbid runoff from the road surface.

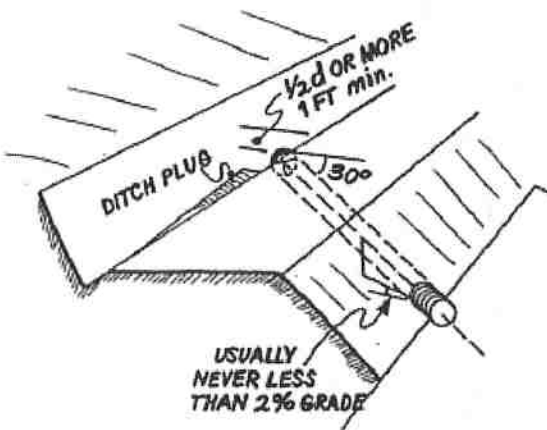
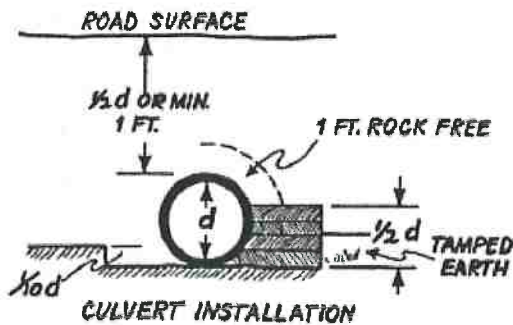


FIGURE 48. The elements of a properly installed ditch relief culvert. The culvert is angled at about 30 degrees to the road alignment to help capture flow and prevent culvert plugging or erosion of the inlet area. It is set at the base of the fill (ideally) or with a grade slightly steeper than the grade of the contributing ditch (but never with a grade less than 2 percent) (USDA-SCS, 1983). At a minimum, the grade of the ditch relief culvert should be sufficient to prevent sediment accumulation at the inlet or deposition within the culvert itself (it should be self-cleaning) (USDA-SCS, 1983).



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BMP: Ditch Relief Culvert (Cont.)



FIGURE 39.

Waterbars are often used to drain surface runoff from seasonal, unsurfaced roads. Because they are easily broken down by vehicles, waterbars are only used on unsurfaced roads where there is little or no wet weather traffic. In this photo, a waterbar and ditch relief culvert are used to drain all road surface and ditch runoff from the insloped road prism.

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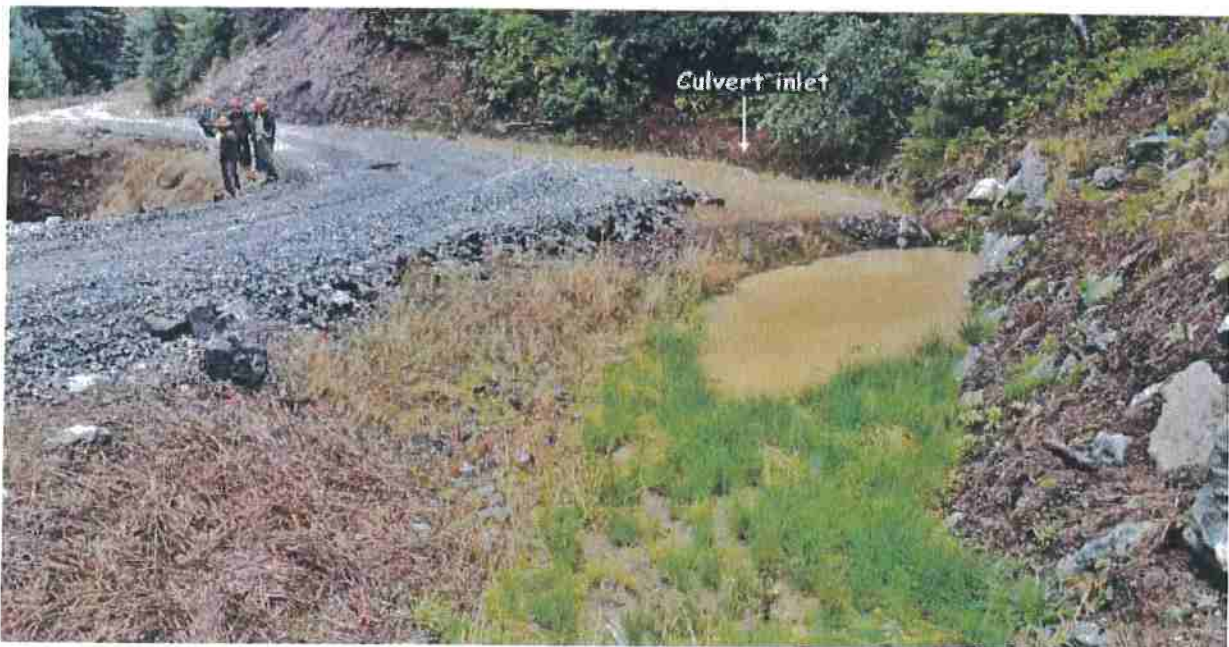


FIGURE 238. Traffic and surface runoff from graveled roads often produces surface erosion, turbid runoff and fine sediment transport that can be delivered to streams. Where ditches can't be eliminated, sediment traps and roadside settling basins can be installed to capture and remove most of the eroded sediment. This settling basin has been constructed along the inside ditch just before a stream crossing culvert inlet (see arrow). Eroded sediment from the road and ditch are deposited in the basin before flow is released to the stream. Fine sediments have filled about 1/3 of this basin and vegetation is now growing. Sediment basins require periodic maintenance to maintain their storage capacity.

HANDBOOK FOR FOREST, RANCH AND RURAL ROADS

BMP: Inlet and Outlet Armoring

- Inlets of culverts and associate fills shall be protected with rock armoring that extends at least as high as the top of the culvert.
- Outlets of culverts shall be provided a rock energy dissipater at the outfall of the culvert.
- Outlets of culverts and associate fills shall be protected with rock armoring that extends at least as high as the top of the culvert if road fill sloughing into channel can occur.
- Prior to inlet and outlet rocking, the inlet and outlets shall be prepared. Preparation will include removal of vegetation and stored materials from the inlet and outlet.
- Inlets may require construction of an inlet basin.
- Slopes at the outlet should be shaped to a 2:1 or natural slope prior to placing rock armor.
- Rock used at culvert inlets and outlets should be a matrix of various sized rocks and rip-rap that range from a 3" dia. to a 2' dia.
- The largest rocks should be places at the base of the culvert or fill. Incrementally smaller rocks shall be placed over the larger rocks at the armoring extend up the slope. Voids and spaces shall be back filled with smaller gravels and rocks.

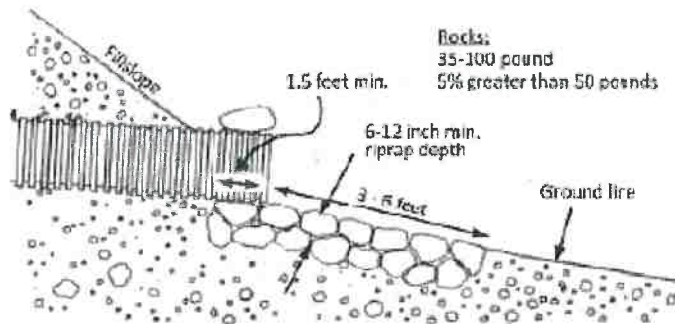


FIGURE 107A. Riprap armor at culvert outlet (Modified from: Keller et al., 2011).

