

**RESOLUTION OF THE ZONING ADMINISTRATOR
OF THE COUNTY OF HUMBOLDT**

Resolution Number: 24-059

Record Number: PLN-2024-18985

Assessor's Parcel Numbers: 110-251-037 and 110-251-038

Resolution by the Zoning Administrator of the County of Humboldt certifying compliance with the California Environmental Quality Act and conditionally approving the Coza Coastal Development Permit, Notice of Merger, and Special Permits.

WHEREAS, the applicant has submitted an application and evidence in support of approving a Coastal Development Permit, Notice of Merger, and two Special Permits; and

WHEREAS, the County Planning Division has reviewed the submitted application and evidence and has referred the application and evidence to involved reviewing agencies for site inspections, comments, and recommendations; and

WHEREAS, the Planning Division as the Lead Agency has determined that the project qualifies for the exemptions found in Sections 15303(a) (New Construction or Conversion of Small Structures), 15305(a) (Minor Alterations in Land Use Limitations), and 15304(i) (Minor Alterations to Land); and

WHEREAS, Attachment 2 in the Planning Division staff report includes evidence in support of making all of the required findings for approving the proposed Coastal Development Permit, Notice of Merger, and Special Permit (Record Number PLN-2024-18985); and

WHEREAS, the Humboldt County Zoning Administrator held a duly-noticed public hearing on November 21, 2024, and reviewed, considered, and discussed the application for the Coastal Development Permit, Notice of Merger, and Special Permits, and reviewed and considered all evidence and testimony presented at the hearing.

Now, THEREFORE BE IT RESOLVED, that the Zoning Administrator makes all the following findings:

1. FINDING:

Project Description: A Coastal Development Permit for the construction of an approximately 1,719 square-foot two-bedroom single-family residence. The residence will be two stories with a first-story 269 square-foot covered deck and a second-story 627 square-foot covered wrap-around deck. Some grading is proposed to accommodate foundation construction. The parcel will be served by community water provided by the Resort Improvement District and an on-site wastewater treatment system. Nine trees with circumferences of less than 38 inches circumference at a height of 4.5 feet will be removed and one Douglas-fir with a circumference of more than 38 inches circumference at a height of 4.5 (75 inches) feet will be removed. A Special Permit is required for removal of the Douglas-fir pursuant to Section 313-64.1 *Major Vegetation Removal* of Humboldt County Code (HCC). The project also includes the merger of one 0.27-acre parcel with one 0.28-acre parcel. A Special Permit is required for Design Review within the Coastal Zone pursuant to Section 313-19.1 of HCC.

EVIDENCE: a) Project File: PLN-2024-18985

2. FINDING:

CEQA. The requirements of the California Environmental Quality Act have been complied with. The project is exempt from environmental review per Sections 15303(a), 15304(i), and 15305(a) of the CEQA Guidelines.

EVIDENCE: a) As lead agency, the Planning and Building Department found the project to be categorically exempt from environmental review pursuant to Sections 15303(a) *New Construction or Conversion of Small Structures*, 15304(i) *Minor Alterations to Land*, and 15305(a) *Minor Alterations in Land Use Limitations* of the guidelines for the implementation of CEQA. The Class 3 exemption applies because the project includes the construction of a single-family residence in a residential zone. The Class 4 exemption applies to fuel management activities within 100 feet of a structure if the public agency having fire protection responsibility for the area has determined that 100 feet of fuel clearance is required due to extra hazardous fire conditions. The Class 5 exemption applies to Minor lot line adjustments, side yard, and set back variances not resulting in the creation of any new parcel. None of the exceptions per Section 15300.2 apply to this project.

FINDINGS FOR NOTICE OF MERGER

3. **FINDING:** Section 327.5-18 Legal, Contiguous Parcels

EVIDENCE: a) APN 110-251-037 is one separate legal parcel described as Lot 31, Block 199, of Tract 42 of Shelter Cove Subdivision, as Per Map recorded in Book 14, pages 73 to 138 inclusive of Maps which Map was corrected by Correction Map on file in the Recorder's Office of said County in Book 15, Page 64-116 of Maps, inclusive in the Office of the County Recorder of Humboldt County, California.

APN 110-251-038 is one separate legal parcel described as Lot 32, Block 199, Tract No. 42, "Shelter Cove Subdivision", according to the Map filed in Book 14 of Maps, Pages 73 to 138, inclusive, and Amended Map filed in Book 15 of Maps, Page 64 to 116, inclusive, according to the Official Records on file in the Office of the County Recorder of said Humboldt County, California.

4. **FINDING:** Section 327.5-18 Parcels meet health, building, and zoning requirements.

EVIDENCE: a) The resultant parcel will be zoned Residential Single Family, with a minimum lot size of 5,000 square feet, with a Development Standard reducing yard setback requirements, Qualified, with a Design Review combining zone (RS-5-S1-Q/D). The merger will not affect the ability of the parcel to be developed consistent with health, building and zoning requirements.

5. **FINDING:** Section 327.5-18 Merged parcel will not create health or safety problems.

EVEIDENCE: a) The proposed merger complies with all standards of the zone district which are intended to protect public health, safety and welfare. Based on staff analysis and the findings made in this report, there is no evidence that the proposed merger will be materially injurious to properties or improvements in the vicinity.

FINDINGS FOR COASTAL DEVELOPMENT PERMIT AND SPECIAL PERMITS

6. **FINDING:** The project is consistent with the purposes of the Residential/Low Density (RL) land use designation and the

development and resource policies of the South Coast Area Plan.

EVIDENCE:

- a) The proposed project is for the construction of a single-family residence in a residential area and the removal of several trees to accommodate construction and achieve Fire Safe defensible space. The parcel will be served by community water provided by the Resort Improvement District and an on-site wastewater treatment system. The project will exceed density standards. The project is in conformance with the RL designation.
- b) Neither of the parcels to be merged were included in the 2019 Adopted Housing Element Inventory. The proposed project would add one residential unit to the County's housing inventory. The Project is consistent with the goals, policies, and standards of the Humboldt County Housing Element.
- c) The subject parcel is in an area of moderate geologic instability. The subject parcels are not within an Alquist-Priolo zone. An Engineering Geologic Soils Report was prepared for the site by A.M. Baird Engineering & Surveying, Inc. in November of 2023. The report notes that slopes on both parcels are in excess of 30% throughout most of the landscape with a flat area near the middle APN 110-251-038. The report also notes that Slope instability, liquefaction, and surface rupture due exclusively to faulting or lateral spreading are not considered consequential as to require specific analysis. The report identified that no expansive soils were encountered during their investigation that require specific recommendations, that the soil onsite can support a load of 1,500 pounds per square foot, that one or two-level structures are suitable uses for the property, and that settlement is not anticipated to be detrimental provided considerations are given to the recommendations presented within the report. The report provides recommendations that shall be incorporated into the project and are included as a condition of project approval.

