

BOARD OF SUPERVISORS, COUNTY OF HUMBOLDT, STATE OF CALIFORNIA
Certified copy of portion of proceedings, Meeting on January 10, 2023

RESOLUTION NO. 23-8
Establishing the Hansen Family Agricultural Preserve
with Uniform Rules Including Compatible Uses
(AGP# _____)

WHEREAS, the County of Humboldt has been requested to establish an agricultural preserve to include the lands described in the attached Exhibit A; and

WHEREAS, the County of Humboldt is authorized to establish agricultural preserves pursuant to the California Land Conservation Act of 1965 (hereafter the "Act") and the County's Resolution Establishing Guidelines for Agricultural Preserves (hereafter the "Guidelines"); and

WHEREAS, the Humboldt County Planning Commission has considered and approved the establishment of this proposed agricultural preserve, and has made the findings required to support such approval pursuant to the Act and Guidelines; and

WHEREAS, the procedural requirements to establish an agricultural preserve as required by the Act and Guidelines have been followed; and

WHEREAS, the land to be included within the agricultural preserve is, and will continue to be, used for the purposes of producing agricultural commodities for commercial purposes and uses compatible with agriculture; and

WHEREAS, this Board is authorized by statute to determine according to uniform rules what constitutes a compatible use of land within each preserve;

NOW, THEREFORE, BE IT RESOLVED as follows:

1. The hereinafter-described real property located in the County of Humboldt is hereby designated and established as a Class C Agricultural Preserve within the meaning of and pursuant to the California Land Conservation Act of 1965, including amendments thereto, and shall be known as and may be referred to as: Agricultural Preserve No. _____. Said Property, is described in Exhibit A and Preserve Map Exhibit B attached hereto.

2. The following findings are hereby made with respect to the establishment of this proposed agricultural preserve:

- A. the establishment of this proposed Agricultural Preserve is consistent with the Humboldt County General Plan;
- B. the requirements of the California Environmental Act have been met; and
- C. the requirements of the Williamson Act (Government Code Section 51200 et seq.) have been met.

3. The following uses are hereby declared to be compatible permitted uses or uses permitted with a use permit on all lands included within the recommended agricultural preserve:

A. Permitted Uses:

- (1) Single family residences essential for agricultural operations and noncommercial guest houses. Two (2) single detached farm residences may be allowed when consistent with the General Plan density standard.
- (2) Field, row, tree, berry and bush crops, including timber growing and harvesting.
- (3) Raising and grazing of horses, cattle, sheep and goats.
- (4) Dairies.
- (5) Nurseries, greenhouses, aviaries, apiaries, and mushroom farms.

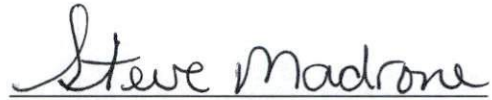
B. Uses Permitted with a Use Permit:

- (1) Farms devoted to the hatching, raising, dressing and marketing for commercial purposes of chickens, turkeys, other fowl or poultry, rabbits, chinchillas, beavers, fish, frogs or hogs.
- (2) Fruit and vegetable storage or packing plants and wayside stands for sale of products produced on the premises.
- (3) Grain and produce storage warehouses.
- (4) Dog kennels.
- (5) Excavation of earth and soil for agricultural purposes only.
- (6) Animal feed yards and sale yards.

- (7) Extraction of minerals and petroleum products consistent with Sections 51238.1 and 51238.2 of the Government Code.
- (8) Labor camps.
- (9) Animal hospitals.
- (10) The erection, construction, alteration or maintenance of gas, electric, water, communication facilities.
- (11) Public stables and training facilities.
- (12) Agricultural-related recreation facilities, such as hunting and duck camps but excluding recreational activities such as golf courses, shooting ranges or similar activities which require non-agricultural development.
- (13) Home occupations and cottage industries.
- (14) Agricultural homestays.
- (15) Incidental public service purposes consistent with Section 51293 of the Government Code.
- (16) Any other use determined to be a compatible use as provided in Section 51238.1 of the Government Code by the Board of Supervisors after notice and public hearing. Such uses shall be deemed a compatible use in any agricultural preserve. The Director of the Planning and Building Department shall maintain a list of uses found to be compatible pursuant to this section.