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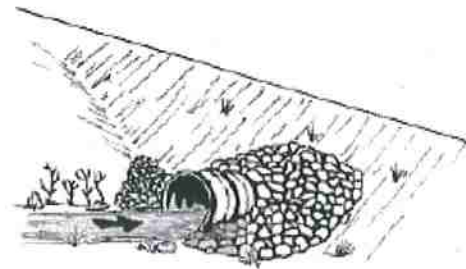
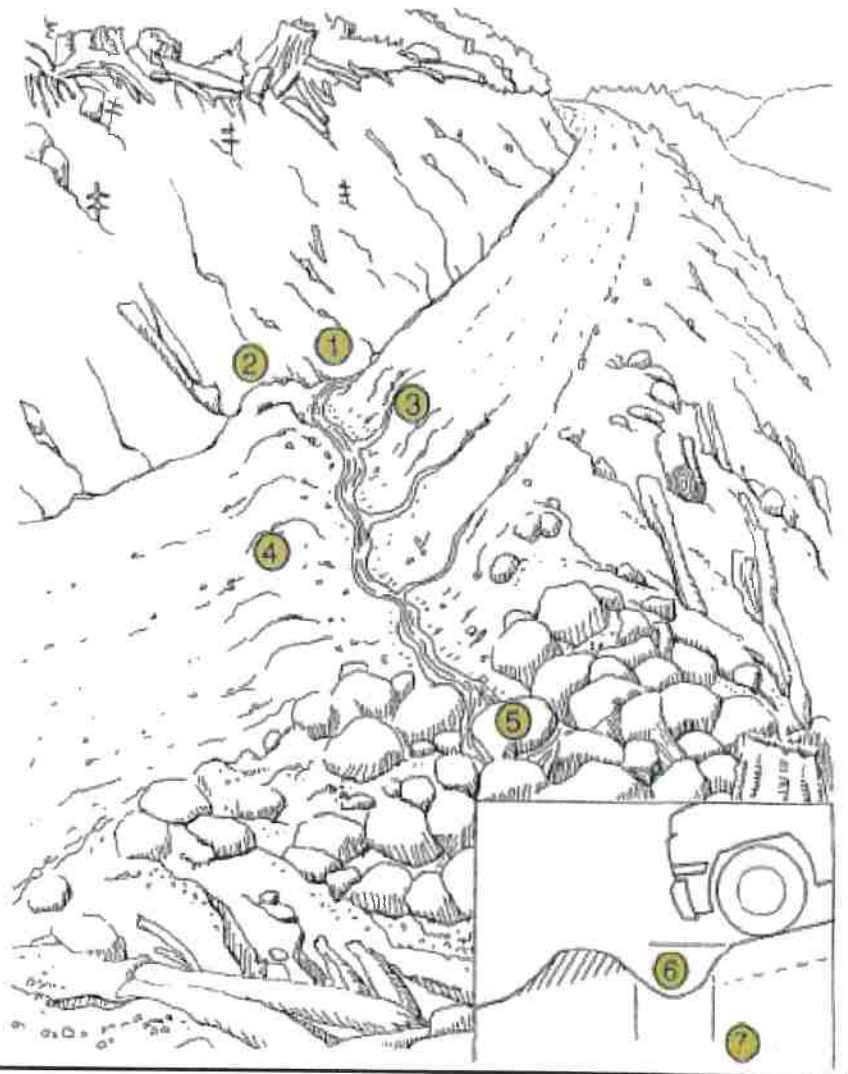


FIGURE 107B. Riprap armor at culvert inlet (Keller and Sherar, 2003).

BMP: Waterbar Construction

FIGURE 40. Waterbars are constructed on unsurfaced forest and ranch roads that will have little or no traffic during the wet season. The waterbar should be extended to the cutbank to intercept all ditch flow (1) and extend beyond the shoulder of the road. A berm (2) must block and prevent ditch flow from continuing down the road during flood flows. The excavated waterbar (3) should be constructed to be self-cleaning, typically with a 30° skew to the road alignment with the excavated material bermed on the downhill grade of the road (4). Water should always be discharged onto the downhill side on a stable slope protected by vegetation. Rock (shown in the figure) should not be necessary if waterbars are spaced close enough to prevent serious erosion. (5) The cross ditch depth (6) and width (7) must allow vehicle cross-over without destroying the function of the drain. Several alternate types of waterbars are possible, including one that drains only the road surface (not the ditch), and one that drains the road surface into the inside ditch (BCMF, 1991).

HANDBOOK FOR FOREST, RANCH, AND RURAL ROADS



HUMBOLDT COUNTY DEPARTMENT OF PUBLIC WORKS
ROAD EVALUATION REPORT



PART A: *Part A may be completed by the applicant*

Applicant Name: Jarrett J. Rolff APN: 221-181-018-000

Planning & Building Department Case/File No.: APB: 11829
2 CC16-265

Road Name: Blue Slide Creek Rd. (complete a separate form for each road)

From Road (Cross street): Bridland-Thorn Rd.

To Road (Cross street): Drive Way 5325 Blue Slide Creek Rd.

Length of road segment: 5.3 miles Date Inspected: 11-8-18

Road is maintained by: ☐ County ☒ Other Private property owners
(State, Forest Service, National Park, State Park, BLM, Private, Tribal, etc)

Check one of the following:

Box 1 ☐ The entire road segment is developed to Category 4 road standards (20 feet wide) or better. If checked, then the road is adequate for the proposed use without further review by the applicant.

Box 2 ☒ The entire road segment is developed to the equivalent of a road category 4 standard. If checked, then the road is adequate for the proposed use without further review by the applicant.

An equivalent road category 4 standard is defined as a roadway that is generally 20 feet in width, but has pinch points which narrow the road. Pinch points include, but are not limited to, one-lane bridges, trees, large rock outcroppings, culverts, etc. Pinch points must provide visibility where a driver can see oncoming vehicles through the pinch point which allows the oncoming vehicle to stop and wait in a 20 foot wide section of the road for the other vehicle to pass.

Box 3 ☐ The entire road segment is not developed to the equivalent of road category 4 or better. The road may or may not be able to accommodate the proposed use and further evaluation is necessary. Part B is to be completed by a Civil Engineer licensed by the State of California.

The statements in PART A are true and correct and have been made by me after personally inspecting and measuring the road.