The parcels are not located in any flood zone, tsunami hazard area, or is susceptible to coastal inundation.

The subject parcels are located within the State Responsibility Area for fire protection within a high fire hazard severity zone. The parcels are also within the Shelter Cove Volunteer Fire Department Jurisdiction operated by the Shelter Cove Resort

Improvement District #1 who provides structural fire protection as well as responding to medical emergencies.

- d) The project was referred to the Bear River Band of the Rohnerville Rancheria, the Intertribal Sinkyone Wilderness Council, and the Northwest Information Center (NWIC). NWIC and the Bear River Band responded requesting that Inadvertent Discovery Protocol be in place prior to any development. The project is conditioned that standard inadvertent archaeological discovery protocols be in place for any ground disturbing activities.
- e) A Biological Survey for the site was conducted by Redwood Community Action Agency in June of 2024. The results of the survey are summarized as follows. No special status plant or animal species were observed within the project area. The habitat within the property was marginally suitable for Sonoma tree vole due to the few mature Douglas-fir trees, and unsuitable for the northern spotted owl. The site was dry, thus unsuitable for hydrophilic plant species. Habitat was either unsuitable or atypical for the remaining vascular plant species on the California Natural Diversity Database list, likely in part due to the disturbed nature of the site. The area was too dry to support amphibian species of concern.

Recommendations within the Biological Survey Report include the following: 1) Trees to be removed from the property, especially the larger Douglas-fir in the defensive perimeter, should be removed outside the nesting season to avoid disruption of nesting activities, and 2) If possible, the larger Douglas-fir that may be in the defensive wildfire perimeter should be maintained.

The project was referred to the California Department of Fish and Wildlife (CDFW). CDFW responded stating that they agree with the recommendation in the Biological Survey Report requiring tree removal outside the nesting season and added their own recommendation that native plants be used as landscaping and that the use of invasive plant species in landscaping be prohibited. Both recommendations have been included in the Conditions of Approval for the project.

- f) A Septic Disposal Design was prepared for the project by A.M.

Baird Engineering & Surveying, Inc. in November of 2023. The site investigation was conducted that found that slopes on both parcels are in excess of 30% throughout most of the landscape with a flat area near the middle of the southernmost parcel (APN: 110-251-038). The southernmost parcel is the most buildable with respect to an onsite wastewater treatment system; however, the merger of both parcels is likely required to meet appropriate septic dispersal field sizing requirements and site spatial conditions. During the site investigation, one trench, ten feet in depth, was excavated adjacent to the flat area near the middle of the parcel. Both specialists onsite agreed that the single sampling location would be representative of both the primary and reserve fields, as both fields will be in close proximity to the sampling location. Percolation testing showed that the site is unsuitable for a standard gravity OWTS due to the rapid percolation rate. A non-standard, low-pressure pipe (LPP) dosing system was selected as the appropriate method of wastewater treatment for this project. The non-standard LPP OWTS allows for a shallow trench depth; therefore, the leach lines can be placed closer together than those in a standard system. The non-standard LPP OWTS requires the use of a pump chamber, effluent pump and electrical appurtenances to achieve uniform discharge of effluent into a dispersal area. The septic design includes the following: a 1,200-gallon minimum capacity septic tank as required for septic waste storage for the proposed 2-bedroom residence with a loading rate of 300 gallons per day; a 500-gallon minimum capacity pump tank as required for septic waste distribution for the proposed 2-bedroom residence with a loading rate of 300 gallons per day; a force main of SCH 40 PVC, 2.0 inches in diameter and approximately 10 feet in length that extends from the pump tank to the manifold connected to the primary absorption field; and primary and reserve disposal fields, each consisting of two leach lines 41 feet in length placed parallel to contour lines. The project engineer recommends that all surface water drainage from surrounding structures be diverted away from the locations of the septic tank, pump tank, and sewage disposal fields. This has been made a condition of project approval.

The project was referred to the County Department of Environmental Health (DEH) and they were provided with a copy of the Septic Disposal Design for review. DEH has reviewed the design and conducted a site visit to assess the suitability of the

proposal and has recommended approval of the project.

- g) The subject parcels are not within any coastal scenic area or coastal view area, and do not provide coastal access. Design Review was conducted for the project and the project meets all requirements. The proposed residence is not expected to impact scenic and visual qualities, as it will be similar to and compatible with adjacent development.

7. FINDING: The project is consistent with the purposes of the Residential Single Family, with a minimum lot size of 5,000 square feet, with a Development Standard reducing yard setback requirements (RS-5-S1).

EVIDENCE: a) The proposed project will create a single-family residence on two currently undeveloped lots that are to be merged as part of this project. Single-family dwellings are principally permitted in the RS zone.

- b) The proposed project would not exceed the maximum coverage allowed on the merged lot, all minimum yard setback requirements will be met for the zone, the two-story residence will not exceed the maximum structure height requirement, and there are four parking spaces shown on the site plan as required by County Code. In addition, Calfire has approved an exception request for the reduction of the required 30-foot Fire Safe property line setback.

8. FINDING: Ordinance 1914 (Q Zone) prohibits uses otherwise allowed by zone. These include secondary dwelling units, temporary and/or recreational housing, accessory buildings without inclusion of a primary residence, or open storage of any material, equipment, refuse, carton, package or similar item.

EVIDENCE: a) The project is for the construction of a two-story single-family residence and does not include any of the prohibited uses in the Q zone.

9. FINDING: §313-19.1 D – Design Review
The purpose of these regulations is to provide design review for conformance of new development with the policies and standards of the General Plan, and to provide for a design review process where neighborhoods within the same zone district

desire to preserve or enhance the area's historical, cultural, or scenic values.

EVIDENCE:

- a) The proposed residence is consistent and compatible with the South Coast Area Plan. Evidence of adherence to the Design Review findings is discussed below. The Neighborhood Design Survey, submitted by the applicant, provided information about the homes within the vicinity of the proposed project.
- b) The subject parcels are not within a designated Coastal Scenic or Coastal View area. The Neighborhood Design Survey submitted by the applicant profiled 10 homes within the general vicinity of the project. Of the homes surveyed, all had American Craftsman architecture, all utilized composition asphalt roofing, all utilized Hardie Lap for the exterior building siding, and all were two stories. The proposed residence will be aesthetically cohesive with the design of surrounding homes. The visual impact of proposed development on neighboring parcels will be insignificant.
- c) The building site is on slopes in excess of 30%. The residence will be constructed along the natural contour of the site. Some grading is proposed to accommodate foundation construction. The development will not result in the loss of a view of the surrounding natural setting. The applicant is required to implement Best Management Practices for erosion control, as well as recommendations detailed in the Engineering Geologic Soils Report which have been incorporated as Conditions of Approval.
- d) All new outdoor lighting shall be compatible with the existing setting and directed within the property boundaries. This has been included as a condition of approval.
- e) Tree removal will be limited to what is required for development and defensible space from wildfires. The architectural style and height of the proposed residence is within range of the neighboring residences and the visual impact on neighboring parcels would be insignificant. The project is conditioned that landscaping be fire resistant and be native to coastal Northern California.
- f) New utilities shall be placed underground, when feasible. This

has been included as a condition of approval.