Some of the above listed uses will require a Use Permit in the Agricultural Exclusive Zone District, or require discretionary review by the Board of Supervisors, prior to the initiation of the use or activity. Uses which are included in the list of Uses Permitted with a Use Permit may be allowed without a Use Permit or discretionary review only if the Planning Director finds them to be "accessory" to a listed Permitted Use in paragraph 1.A above (i.e., the use is necessarily and customarily associated with, and is appropriate, incidental, and subordinate to, the "Permitted Use").

BE IT FURTHER RESOLVED that a certified copy of this resolution and the attached map of Agricultural Preserve No. _____ shall be filed in the office of the County Recorder by the Clerk of the Board of Supervisors.



Steve Madrone, Chair
Humboldt County Board of Supervisors

Adopted on motion by Supervisor Bohn, seconded by Supervisor Bushnell
and the following vote:

AYES: Supervisors-- Bohn, Bushnell, Madrone, Wilson, Arroyo

NOES: Supervisors--

ABSENT: Supervisors--

ABSTAIN: Supervisors--

STATE OF CALIFORNIA)

County of Humboldt)

I, KATHY HAYES, Clerk of the Board of Supervisors, County of Humboldt, State of California,
do hereby certify the foregoing to be a full, true and correct copy of the original made in the above
entitled matter by said Board of Supervisors at a meeting held in Eureka, California as the same
now appears of record in my office.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the Seal of
said Board of Supervisors



NIKKI TURNER

Deputy Clerk of the Board of Supervisors of
the County of Humboldt, State of California

EXHIBIT "A"
Legal Description

For APN/Parcel ID(s): 106-101-006-000, 106-101-007-000, 106-101-008-000 and 106-111-002-000

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE UNINCORPORATED AREA IN COUNTY OF HUMBOLDT, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

Tract A:

That portion of the East Half of the Northwest Quarter and the East Half of the Southwest Quarter of Section 16 in Township 2 North of Range 1 West, Humboldt Meridian, bounded and described as follows:

BEGINNING at a point 36 3/4 rods West and 1 rod South from the center of said Section 16; and running thence South 159 rods, more or less, to the South line of said Section 16;
thence Easterly along the section line to the Southeast corner of the Southwest Quarter of said Section 16;
thence Northerly along the quarter section line 1 mile to the Northeast corner of the Northwest Quarter of said Section 16;
thence West along the section line 38 1/2 rods, more or less, to a point 41 1/2 rods East of the Northwest corner of the Northeast Quarter of the Northwest Quarter of said Section 16;
thence South 80 rods following East boundary of parcel described in Deed to Joseph A. Davenport from James Lawson, dated March 31, 1883, and recorded in Book 8 of Deeds at Page 173, Humboldt County Records, to the Southeast corner of said parcel;
thence West 40 1/2 rods, more or less on the South line of said parcel to point of intersection with a line running North from a point 79 rods West of the center of said Section 16;
thence South 81 rods, more or less, to a point due West of the point of beginning; and
thence East 42 1/2 rods to the point of beginning.

Tract B:

PARCEL ONE:

BEGINNING at the Southeast corner of the Southwest quarter of the Northwest quarter of Section 16, Township 2 North, Range 1 West, Humboldt Meridian; and running