Signature

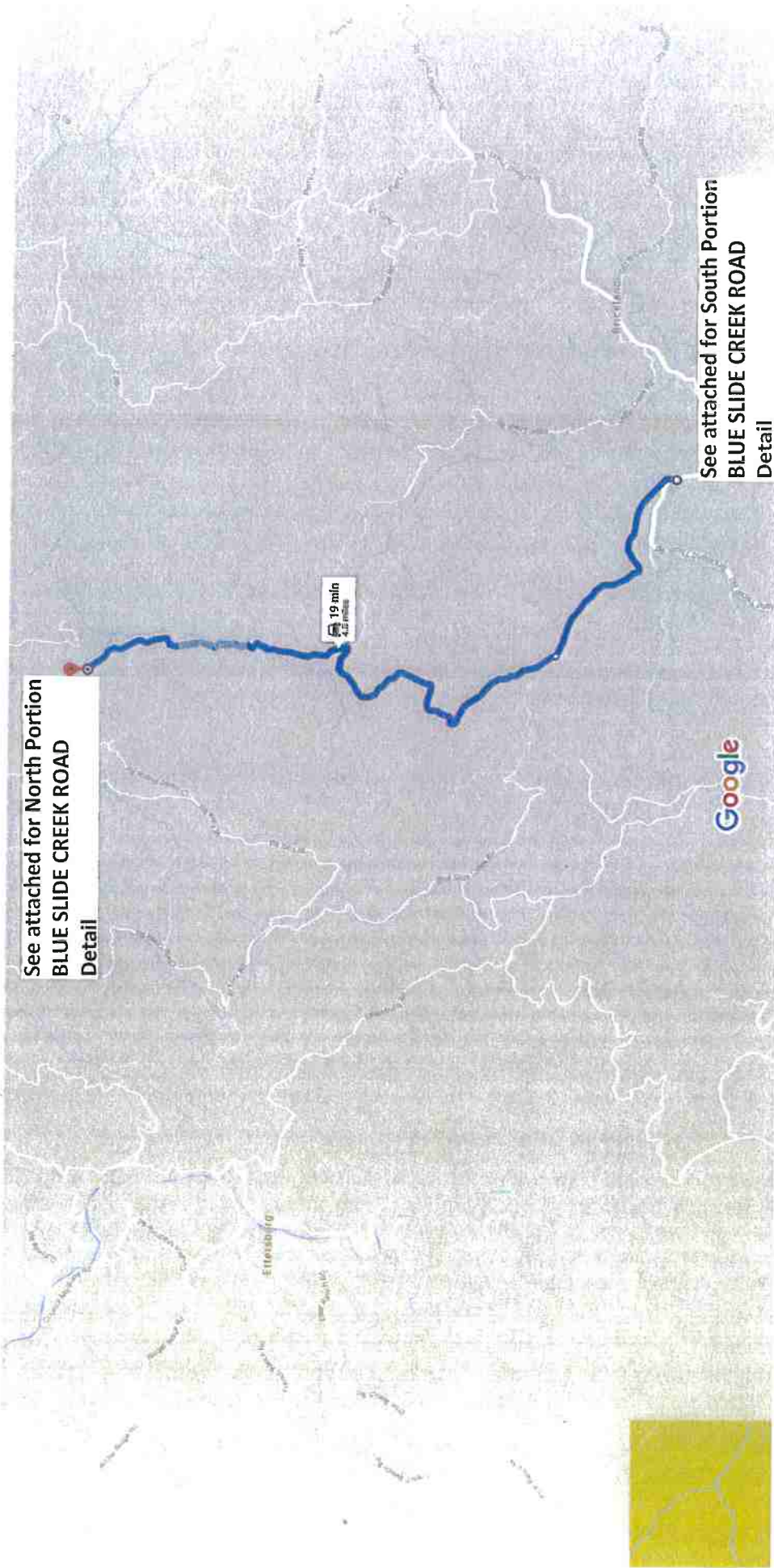
Date

11-8-18

Name Printed

Jarrett J. Rolff

Important: Read the instructions before using this form. If you have questions, please call the Dept. of Public Works Land Use Division at 707.445.7205.



Approximate 4.8 mile section of BLUE SLIDE CREEK ROAD
Pertaining to Road Evaluation for following *Parcels/APPS/Address*

APN	APPS #	Address
221-181-016	11834	5720 Blue Slide Creek Rd., Whitethorn
221-181-018	11829	
221-181-019	11826	5450 Blue Slide Creek Rd., Whitethorn
221-181-020	11830	5351 Blue Slide Creek Rd., Whitethorn
221-181-026	11835	5000 Crooked Prairie Rd., Whitethorn

19 min
4.8 miles

South Portion of Blue Slide Creek Road

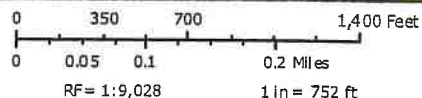


ArcGIS Web Map

Humboldt County Planning and Building Department

- | | | | |
|---------------------------|---------------------------|--------------------------|-----------------|
| Highways and Roads | — Local Roads | Blue Line Streams | — Subsurface |
| — Principal Arterials | — Private or Unclassified | — Perennial 1-3 | — City Boundary |
| — Minor Arterials | — Major River or Stream | — Perennial >4 | — Counties |
| — Major Collectors | | — Intermittent | |
| — Minor Collectors | | | |

PLN-11830-SP Jarrett Rolff



Printed: November 9, 2017

Web AppBuilder 2.0 for ArcGIS

Map Disclaimer:
While every effort has been made to assure the accuracy of this information, it should be understood that it does not have the force & effect of law, rule, or regulation. Should any difference or error occur, the law will take precedence.

Source: NRCS, Humboldt County GIS, Healthy Rural Roads, Esri, HERE, DeLorme, MapmyIndia, © OpenStreetMap contributors, and the GIS user community. Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, FRAP, FEMA, USGS

July 1, 2021

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See attached for North Portion
BLUE SLIDE CREEK ROAD
Detail

Approximate 4.8 mile section of **BLUE SLIDE CREEK ROAD**
Pertaining to Road Evaluation for following *Parcels/APPS/Address*

<i>APN</i>	<i>APPS #</i>	<i>Address</i>
221-181-016	11834	5720 Blue Slide Creek Rd., Whitethorn
221-181-018	11829	
221-181-019	11826	5450 Blue Slide Creek Rd., Whitethorn
221-181-020	11830	5351 Blue Slide Creek Rd., Whitethorn
221-181-026	11835	5000 Crooked Prairie Rd., Whitethorn