- g) The proposed project meets all setback requirements for the RS zone. There are not likely to be impacts to scenic or visual qualities of the area.
- h) No off-premises signs are proposed.

10. FINDING:

§313-19.1.8 - Additional Standards Applicable to Shelter Cove

1. Residences must be constructed to a minimum width of 20 feet.
2. Foundations must meet UBC requirements for seismic zone IV.
3. Eaves shall overhang a minimum of 12 inches.
4. Exterior walls and roofing materials shall not be constructed of reflective, unfinished metal or galvanized metal.

EVIDENCE:

- a) The width of the residence is 28 feet.
- b) Foundations that meet UBC requirements for seismic zone IV is a requirement of the Building Permit for occupied structures.
- c) All roof eaves will have a 24-inch overhang.
- d) No unfinished or galvanized metal or reflective materials are proposed.

11. FINDING:

§313-64 - Major Vegetation Removal

Major vegetation removal may be permitted with a Special Permit in all zones, as an accessory use. The purpose of these provisions is to: (1) preserve and protect major vegetation within the County Coastal Zone that directly and indirectly prevents soil erosion, landslide and flood hazard; and (2) Reduce runoff, provide windbreaks or provide protection to adjacent trees from irreparable wind damage; and (3) Protect property values and the local economy by maintaining the visual quality of the County, while respecting and recognizing individual rights to develop, maintain, and enjoy private property to the fullest possible extent.

EVIDENCE:

- a) The removal of the Douglas-fir with a circumference of more than

75 inches circumference at a height of 4.5 feet constitutes major vegetation removal and requires a Special Permit. The purpose of the tree removal is to establish a defensible area around the house and deck. The project site has slopes in excess of 30% and is mapped as having moderate instability. There are no mapped historic landslides or areas prone to flooding on or near the site. The Douglas-fir does not provide a windbreak or provide protection to adjacent trees from irreparable wind damage. Lastly, the Douglas-fir does not protect property values or the local economy by maintaining the visual quality of the County. Therefore, staff recommends approval of the Special Permit.

12. FINDING:

The proposed development and conditions under which it may be operated or maintained will not be detrimental to the public health, safety, or welfare; or materially injurious to property or improvements in the vicinity.

EVIDENCE:

- a) The proposed development will be compatible in appearance with the neighborhood and complies with all development standards of the zone district which are intended to protect public health safety and welfare. Based on staff analysis and the findings made in this report, there is no evidence that the proposed development will be materially injurious to properties or improvements in the vicinity.

13. FINDING:

The proposed project does not reduce the residential density for any parcel below that utilized by the Department of Housing and Community Development in determining compliance with housing element law unless the following written findings are made supported by substantial evidence: 1) the reduction is consistent with the adopted general plan including the housing element; and 2) the remaining sites identified in the housing element are adequate to accommodate the County share of the regional housing need; and 3) the property contains insurmountable physical or environmental limitations and clustering of residential units on the developable portions of the site has been maximized.

EVIDENCE:

- a) Neither of the parcels to be merged were included in the 2019 Adopted Housing Element Inventory. The proposed project would add one residential unit to the County's housing inventory. The Project is consistent with the goals, policies, and standards of the Humboldt County Housing Element.

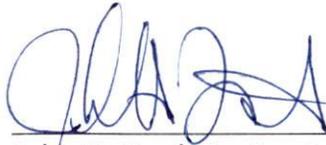
DECISION

NOW, THEREFORE, based on the above findings and evidence, the Humboldt County Zoning Administrator does hereby:

- Adopt the findings set forth in this resolution; and
- Approve the Coza Coastal Development Permit, Notice of Merger, and Special Permits subject to the Conditions of Approval attached hereto as Attachment 1A.

Adopted after review and consideration of all the evidence on **November 21, 2024**.

I, John H. Ford, Zoning Administrator of the County of Humboldt, do hereby certify the foregoing to be a true and correct record of the action taken on the above-entitled matter by said Zoning Administrator at a meeting held on the date noted above.



John H. Ford, Zoning Administrator
Planning and Building Department

Conditions of Approval

Approval of a Coastal Development Permit, Notice of Merger, and Special Permits is conditioned upon the following terms and requirements.

1. All development shall be in accordance with approved Project Plans. Changes to the approved design may be approved if in conformance with Section 312-11, Minor Deviations.
2. The applicant shall submit a completed Notice of Merger and Certificate of Subdivision Compliance document along with legal document review fees (currently \$145.00), notary fees (currently \$15.00) and recording fees, as applicable.
3. A map revision fee as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of Supervisors (currently \$108.00) as required by the County Assessor shall be paid to the County Planning Division, 3015 "H" Street, Eureka. The check shall be made payable to the "Humboldt County Planning Division". The fee is required to cover the Assessor's cost in updating the parcel boundaries.
4. Vegetation removal associated with development shall occur outside the bird nesting season (generally March 15 – August 15) and be maintained as such until project start. Alternatively, although discouraged due to the potential for project delays and associated costs, a qualified biologist shall survey for active bird nests no more than seven days prior to the start of any project-related activities with the potential to impact nesting birds. If an active nest is found, the permittee shall consult with the California Department of Fish and Wildlife (CDFW) regarding appropriate site-specific avoidance measures and buffer distances. If there is a lapse in project-related activities of seven days or more, the biologist should re-survey the area before work resumes.
5. The applicant must clean-up all brush and debris on-site. On-site chipping and grinding activities, including land application of processed materials, are acceptable for management of wood waste provided that they do not create a nuisance, or public health and safety hazard. On-site burial or disposal of wood waste and slash is not permitted by state and local regulations.
6. The recommendations identified in the Engineering Geologic Soils Report for the project site, prepared by A.M. Baird Engineering & Surveying, Inc. in November of 2023, shall be implemented as a condition to the issuance of this permit.