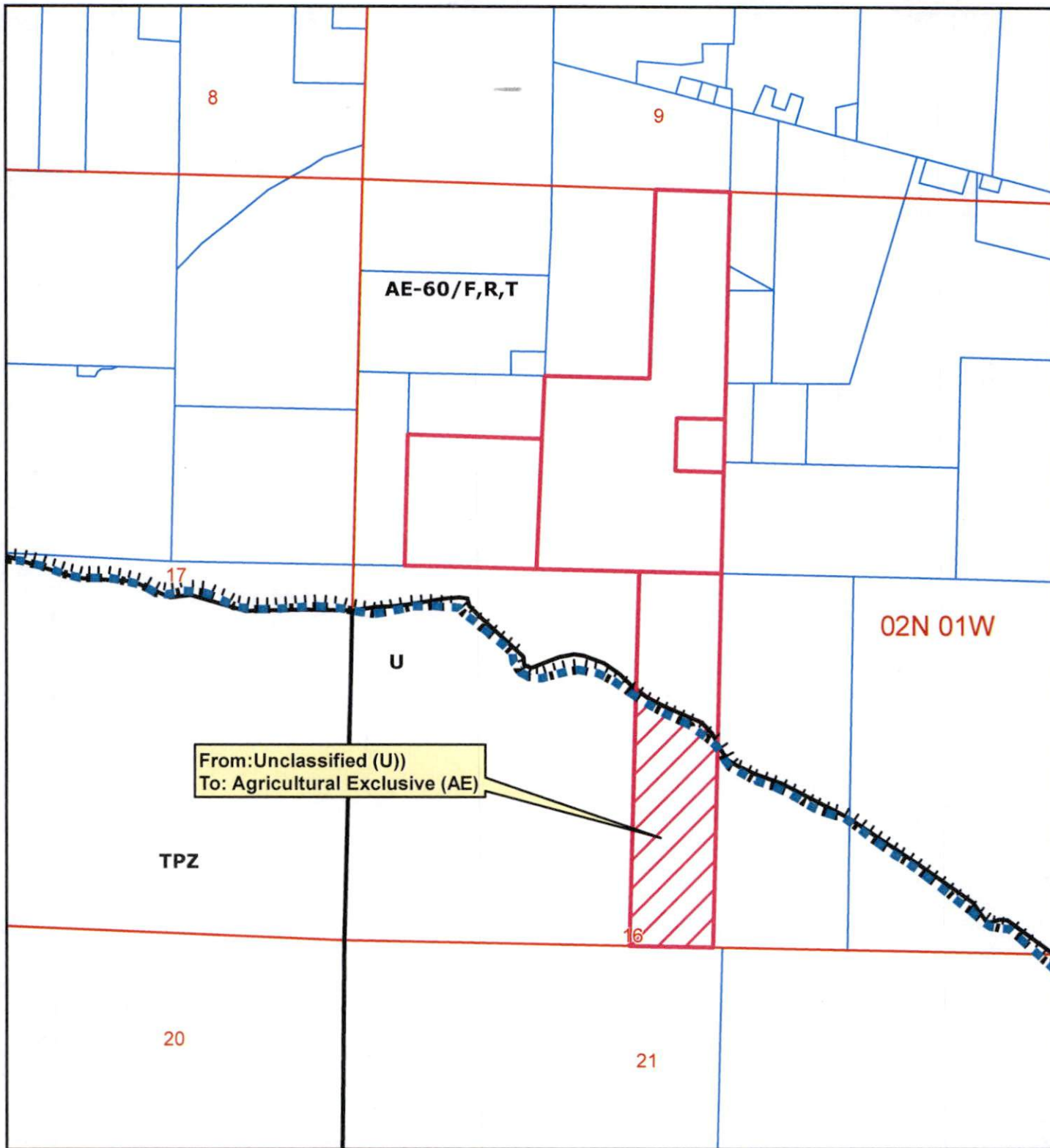
thence North along the North and South subdivision line of the Northwest quarter of said Section 16, 904.20 feet;
thence West 946.11 feet;
thence South 904.20 feet to the East and West subdivision line of Section 16;
and thence East along said subdivision line 946.11 feet to the point of beginning.

PARCEL TWO:

The right to hold and use as a lane in common with Henry F. Harbers, his heirs and assigns, the following described parcel of land:

BEGINNING on the North and South subdivision line of the Northwest quarter of Section 16, Township 2 North, Range 1 West, Humboldt Meridian, at a point situated 904.20 feet North of the Southeast corner of the Southwest quarter of the Northwest quarter of said Section 16;

thence North 423.72 feet to the Northeast corner of said Southwest quarter of Northwest quarter;
thence West 33 feet;
thence South 423.72 feet;
and thence East 33 feet to the point of beginning as conveyed by Henry F. Harbers to John Harbers by deed recorded May 22, 1891, in [Book 38 of Deeds Page 256](#).



From: Unclassified (U)
To: Agricultural Exclusive (AE)

ZONING MAP DETAIL


**PROPOSED HANSEN
AGRICULTURAL PRESERVE &
ZONE RECLASSIFICATION
FERNDALE AREA**

PLN-2022-17731

APN: 106-101-006 et al

T02N R01W S16 HB&M (Fortuna)

Project Area = 

Rezone Area = 

Coastal Zone Boundary 

This map is intended for display purposes and should not be used for precise measurement or navigation. Data has not been completely checked for accuracy.