Google

See attached for South Portion
BLUE SLIDE CREEK ROAD
Detail

Imagery ©2017 Google, Map da

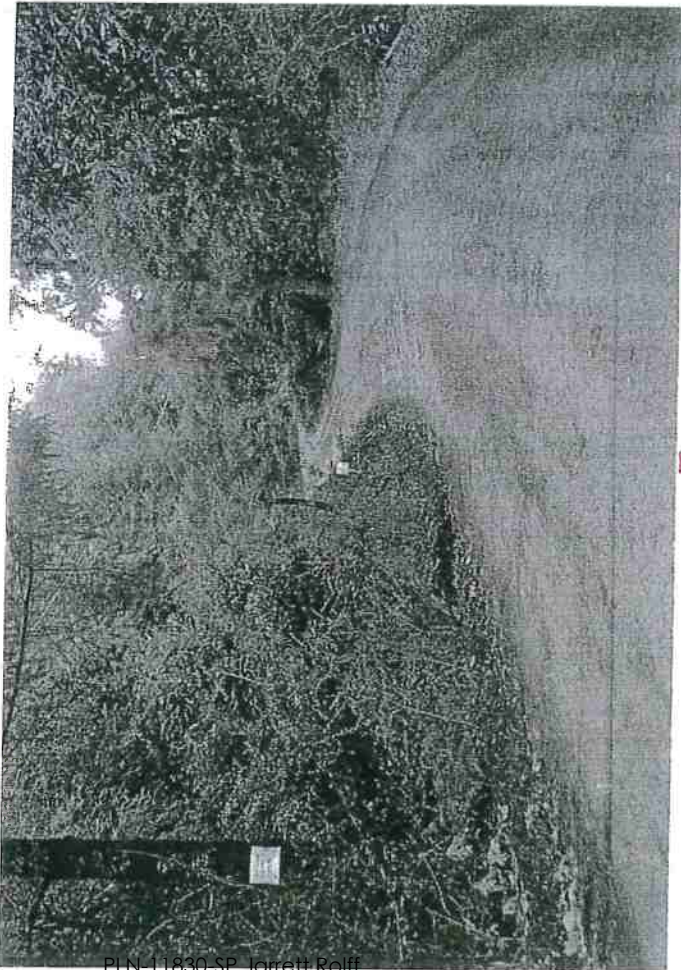
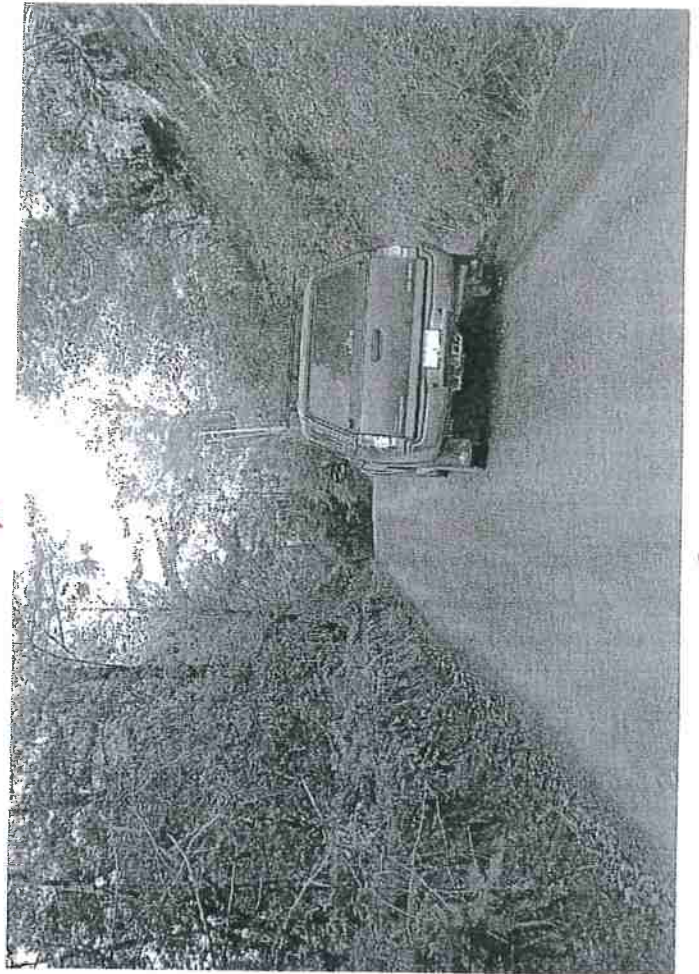
North Portion of BLUE SLIDE CREEK ROAD

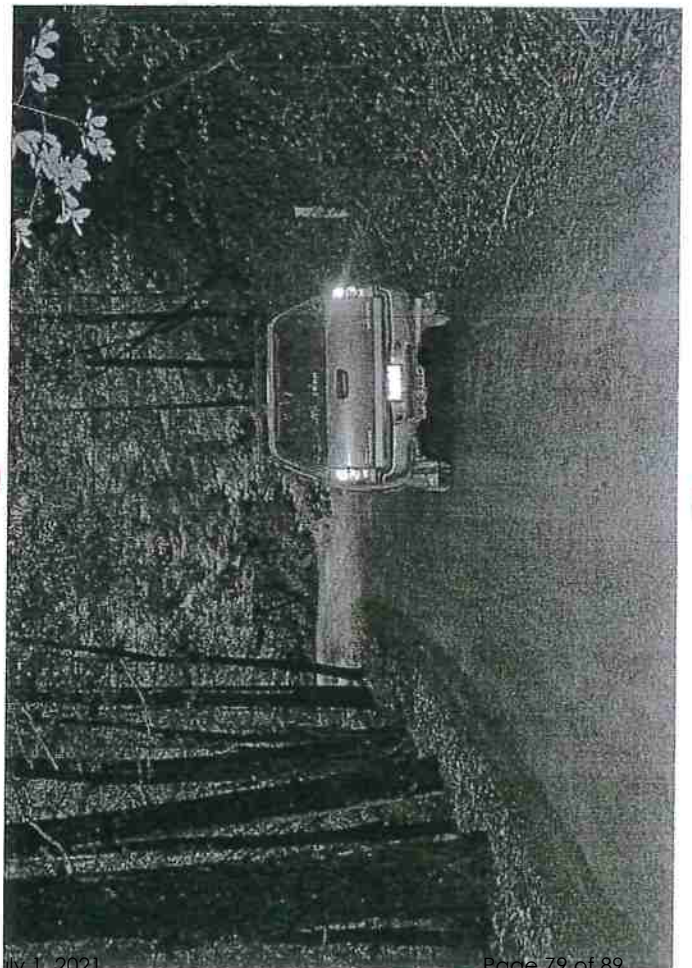
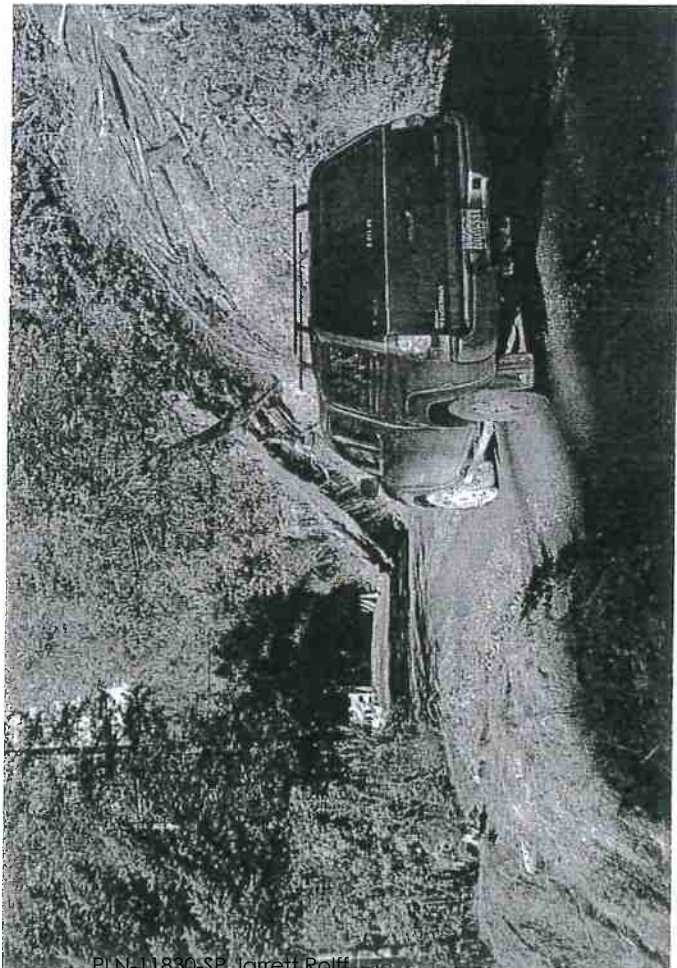
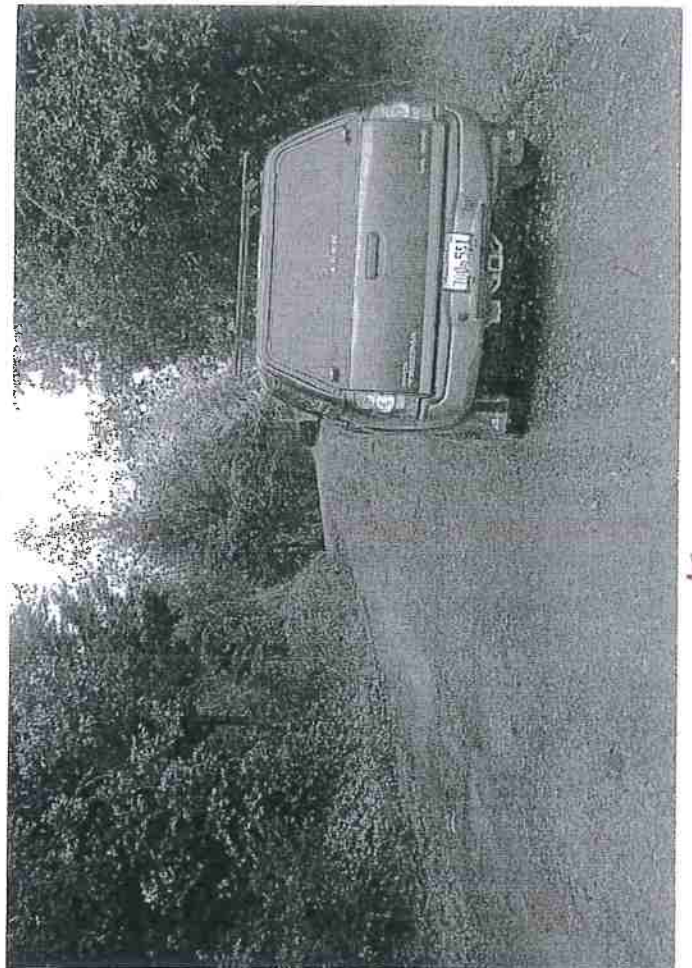
Pertaining to Road Evaluation for following *Parcels/APPS/Address*