7. All surface water drainage from surrounding structures shall be diverted away from the locations of the septic tank, pump tank, and sewage disposal fields.
8. The applicant shall incorporate Best Management Practices (BMPs) for erosion and sediment control as set forth in the County's Grading Ordinance (HCC Section 331-12.H.6(c)), including the following measures:
 - a. Use dust control techniques when excavating to minimize dust problems on adjacent parcels; and
 - b. Reseed disturbed areas prior to winter rain; and
 - c. Take all precautions necessary to avoid the encroachment of dirt or debris on adjacent properties. This may require the application of gravel or other acceptable surface treatment to construction access and turnaround areas to the satisfaction of the Building Official.
9. The Applicant shall apply for and obtain an encroachment permit from the Department of Public Works Land Use Division for the construction of a residential driveway on Blueridge Road. [reference: County Code section 411-11 (a)(b)]
10. The permit will require the driveway entrance to be surfaced with asphalt concrete or portland cement concrete. The paved area shall extend a minimum of 25 feet back from the edge of the existing roadway pavement and be flared a minimum of 30 feet at the intersection with the County road. The driveway shall intersect the County road at a 90° angle. The driveway grade shall not exceed 2% in the first 20 feet. [reference: County Code sections 313-109.1.3.2.5 and 411-51 (b)(3)]
11. All retaining walls shall be constructed on the property. NO retaining walls shall be constructed in the County right of way.
12. After the building pad and driveway have been rough graded, the applicant shall contact the Public Works inspector to ensure that the proposed driveway grades are in conformance with County Code, prior to construction of the building foundation and/or driveway. [reference: County Code section 411-15]
13. The applicant shall be responsible for correcting any involved drainage problems to the satisfaction of the Department of Public Works.
14. Low Impact Development (LID): The subject property is located within the municipal separate storm sewer system (MS4) boundary area. Development of the property is

required to comply with MS4 permit requirements. The applicant is advised to ensure that MS4 requirements for the proposed project can be achieved prior to project implementation. [Reference: National Pollutant Discharge Elimination System (NPDES) General Permit for Waste Discharge Requirements (WDRS) for Storm Water Discharges from Small Municipal Separate Storm Sewer Systems (MS4S), Order No. 2013-0001-DWQ, NPDES No. CAS000004 adopted 02/05/2013, Section E.12; Humboldt Low Impact Development Stormwater Manual version 3.0 (08/18/2021), Part A, Table 1]

Development of property is also required to comply with provisions for point source discharges of stormwater and non-point source waste discharges as specified in the General Exception to the California Ocean Plan for select Discharges into Areas of Special Biological Significance (ASBS), Including Special Protections for Beneficial Uses, Sections I.A and I.B (State Water Resources Control Board Resolution 2012-0031 as amended 6/19/2012).

Ongoing Requirements/Development Restrictions which Must be Satisfied for the Life of the Project:

1. The project shall be conducted in accordance with the project description and approved Project Plans.
2. Site visibility must be maintained at the residential driveway entrance. [reference: County Code section 341-1 et seq.]
3. Invasive plant species shall not be used in landscaping and landscaping shall be fire resistant. CDFW recommends the use of native plants appropriate to coastal northern California, which provide aesthetic and habitat values while requiring minimal watering and maintenance.
4. All new outdoor lighting shall be compatible with the existing setting and directed within the property boundaries.
5. New utilities shall be installed underground, when feasible.
6. Alteration to natural landforms shall be minimized.

Informational Notes:

1. If cultural resources are encountered during construction activities, the contractor on site shall cease all work in the immediate area and within a 50-foot buffer of the

discovery location. A qualified archaeologist as well as the appropriate Tribal Historic Preservation Officer(s) are to be contacted to evaluate the discovery and, in consultation with the applicant and lead agency, develop a treatment plan in any instance where significant impacts cannot be avoided.

The Native American Heritage Commission (NAHC) can provide information regarding the appropriate Tribal point(s) of contact for a specific area; the NAHC can be reached at 916-653-4082. Prehistoric materials may include obsidian or chert flakes, tools, locally darkened midden soils, ground stone artifacts, shellfish or faunal remains, and human burials. If human remains are found, California Health and Safety Code 7050.5 requires that the County Coroner be contacted immediately at 707-445-7242. If the Coroner determines the remains to be Native American, the NAHC will then be contacted by the Coroner to determine appropriate treatment of the remains pursuant to PRC 5097.98. Violators shall be prosecuted in accordance with PRC Section 5097.99

The applicant is ultimately responsible for ensuring compliance with this condition.

2. The applicant is responsible for receiving all necessary permits and/or approvals from other state and local agencies.
3. To coincide with terms for parcel mergers, this permit shall expire and become null and void at the expiration of thirty-six (36) months after all appeal periods have lapsed (see "Effective Date"); except where construction under a valid building permit or use in reliance on the permit has commenced prior to such anniversary date. The period within which construction or use must be commenced may be extended as provided by Section 312-11.3 of the Humboldt County Code.
4. The applicant is required to pay for permit processing on a time and material basis as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of Supervisors. All outstanding Planning fees to cover processing of the project shall be paid to the Humboldt County Planning Division, 3015 "H" Street, Eureka.
5. As a reminder, before any digging or excavation occurs, please contact Underground Service Alert (USA) by dialing 811 a minimum of 2 working days prior to commencing any work. This free and independent service will ensure that all existing underground utilities are identified and marked on-site.

PROJECT DESCRIPTION

Parcel 110-251-038 to have -> (2) bedroom (2) bathroom single family residence on a stepped perimeter foundation.

- Project is served by the following utilities:
- Electrical: RID
 - Gas: None
 - Water: RID
 - Plumbing Waste: Septic

Applicable codes:
 2022 California Building Code (CBC),
 2022 California Mechanical Code (CMC),
 2022 California Plumbing Code (CPC),
 2022 California Electric Code (CEC),
 2022 California Green Building Code,
 2022 California Energy Code CEC

PROJECT INFORMATION

USE: R3
 TYPE OF CONSTRUCTION: VB
 STORIES: 2
 HEIGHT: 34'-10"
 TOTAL LIVING AREA: 1,719 SQ FT
 SPRINKLERS: YES

SITE CONDITIONS

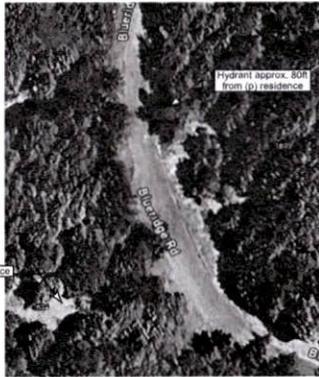
COASTAL ZONE: YES (A)
 FLOOD ZONE: NO
 SEISMIC ZONE: 2
 FAULT LINES: NONE
 MS4: YES
 WETLANDS: NONE
 STREAMS: NONE