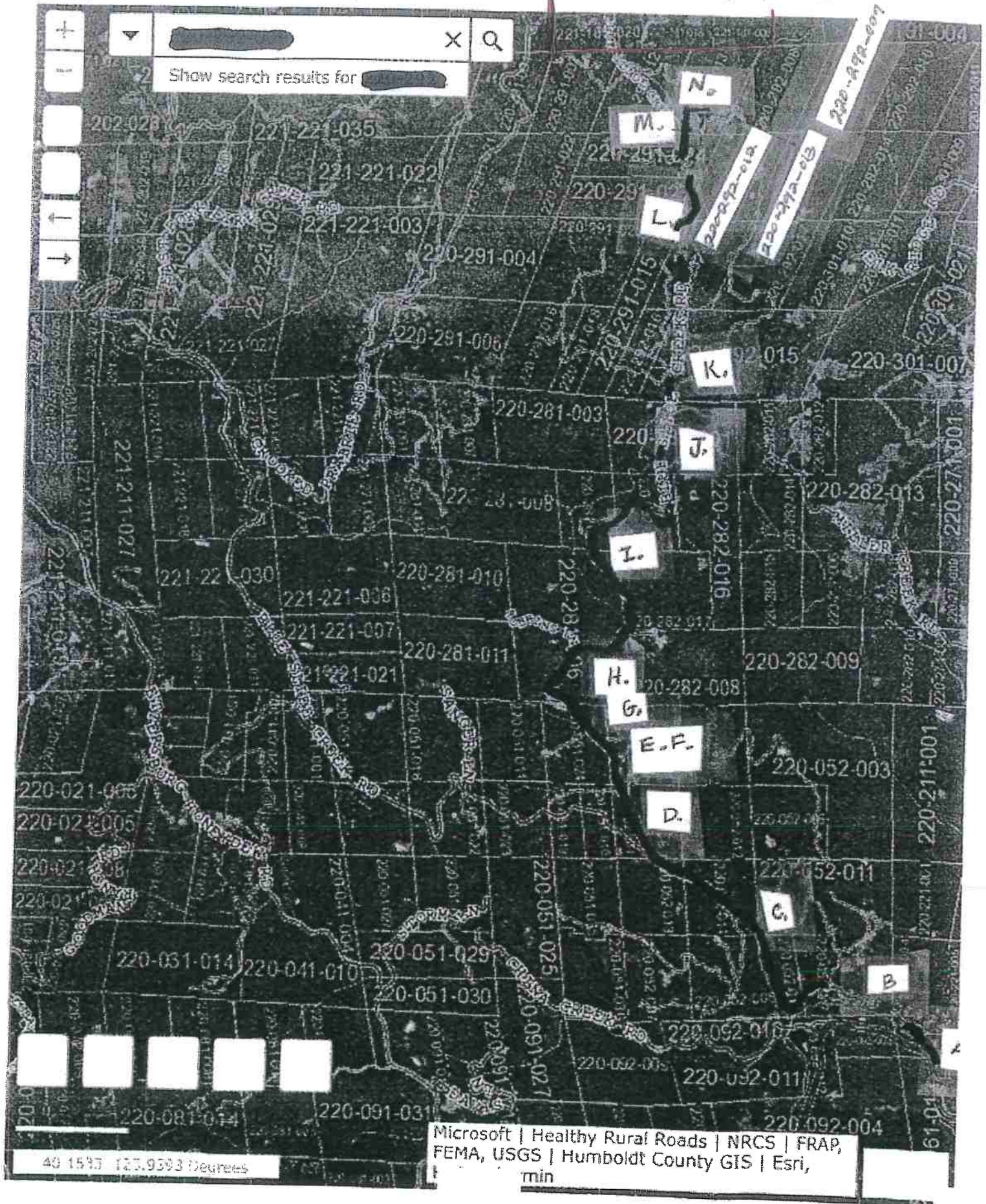
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221-181-019	11826	5450 Blue Slide Creek Rd., Whitethorn
221-181-020	11830	5351 Blue Slide Creek Rd., Whitethorn
221-181-026	11835	5000 Crooked Prairie Rd., Whitethorn











ATTACHMENT 4

REFERRAL AGENCY COMMENTS AND RECOMMENDATIONS

The project was referred to the following referral agencies for review and comment. Those agencies that provided written comments are checked off.

Referral Agency	Response	Recommendation	Location
Building Inspection Division	✓	Conditional Approval	Attached
Division Environmental Health	✓	Conditional Approval	Attached
Public Works, Land Use Division	✓	Conditional Approval	Attached
CalFIRE		No response	
Briceland Fire Protection District		No response	
California Department of Fish & Wildlife		No response	
Northwest Information Center	✓	Further Study	On file and confidential
Humboldt County Sheriff		No response	
Humboldt County Agricultural Commissioner		No response	
Humboldt County District Attorney		No response	
North Coast Unified Air Quality Management District		No response	
Bear River Band of Rohnerville Rancheria	✓	Inadvertent Discovery Protocol	On file- confidential
Intertribal Sinkyone Wilderness Council			
North Coast Regional Water Quality Control Board		No response	
Southern Humboldt Joint Unified School District			



HUMBOLDT COUNTY
PLANNING AND BUILDING DEPARTMENT
CURRENT PLANNING DIVISION
3015 H STREET, EUREKA, CA 95501 ~ PHONE (707) 445-7541

9/22/2017

PROJECT REFERRAL TO: Building Inspection Division

Project Referred To The Following Agencies:

Building Inspection Division, Public Works Land Use Division, Health and Human Services Environmental Health Division, California Department of Fish And Wildlife, Northwest Information Center, Bear River Band Rohnerville Rancheria, Intertribal Sinkyone Wilderness Council, Southern Humboldt Joint School District

Applicant Name Fem-o-Ral Farms **Key Parcel Number** 221-181-020-000

Application (APPS#) 11830 **Assigned Planner** Cannabis Planner (CPOD) (707) 445-7541 **Case Number(s)** ZCC16-266

Please review the above project and provide comments with any recommended conditions of approval. To help us log your response accurately, please include a copy of this form with your correspondence.

Questions concerning this project may be directed to the assigned planner for this project between 8:30am and 5:30pm Monday through Friday.

County Zoning Ordinance allows up to 15 calendar days for a response. If no response or extension request is received by the response date, processing will proceed as proposed.

☐ If this box is checked, please return large format maps with your response.

Return Response No Later Than 10/7/2017

Planning Commission Clerk
County of Humboldt Planning and Building Department
3015 H Street
Eureka, CA 95501
E-mail: PlanningClerk@co.humboldt.ca.us **Fax:** (707) 268-3792

We have reviewed the above application and recommend the following (please check one):

☐ Recommend Approval. The Department has no comment at this time.

☐ Recommend Conditional Approval. Suggested Conditions Attached.

☒ Applicant needs to submit additional information. List of items attached.

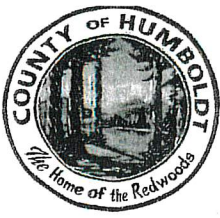
☐ Recommend Denial. Attach reasons for recommended denial.

☐ Other Comments: _____

DATE: 2/15/18

PRINT NAME: Rudy Marenghi

221-181-020



COUNTY OF HUMBOLDT
PLANNING AND BUILDING DEPARTMENT
BUILDING DIVISION

3015 H STREET EUREKA CA 95501
PHONE: (707) 445-7245 FAX: (707) 445-7446

Building Division's Referral Comments for Cannabis Operations:

Application No.: 45559/11830
Parcel No.: 221-181-020
Case No.: ZCC16-266

The following comments apply to the proposed project, (check all that apply).

- ☐ Site/plot plan appears to be accurate.
- ☒ Submit revised site/plot plan showing all of the following items: all grading including ponds and roads, location of any water course including springs, all structure including size and use and all setbacks from the above stated to each other and property lines.
- ☐ Existing operation appears to have expanded, see comments: _____

- ☐ Existing structures used in the cannabis operation shall not to be used/occupied until all required permits have been obtained.
- ☐ Proposed new operation has already started.
- ☒ Recommend approval based on the condition that all required grading, building, plumbing electrical and mechanical permits and or Agricultural Exemption are obtained.
- ☒ Other Comments: Revise plot plan to show (2) 10'x80' GH's as
(1) 96'x30' GH, all solar panels, and 8'x10' storage building. Will
need soils report. Will need grading, erosion, and sediment control
plan by engineer.

Name: Rudy Mavenghi

Date: 2/15/18

Note: Remember to take photographs and then save them to the Planning's case number. File location J, Current Planning, Projects, (CUP, SP, ZCC) Case number.



HUMBOLDT COUNTY
PLANNING AND BUILDING DEPARTMENT
CURRENT PLANNING DIVISION
3015 H STREET, EUREKA, CA 95501 ~ PHONE (707) 445-7541

PROJECT REFERRAL TO: Health and Human Services Environmental
Health Division

Project Referred To The Following Agencies:

Building Inspection Division, Public Works Land Use Division, Health and Human Services Environmental Health Division, California Department of Fish And Wildlife, Northwest Information Center, Bear River Band Rohnerville Rancheria, Intertribal Sinkyone Wilderness Council, Southern Humboldt Joint School District

Applicant Name Fem-o-Ral Farms Key Parcel Number 221-181-020-000

Application (APPS#) 11830 Assigned Planner Cannabis Planner (CPOD) (707) 445-7541 Case Number(s) ZCC16-266

Please review the above project and provide comments with any recommended conditions of approval. To help us log your response accurately, please include a copy of this form with your correspondence.

Questions concerning this project may be directed to the assigned planner for this project between 8:30am and 5:30pm Monday through Friday.

County Zoning Ordinance allows up to 15 calendar days for a response. If no response or extension request is received by the response date, processing will proceed as proposed.

☐ If this box is checked, please return large format maps with your response.

Return Response No Later Than Planning Commission Clerk
County of Humboldt Planning and Building Department
3015 H Street
Eureka, CA 95501
E-mail: PlanningClerk@co.humboldt.ca.us Fax: (707) 268-3792

We have reviewed the above application and recommend the following:

Conditional Approval

Comments:

Prior to renewal of permit the operator is required to submit to DEH receipts, or copy of contract confirming sufficient use of portable toilets to serve staff for duration of first year or provide written assessment from a qualified septic consultant (REHS, PG or PE) confirming a Tier 0 status for the existing onsite waste treatment system serving the dwelling.

*This review and recommendation is for the Land Use aspects of the planning project and does not include or imply compliance with all DEH programs. Although DEH recommends the approval of the Planning project, Solid Waste and HazMat Program requirements need to be addressed directly with staff from those programs.

Response Date: 6/18/2018 Recommendation By: Joey Whittlesey



DEPARTMENT OF PUBLIC WORKS
COUNTY OF HUMBOLDT

MAILING ADDRESS: 1106 SECOND STREET, EUREKA, CA 95501-0579
AREA CODE 707

ARCATA-EUREKA AIRPORT TERMINAL
MCKINLEYVILLE
FAX 839-3596

AVIATION

839-5401

PUBLIC WORKS BUILDING
SECOND & L ST., EUREKA
FAX 445-7409

ADMINISTRATION
BUSINESS
ENGINEERING
FACILITY MAINTENANCE

445-7491
445-7652
445-7377
445-7493

NATURAL RESOURCES
NATURAL RESOURCES PLANNING
PARKS
ROADS & EQUIPMENT MAINTENANCE

445-7741
267-9540
445-7651
445-7421

CLARK COMPLEX
HARRIS & H ST., EUREKA
FAX 445-7368

LAND USE

445-7205

LAND USE DIVISION INTEROFFICE MEMORANDUM

TO: Michelle Nielsen, Senior Planner, Planning & Building Department

FROM: Kenneth M. Freed, Assistant Engineer

DATE: 4-26-18

RE:

Applicant Name	Fern-o-Ral Farms
APN	221-181-020
APPS#	11830 ZCC16-266

The Department has reviewed the above project and has the following comments:

- ☒ The Department's recommended conditions of approval are attached as **Exhibit "A"**.
- ☐ Additional information identified on **Exhibit "B"** is required before the Department can review the project. **Please re-refer the project to the Department when all of the requested information has been provided.**
- ☐ Additional review is required by Planning & Building staff for the items on **Exhibit "C"**. **No re-refer is required.**
- ☒ **Road Evaluation Reports(s)** are required; See **Exhibit "D"**. **No re-refer is required.**

*Note: Exhibits are attached as necessary.