PROJECT NOTES

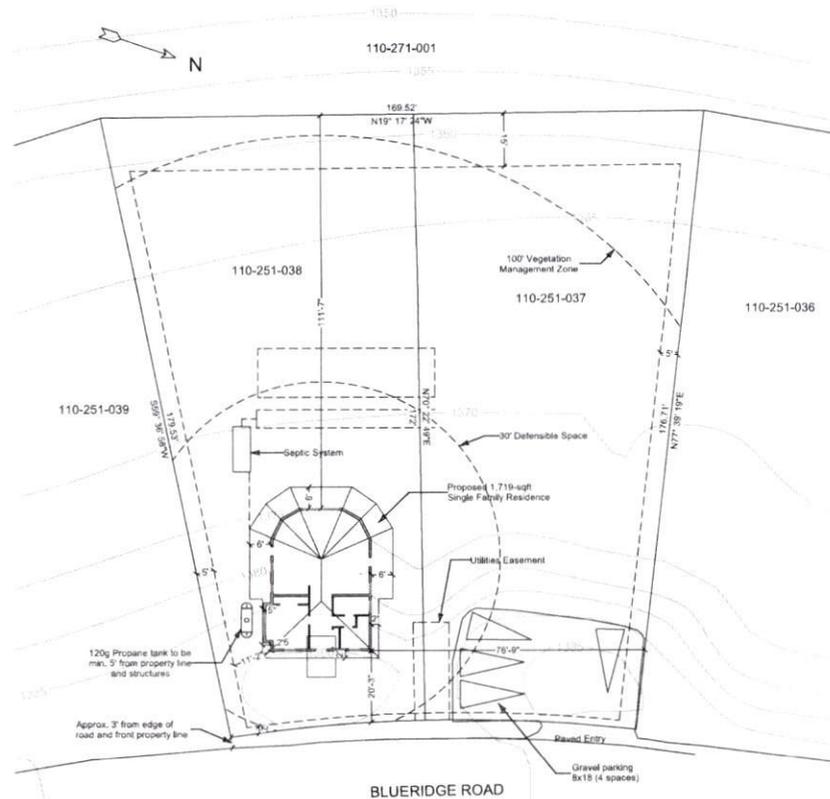
- All work shall conform to the indicated codes and local ordinances in effect at the time of issuance of building permits.
- All work shall be in conformance with manufacturer's specifications and recommendations.
- Do not scale drawings. Written dimensions on the drawings shall take precedence over scaled drawings.
- All construction and installation of equipment, materials, and appurtenances of all trades shall be constructed and installed per strict manufacturer's recommendations, specifications, and procedures. Contractor shall be responsible for the coordination of consultant drawings and documentation of all trades prior to installation or construction of equipment, materials, and appurtenances.
- All workmanship shall be performed by skilled mechanics using the best standard practices of trade.
- Any conflict with these plans and existing conditions or building codes shall be brought to the immediate attention of the draftsman or engineer, in writing.
- No proposed landscaping.
- See Tree Removal Plan for trees to be removed.
- No proposed grading beyond foundation construction.

POST PROJECT IMPERVIOUS SURFACE AREA

SFR (w/ roof overhang)	1,784 sq. ft.
Driveway	0 sq. ft. - Gravel Driveway
Total	1,784 sq. ft.



Site Overview



Site Plan
 1/16" = 1'



REVISION TABLE	DESCRIPTION
NUMBER	DATE

Blue Hammer Home Design
 bluehammerhomeplans@gmail.com



Shasta, Nevada
SITE PLAN

Single-Family Residence
 Client: Auriel Cozza & Bianca Gurgu
 Phone: 530-260-9838
 Email: auriel.cozza@gmail.com
 Address: 110-251-038, Shasta, CA

DATE:
 9/21/2024
 DRAWN BY:
 JOE HARENKSHI
 SHEET
C2

MEANS OF EGRESS NOTES

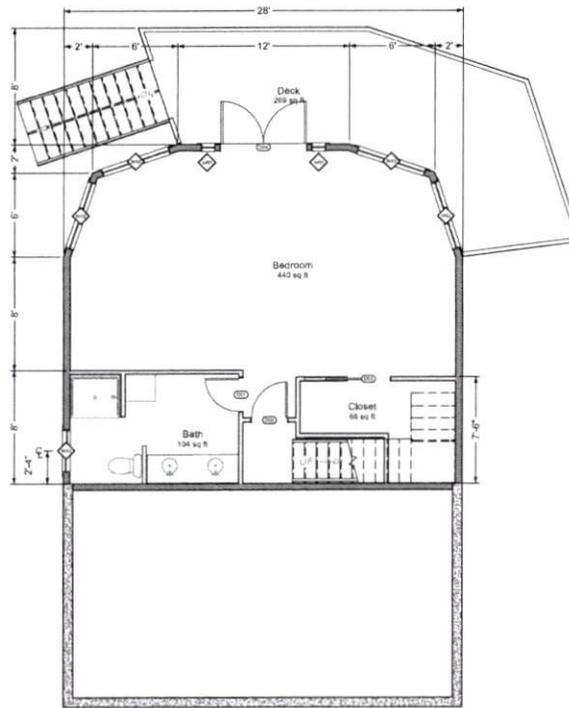
- Provide at least one side-hinged egress door from each dwelling unit not less than 3' wide and 6'-8" high with minimum 32 inches width clear. Egress door shall be readily operable from inside without the use of a key or special knowledge or effort CRC311.2.
- For habitable levels or basements located more than one story above or more than one story below an egress door, the maximum travel distance from any occupied point to a stairway or ramp that provides egress from such habitable level or basement, shall not exceed 50 feet, CRC311.4.
- The means of egress shall provide a continuous and unobstructed path of vertical and horizontal egress travel from all portions of the dwelling to the required egress door without requiring travel through a garage, CRC311.1.
- Landings or finished floors at the required egress door shall be not more than 1 1/2 inches lower than the top of the threshold, CRC311.3.1.
- Landings shall be at least as wide as the door or stairway served and shall be 36" minimum in the direction of travel, CRC311.3.
- A continuous handrail shall be provided on at least one side of each continuous run of treads or flight with four or more risers, CRC311.7.8.
- Handrail height, measured vertically from the sloped plane adjoining the tread nosing or finish surface of ramp slope, shall be not less than 34" and not more than 38". Handrails adjacent to a wall shall have a space of at least 1-1/2" between the wall and the handrail, CRC311.7.8.1.
- Winder treads shall comply with CRC311.7.5.2.1.
- Spiral stairs shall comply with CRC311.7.10.1.
- Ramps with a slope more than 1 unit vertical in 12 units horizontal shall be provided with handrails on at least one side, CRC311.8.1.3.
- Doors other than the required egress door shall be provided with landings or floors not more than 7-3/4 inches below the top of the threshold. Exception: A top landing is not required where a stairway of not more than two risers is located on the exterior side of the door, provided that the door does not swing over the stairway, CRC311.3.2.