Additional comments/notes:

Applicant shall repair the entrance onto Brice Land-thorne Road at the time of surfacing the entrance.

// END //

Exhibit "D"

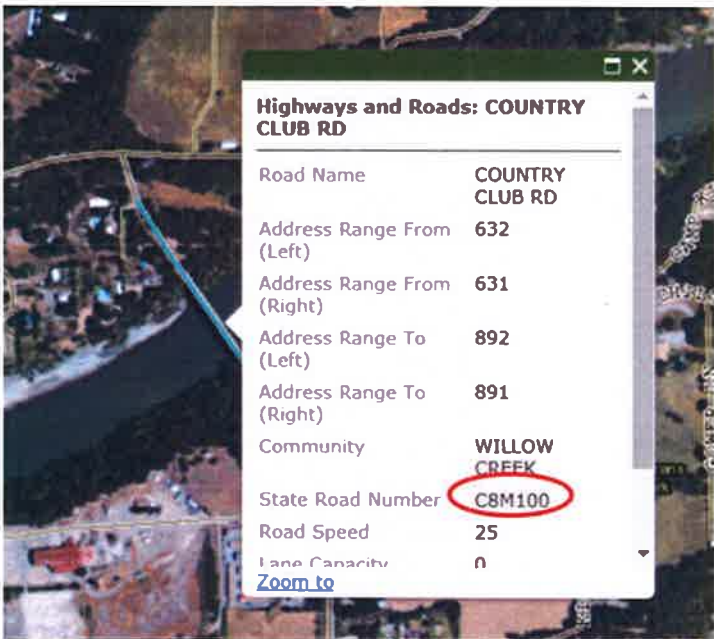
Road Evaluation Reports

1. **ROADS – Road Evaluation Reports.** Planning and Building Department staff shall request that the applicant provide Road Evaluation Reports for the project. The particular roads that require a Road Evaluation Report is to be determined by following the guidance shown below.

The Department has developed a Road Evaluation Report form so that an applicant can address the adequacy of the various roads used by their project. Most projects will require that a Road Evaluation Report form be completed.

When viewing the project site on google earth, if the County maintained road (or other publicly maintained road) has a centerline stripe, the road is adequate. If there is no centerline stripe, then the roads leading from the nearest publicly maintained road with a paved centerline stripe (or a known category 4 road) must be evaluated. A separate Road Evaluation Report form is needed for each road. This applies to all roads regardless if they are publicly or privately maintained. The Department has prepared a "approved list" of known County maintained roads that are category 4 (or are equivalent to category 4) standards for cannabis projects. The Department has also prepared a list of roads that are known to not meet road category 4 of equivalent. Both of these lists will be updated as the County information regarding the County maintained roads becomes available.

The Road Evaluation Report form needs to be provided to applicants to complete. It is important that Planning and Building Department staff provide the applicant with a map that has the roads to be evaluated highlighted. This will most likely include a combination of County maintained roads and non-County maintained roads. This will give the applicant clear direction on which roads need to be evaluated.



Above: screenshot from the WebGIS showing County Road Number circled in RED.

A County maintained road will have a 5 or 6 character identifier. The general format is ABCDDD where:

- A is an optional identifier for the functionality of the road (A=Arterial, C=Collector, F=Federal Aid)
- B is a grid identifier number for the X-axis of a "battleship" style grid that was drawn on a county map to divide the county into a series of squares.
- C is a grid identifier letter for the Y-axis for the grid.
- DDD is a three digit road identification number within a particular grid. Each grid can have up to 999 roads in them

Examples:

ABCDDD
A 3 M 0 2 0 Murray Road
F 6 B 1 6 5 Alderpoint Road
6 C 0 4 0 Thomas Road

Exhibit "D"

Road Evaluation Reports

The Department is working towards identifying which County maintained roads meet (or are equivalent to) Road Category 4 standards for cannabis projects. Two lists are being prepared: the first list with the green heading shows which roads (or portions thereof) meet or are equivalent to Road Category 4 standard (AKA "Approved List"); and the second list with the red heading shows which roads (or portions thereof) that do not meet or are not equivalent to Road Category 4 standards. These lists will be updated as information becomes available. **This list will be updated frequently. Make sure you are using the most up to date list.**

On occasion there may be more than one road that has the same name; in these instances check the road number to ensure that you are referencing the correct road. Until such time as the GIS roads layer has been proofed by the Department, the GIS is not to be used for this task. Use the paper road maps to check road numbers.

If the subject property takes direct access from a road on the "approved list", no further road evaluation needs to be done.

"APPROVED LIST"		
List of County Maintained Roads that meet (or are equivalent to) Road Category 4 standards for Cannabis Projects		
Road Name	Road Number	Range meeting (or equivalent to) Road Category 4 standard
Alderpoint Road	F6B165	All
Bair Road	C6L300	All
Bair Road	6L300	All
Bald Hills Road	F4R300	All
Benbow Drive	6B180	Oakcrest Drive to State Hwy 101
Blue Slide Road	F2G100	All [Grizzley Bluff Rd to City limits of Rio Dell]
Brannon Mountain Road	7M100	State Hwy 96 to Creekside Lane
Briceland Thorne Road	F5A010	All
Burrell Road	3D030	From Mattole Rod to P.M. 067
Cathey Road	6D050	State Park to P.M. 0.87 [End of County maintained]
Chemise Mountain Road	C4A030	Shelter Cove Road to P.M. 3.0
Eel Rock Road	7D010	All
Eighth Avenue	4N080	All
Ettersburg Honeydew Road	F5A010	All
Fickle Hill Road	C5J040	PM 1.55 [end of centerline stripe] to P.M. 8.00
Fieldbrook Road	C4L760	All
Freshwater Road	F6F060	All
Friday Ridge Road	8L100	State Hwy 299 to PM 3.37[End of County maintained] then becomes USFS Road
Greenwood Heights Drive	C4K160	All
Grizzley Bluff Road	F2G100	All [City limits of Ferndale to Blue Slide Rd]
Jacoby Creek Road	C4K230	Old Arcata Road to P.M. 2.50
Jacoby Creek Road	4K230	From P.M. 2.5 to P.M. 2.69
Kneeland Road	F6F060	Freshwater Road to Mountain View Road
Maple Creek Road	5L100	All
Mattole Road	F3D010	All
Mattole Road	F3C010	All
McCann Road	6D090	Dyerville Loop Road to P.M. 1.0
McCellan Mtn Road	7F010	State Hwy 36 to P.M. 3.57[End of County maintained]
Mountain View Road	6H010	All
Murray Road	C3M020	All
Old Three Creeks Road	6L250	State Hwy 299 to P.M. 2.8 [End of County maintained]
Panther Gap Road	4D010	Mattole Road to P.M. 1.83[End of County maintained] continues as a non- County maintained road
Patterson Road	C3M130	All
Salmon Creek Road	6C030	Hwy 101 to P.M. 5.39 [Gate]
Shelter Cove Road	C4A010	All
Sprowel Creek Road	C6B095	PM 0.0 to PM 2.11
Sprowel Creek Road	6B095	PM 2.11 to PM 4.00
Thomas Road	6C040	Salmon Creek Road to P.M. 4.03 [End of County maintained] continues as a non- County maintained rd
Titlow Hill Road	7K100	Hwy 299 to PM 4.7[End of County maintained] then becomes USFS Road
West End Road	5L010	PM 0.0 at Arcata City Limits to Warren Creek Road
Wilder Ridge Road	C5B010	All

Exhibit "D"

Road Evaluation Reports

List of County Maintained Roads that do not meet (or are not equivalent to) Road Category 4 standards for Cannabis Projects		
Road Name	Road Number	Range not meeting (or not equivalent to) Road Category 4 standard
Bark Shanty Road	9R105	All
Benbow Drive	6B180	Oakcrest Dr to end of County maintained
Brannon Mountain Road	7M100	Creekside Lane to PM 5.0 [End of County maintained] then becomes USFS Road
Burrell Road	3D030	P.M. 067 to P.M. 2.22 [End of County maintained]
Butte Creek Road	6H020	All
Chemise Mountain Road	C4A030	P.M. 3.0 to P.M. 4.09 [Mendocino County Line]
Essex Lane	C4L780	P.M. 0.2 to P.M. 0.9 [End of County maintained]
Fickle Hill Road	C5J040	P.M. 8.0 to P.M. 11.72
Kings Peak Road	C4A020	P.M. 1.0 to P.M 12.20
McCann Road	6D090	P.M.1.0 to P.M.2.6 [End of County maintained]
Mill Street	3G305	Country Club Estates to P.M. 0.49[End]
Old Eel Rock Road	7D025	All
River Bar Road	4G010	Hwy 36 to P.M. 1.76 [End of County maintained]
Salmon Creek Road	6C030	P.M. 5.39 to P.M. 5.88[End of County maintained]
Sprowel Creek Road	6B095	P.M 4.00 to PM 7.22 [End of County maintained]
Stapp Road	7H010	P.M 0.00 to 3.25[End of County maintained]
Warren Creek Road	5L740	P.M 0.0 to PM 0.95 [End of County maintained]
Williams Creek Road	2G045	All

// END //

Public Works Recommended Conditions of Approval

(All checked boxes apply)

APPS # 11830

- ☐ **COUNTY ROADS- FENCES & ENCROACHMENTS:**

All fences and gates shall be relocated out of the County right of way. All gates shall be setback sufficiently from the County road so that vehicles will not block traffic when staging to open/close the gate. In addition, no materials shall be stored or placed in the County right of way.

This condition shall be completed to the satisfaction of the Department of Public Works prior to commencing operations, final sign-off for a building permit, or Public Works approval for a business license.
- ☐ **COUNTY ROADS- DRIVEWAY (PART 1):**

The submitted site plan is unclear and/or shows improvements that are inconsistent with County Code and/or Department of Public Works policies. The applicant is advised that these discrepancies will be addressed at the time that the applicant applies to the Department of Public Works for an Encroachment Permit. If the applicant wishes to resolve these issues prior to approval of the Planning & Building permit for this project, the applicant should contact the Department to discuss how to modify the site plan for conformance with County Code and or Department of Public Works policies. Notes:
- ☐ **COUNTY ROADS- DRIVEWAY (PART 2):**

Any existing or proposed driveways that will serve as access for the proposed project that connect to a county maintained road shall be improved to current standards for a commercial driveway. An encroachment permit shall be issued by the Department of Public Works prior to commencement of any work in the County maintained right of way. This also includes installing or replacing driveway culverts; minimum size is typically 18 inches.

 - If the County road has a paved surface at the location of the driveway, the driveway apron shall be paved for a minimum width of 18 feet and a length of 50 feet.
 - If the County road has a gravel surface at the location of the driveway, the driveway apron shall be rocked for a minimum width of 18 feet and a length of 50 feet.
 - If the County road is an urban road, frontage improvements (curb, gutter, and sidewalk) shall also be constructed to the satisfaction of the Department. Any existing curb, gutter or sidewalk that is damaged shall be replaced.

The exact location and quantity of driveways shall be approved by the Department at the time the applicant applies to the Department of Public Works for an Encroachment Permit.

This condition shall be completed to the satisfaction of the Department of Public Works prior to commencing operations, final sign-off for a building permit, or Public Works approval for a business license.
- ☐ **COUNTY ROADS- DRIVEWAY (PART 3):**

The existing driveway will require substantial modification in order to comply with County Code. The applicant may wish to consider relocating the driveway apron if a more suitable location is available.
- ☐ **COUNTY ROADS-PARKING LOT- STORM WATER RUNOFF:**

Surfaced parking lots shall have an oil-water filtration system prior to discharge into any County maintained facility.

This condition shall be completed to the satisfaction of the Department of Public Works prior to commencing operations, final sign-off for a building permit, or Public Works approval for a business license.
- ☒ **COUNTY ROADS- DRIVEWAY & PRIVATE ROAD INTERSECTION VISIBILITY:**

All driveways and private road intersections onto the County Road shall be maintained in accordance with County Code Section 341-1 (Sight Visibility Ordinance).

This condition shall be completed to the satisfaction of the Department of Public Works prior to commencing operations, final sign-off for a building permit, or Public Works approval for a business license.
- ☒ **COUNTY ROADS- PRIVATE ROAD INTERSECTION:**

Any existing or proposed non-county maintained access roads that will serve as access for the proposed project that connect to a county maintained road shall be improved to current standards for a commercial driveway. An encroachment permit shall be issued by the Department of Public Works prior to commencement of any work in the County maintained right of way.

 - If the County road has a paved surface at the location of the access road, the access road shall be paved for a minimum width of 20 feet and a length of 50 feet where it intersects the County road.
 - If the County road has a gravel surface at the location of the access road, the access road shall be rocked for a minimum width of 20 feet and a length of 50 feet where it intersects the County road.

This condition shall be completed to the satisfaction of the Department of Public Works prior to commencing operations, final sign-off for a building permit, or Public Works approval for a business license.
- ☐ **COUNTY ROADS- ROAD EVALUATION REPORT(S):**

All recommendations in the *Road Evaluation Report(s)* for County maintained road(s) shall be constructed/implemented to the satisfaction of the Public Works Department prior to commencing operations, final sign-off for a building permit, or approval for a business license. An encroachment permit shall be issued by the Department of Public Works prior to commencement of any work in the County maintained right of way.

// END //