AGING IN PLACE NOTES

- Reinforcement Scope. At least one bathroom on the entry level shall be provided with reinforcement. Where there is no bathroom on the entry level, at least one bathroom on the second or third floor of the dwelling shall be provided with reinforcement.
- Reinforcement Material and Height. Reinforcement shall not be less than 2 by 8-inch and shall be located between 32 inches (812.8 mm) and 39 1/4 inches (997 mm) above the finished floor flush with the wall framing.
- Water Closet Reinforcement. Water closet reinforcement shall be installed on both side walls of the fixture, or one side wall and the back wall. Where the water closet is not placed adjacent to a side wall capable of accommodating a grab bar, the bathroom shall have provisions for installation of floor-mounted, foldaway or similar alternate grab bar reinforcements approved by the enforcing agency.
- Shower Reinforcement. Shower reinforcement shall be continuous where wall framing is provided. Shower enclosures that do not permit installation of reinforcement and/or grab bars shall be permitted, provided reinforcement for installation of floor-mounted grab bars or an alternate method is approved by the enforcing agency.
- Bath/Shower Reinforcement. Bathtub and combination bathtub/shower reinforcement shall be continuous on each end of the bathtub and the back wall. Additionally, back wall reinforcement for a lower grab bar shall be provided with the bottom edge located no more than 6 inches (152.4 mm) above the bathtub rim. Bathtubs with no surrounding walls, or where wall panels do not permit the installation of reinforcement shall be permitted, provided reinforcement for installation of floor-mounted grab bars adjacent to the bathtub or an alternate method is approved by the enforcing agency.
- Electrical Outlet/Switch Control Heights. Electrical receptacle outlets, switches and controls (including controls for heating, ventilation and air conditioning) intended to be used by occupants shall be located no more than 48 inches (1219.2 mm) measured from the top of the outlet box and not less than 15 inches (381 mm) measured from the bottom of the outlet box above the finish floor.
- Interior Doors. Effective July 1, 2024, at least one bathroom and one bedroom on the entry level shall provide a doorway with a net clear opening of not less than 32 inches (812.8 mm), measured with the door positioned at an angle of 90 degrees from the closed position; or, in the case of a two- or three-story single family dwelling, on the second or third floor of the dwelling if a bathroom or bedroom is not located on the entry level.
- Doorbell Buttons. Doorbell buttons or controls, when installed, shall not exceed 48 inches (1219.2 mm) above exterior floor or landing, measured from the top of the doorbell button assembly. Where doorbell buttons integrated with other features are required to be installed above 48 inches (1219.2 mm) measured from the exterior floor or landing, a standard doorbell button or control shall also be provided at a height not exceeding 48 inches (1219.2 mm) above exterior floor or landing, measured from the top of the doorbell button or control.

NUMBER	COMMENTS	QTY	DESCRIPTION	SIZE	BOTTOM FLOOR	EGRESS	TEMPERED
W01		2	FIXED GLASS	1060PX	0"	1	YES
W02		4	FIXED GLASS	5040PX	13"	1	YES
W03		1	LEFT SLIDING	3030S	44"	1	YES
W04		1	FIXED GLASS	3030PX	44"	2	YES
W05		1	FIXED GLASS	3030PX	12"	2	YES
W06		6	FIXED GLASS	5358PX	25"	2	YES
W07		1	LEFT SLIDING	3030S	44"	2	YES
W08		1	LEFT SLIDING	6544S	32"	2	YES
W09		1	SINGLE CASEMENT-HL	2030SC	44"	2	YES
W10		1	SINGLE CASEMENT-HR	2030SC	44"	2	YES
W11		2	SINGLE HUNG	3040SH	32"	2	YES

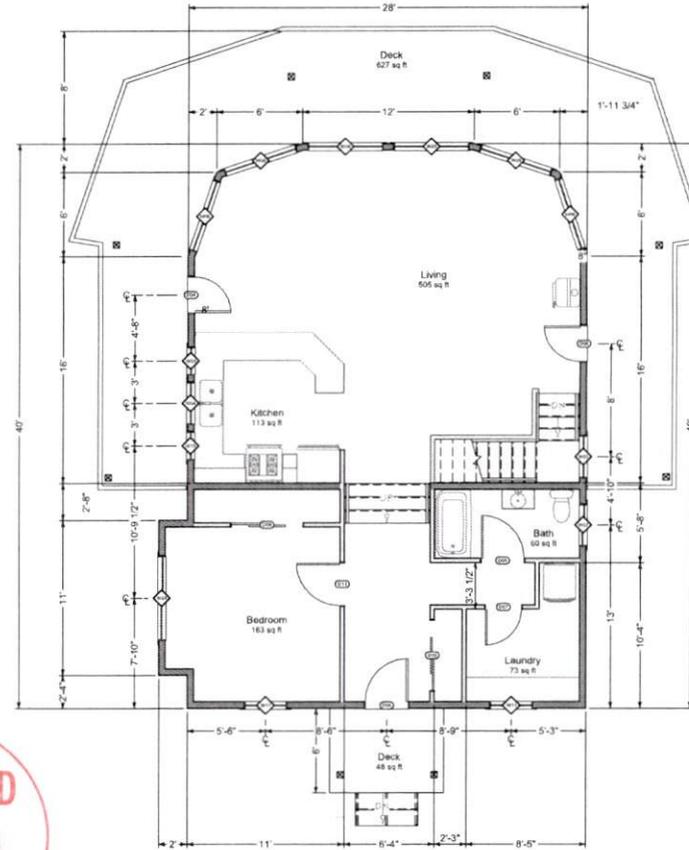
Window Schedule



1st Floor
Scale: 1/4" = 1'

NUMBER	COMMENTS	QTY	FLOOR	SIZE	DESCRIPTION
D01		1	1	2448 R IN	HINGED-DOOR P04
D02		1	1	2068 R IN	HINGED-DOOR P04
D03		1	1	1068 L	POCKET-DOOR P04
D04		1	1	6048 LR EX	EXT. DOUBLE HINGED-DOOR E21
D05		2	2	3068 L IN	HINGED-DOOR P04
D06		2	2	2648 R EX	EXT. HINGED-DOOR E21
D07		1	2	2648 R IN	HINGED-DOOR P04
D08		1	2	3068 R EX	EXT. HINGED-DOOR E21
D09		1	2	5068 L IN	SLIDER-DOOR P04
D10		1	2	5068 R IN	SLIDER-DOOR P04
D11		1	2	3068 R IN	HINGED-DOOR P04

Door Schedule



2nd Floor
Scale: 1/4" = 1'



REVISION TABLE	REVISION DATE	REVISION BY	DESCRIPTION

Blue Hammer Home Design
bluehammerhomedesign@gmail.com



FLOOR PLAN

Single-Family Residence
Client: Aurd Coza & Bianca Gurgu
Address: 5307 260th St
Etnah, WA 98148
Phone: 206-834-9999
Email: info@bluehammerhomedesign.com
ADA: 110-251-0308

DATE:	9/20/2024
DRAWN BY:	JOE HARENIGH
SHEET	A3

EXTERIOR SIDING NOTES

1. A No. 15 felt complying with ASTM D226, Type 1 water-resistive barrier shall be applied over studs or sheathing of all exterior walls with fastening. It shall be applied horizontally, with the upper layer lapped over the lower layer not less than 2 inches (51 mm), and where joints occur, shall be lapped not less than 6 inches (152 mm).
2. The nominal thickness and attachment of exterior wall coverings shall be in accordance with Table R703.3(1), the wall covering material requirements of this section, and the wall covering manufacturer's installation instructions.
3. Exterior wall coverings and roof overhang soffits shall be securely fastened with aluminum, galvanized, stainless steel or rust-preventative coated nails or staples in accordance with Table R703.3(1) or with other approved corrosion-resistant fasteners in accordance with the wall covering manufacturer's installation instructions. Nails and staples shall comply with ASTM F 1567.

WILDLAND URBAN INTERFACE (WUI) NOTES

1. Project to be in conformance with CBC 7A, CGC R337.
2. Minimum class A roofing.
3. Detachable space must be signed off prior to sheetrock inspection.
4. Exterior siding shall be "hardplank".
5. Exterior wall vents shall be Vulcan vents for WUI (listing no. 8165-2192-0500) per State Fire Marshal Listed WUI Products Handbook.
6. Exterior door shall be non-combustible construction or 1-3/8" solid core, or 20 mil, Fire rated.
7. Windows shall be tempered one one side.
8. Decking surfaces shall be an approved product.
9. Vegetation management compliance CBC 708.2.1.
10. No. 12 valley flash underlayment cap sheet running full length of valley unless roof cover is interwoven.
11. Eave & soffit vents shall be a listed product (must be fire rated) to preclude ember & flame entrance.
12. Roof gutters shall be provided with a means to prevent accumulation of leaves.



Left
1/4 in = 1 ft



Rear
1/4 in = 1 ft



REVISION	DATE	DESCRIPTION

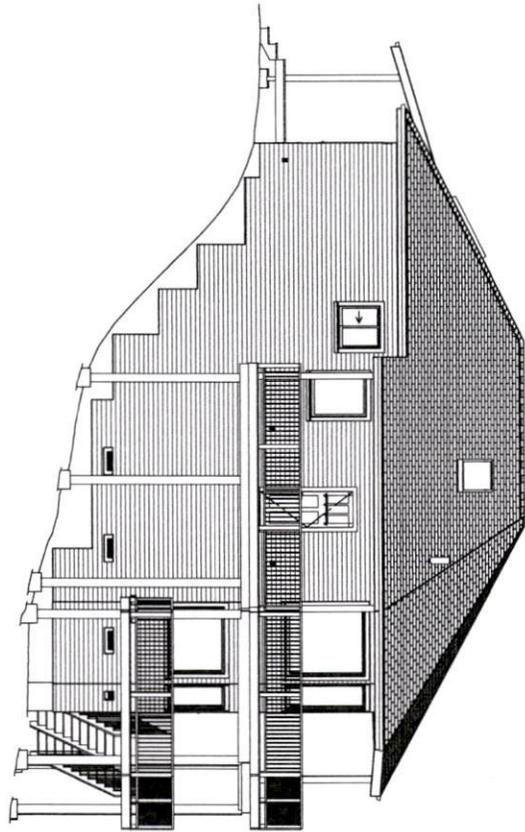
Blue Hammer Home Design
bluehammerhomedesign@gmail.com



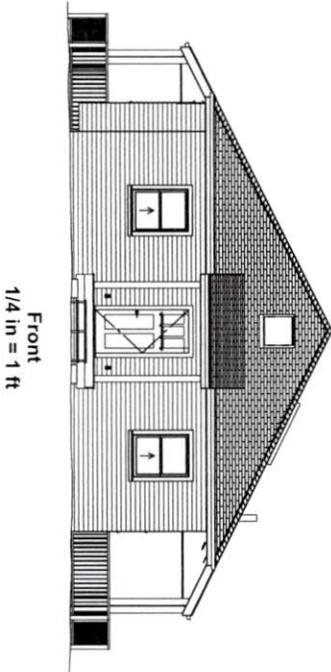
Sheet: 1/24
ELEVATIONS

Single-Family Residence
Client: Aurel Coza & Bianca Gurgu
Email: aurel.coza@gmail.com
Address: 634 Blue Ridge Rd, Shelter Cove CA
ALM 170-251-0308

DATE: 9/20/2024
DRAWN BY: JOE HARENGHI
SHEET **A1**



Right
1/4 in = 1 ft



Front
1/4 in = 1 ft

Single-Family Residence

Client: Aurel Coza & Bianca Guitgu
 Phone: 530-260-9838
 Email: aurel.coza@gmail.com
 Address: 634 Blue Ridge Rd. Shelter Cove CA
 APN: 110-251-038

DATE: 9/20/2024
 DRAWN BY: JOR MARCHETTI

A2 SHEET

Sheet Name
ELEVATIONS



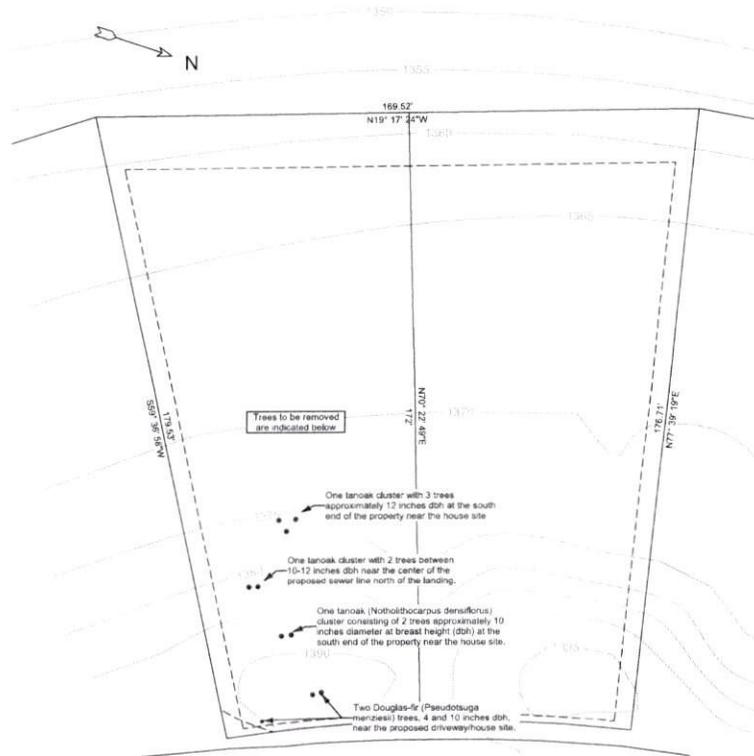
Blue Hammer
Home Design

bluehamerhomedesign@gmail.com

REVISION TABLE			
NUMBER	DATE	REVISOR	DESCRIPTION

TREE REMOVAL NOTES

1. One lanoak (*Nothofagus densiflorus*) cluster consisting of 2 trees approximately 10 inches diameter at breast height (dbh) at the south end of the property near the house site.
2. One lanoak cluster with 3 trees approximately 12 inches dbh at the south end of the property near the house site.
3. One lanoak cluster with 2 trees between 10-12 inches dbh near the center of the proposed sewer line north of the landing.
4. Two Douglas-fir (*Pseudotsuga menziesii*) trees, 4 and 10 inches dbh, near the proposed driveway/house site.
5. Additionally, a Douglas-fir approximately 2 feet in diameter may need to be removed due to its location within the home's wildfire defensive perimeter.
6. Trees to be removed from the property, especially the large Douglas-fir in the defensive perimeter, should be removed outside the nesting season to avoid disruption of nesting activities.
7. If possible, the larger Douglas-fir that may be in the defensive wildfire perimeter should be maintained.



Tree Removal Plan
1/16 in = 1 ft



REVISION	DATE	DESCRIPTION

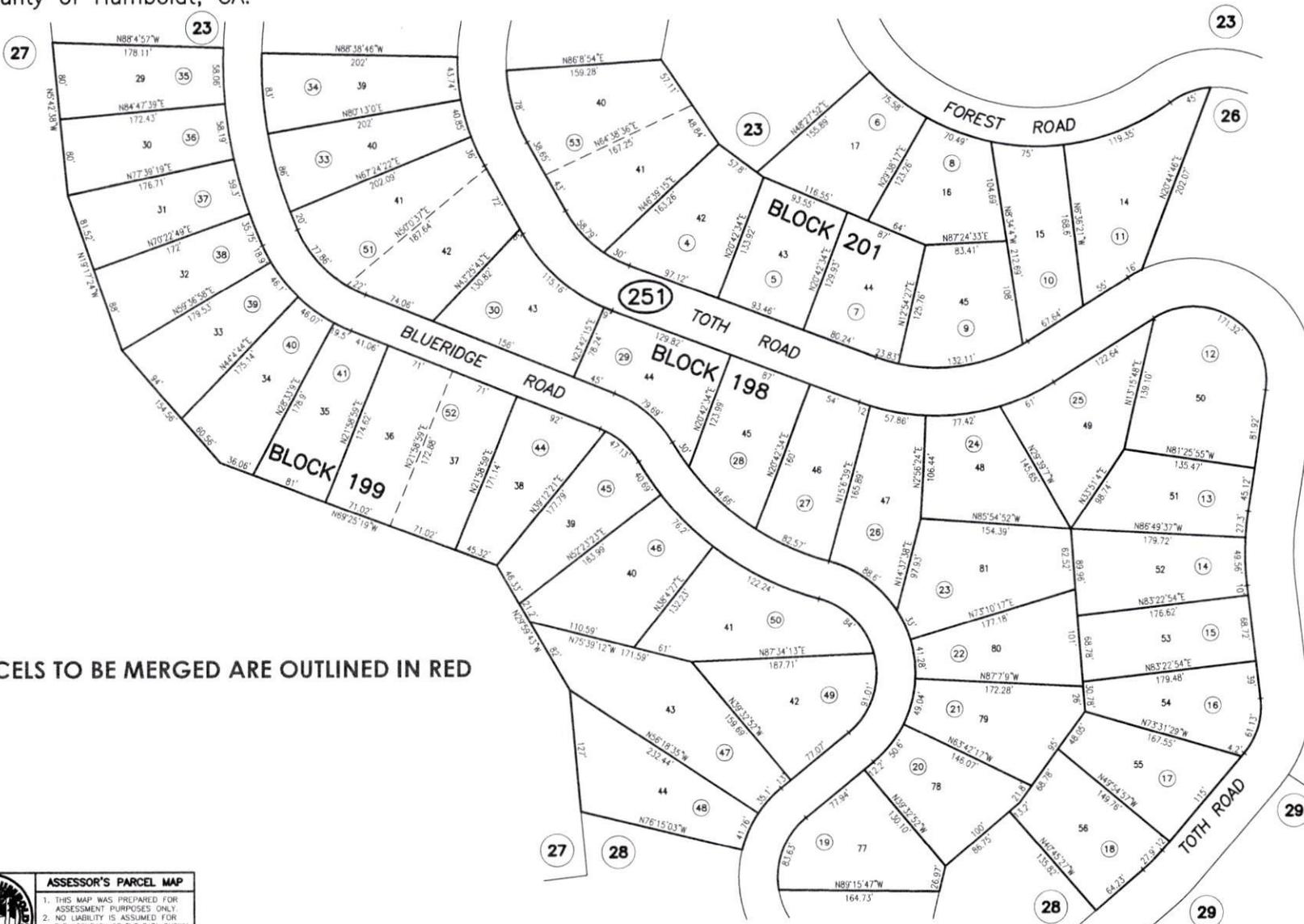
Blue Hammer Home Design
bluehammerdesign@gmail.com



TREE REMOVAL PLAN

Single-Family Residence
Client: Aurel Coza & Bianca Gurgu
Email: aurel@bluehammerdesign.com
Address: 634 Blue Ridge Rd. Shelter Cove CA
A/E/C: 110-951-038

DATE:	9/20/2024
DRAWN BY:	JOE HARENSHI
SHEET	C3



PARCELS TO BE MERGED ARE OUTLINED IN RED



ASSESSOR'S PARCEL MAP

1. THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY.
2. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN.
3. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT-SPLIT OR BUILDING SITE ORDINANCES.

RM BK. 14, MAPS PG. 73-138
RM BK. 15, MAPS PG. 64-116

NOTE - Assessor's Block Numbers Shown in Ellipses
Assessor's Parcel Numbers Shown in Circles.



JT Jan. 24, 2023
JASON THIBBELL