

**RESOLUTION OF THE ZONING ADMINISTRATOR  
OF THE COUNTY OF HUMBOLDT**

**Resolution Number 25-037**

**COASTAL DEVELOPMENT PERMIT  
PROJECT NUMBER PLN-2025-19147  
ASSESSOR PARCEL NUMBER 100-181-003**

**MAKING THE REQUIRED FINDINGS FOR CERTIFYING COMPLIANCE WITH THE CALIFORNIA ENVIRONMENTAL QUALITY ACT AND CONDITIONALLY APPROVING THE FERNDAL COASTAL DEVELOPMENT PERMIT.**

**WHEREAS**, the City of Ferndale submitted an application and evidence in support of approving a Coastal Development Permit for drainage improvements; and

**WHEREAS**, the County Planning Division has reviewed the submitted application and evidence and has referred the application and evidence to involved reviewing agencies for site inspections, comments and recommendations; and

**WHEREAS**, the Planning Division as the Responsible Agency agrees with the Lead agency's determination that the project qualifies for categorical exemptions found in CEQA Guidelines Sections 15302 (Replacement or Reconstruction), 15303 (New Construction or Conversion of Small Structures), and 15304 (Minor Alterations to Land); and

**WHEREAS**, Attachment 2 in the Planning Division staff report includes evidence in support of making all of the required findings for approving the Coastal Development Permit (Case Number PLN-2025-19147); and

**WHEREAS**, the Humboldt County Zoning Administrator held a duly-noticed public hearing on April 17, 2025, and reviewed, considered, and discussed the application for a Coastal Development Permit and reviewed and considered all evidence and testimony presented at the hearing; and

**NOW, THEREFORE**, be it resolved, determined, and ordered by the Zoning Administrator that:

**FINDINGS FOR COASTAL DEVELOPMENT PERMIT**

- 1. FINDING:** A Coastal Development Permit (CDP) for drainage improvements for the City of Ferndale, located just north of the City limits. The overall project is located both within

Therefore, the associated policies and standards are not applicable.

- b) §3.22 Public Works – The proposed project is not considered a public works facility as it does not relate to the provision of sewage and/or water services. Therefore, the associated policies and standards are not applicable. Public Works did however review the project and provided conditional approval, provided in Attachment 5A.
- c) §3.25 Recreational/Visitor – The proposed project is located adjacent to the Humboldt County Fairgrounds, both within and outside of Ferndale City Limits. The coastal development permit pertains to the County parcel that lies outside of city limits and to the immediate north of the fairgrounds. The project aims to improve stormwater/drainage function in the area and will not have any negative impact on recreational or visitor uses.
- d) §3.26 Housing – The proposed project does not contain any elements related to housing, therefore the associated policies and standards are not applicable.
- e) §3.27 Industrial – The proposed project does not contain any elements related to industrial development, therefore the associated policies and standards are not applicable.
- f) §3.28 Hazards – The project site is not located in a tsunami hazard zone and does not reside within an area susceptible to coastal inundation related to sea level rise (1 meter). The subject parcel is located in an area of relative stability and slopes on the parcel are below 15%. The site is within an area of potential liquefaction but is not located within an Alquist-Priolo Fault Hazard Zone. The parcel is partially situated within a FEMA 100-year Flood Zone as well as a 500-year flood zone. The subject parcel is located within a Local Responsibility Area for fire protection and is served by the Ferndale Fire Protection District, who provides structural fire protection as well as responding to medical emergencies. As the parcel is solely used for agriculture purposes, and the intent of the project

is to improve drainage in the area, there are not expected to be any associated hazards associated with the proposed project.

- g) §3.29 Archaeological and Paleontological Resources – Area tribes of interest were contacted during referral. The Bear River Band and Wiyot Tribe THPOs responded that the project was not likely to have significant impacts on cultural resources but to have inadvertent archaeological discovery protocols in place for any ground-disturbing activities that will take place in the future. These are conditioned in Attachment 1A.
- h) §3.31 Rural Development – The project does not contain any development of structures, pursuit of subdivisions or similar, therefore the associated policies and standards are not applicable.
- i) §3.31 Public Services – No public services are proposed with this project, therefore the associated policies and standards are not applicable.
- j) §3.32 Agriculture – The proposed project is located on property with an Agriculture Exclusive designation. The pasture is owned by the County and is seasonally grazed in the dry season. The project will consist of enlarging the drainage swale in the pasture and creation of a stormwater detention pond in the northern extent of the pasture. The outcomes of the project will benefit surrounding agriculture properties by reducing disruptions associated with large runoff events. The proposed project is compatible with agriculture uses, in turn improving long-term agricultural operations in the area. Following the project implementation, the pasture would remain seasonally grazeable which is consistent with current management.
- k) §3.41 Environmentally Sensitive Habitats – The area is designated as an agricultural wetland and is seasonally grazed. There are no other sensitive areas that would incur impacts resulting from the project. Precipitation within the proposed detention basin will infiltrate into the

relatively shallow groundwater aquifer that contributes to the wetland conditions within the vicinity (including the agricultural pastures to the north of the project site). The location of infiltration within this area is not anticipated to result in changes to the overall groundwater depth elevation or change wetland characteristics within this area. California Department of Fish and Wildlife (CDFW) conducted a site visit and determined that there were no concerns for creation of bullfrog habitat, nor other concerns regarding plant or avian impacts.

- l) §3.42 Visual Resources – The proposed project is within an area of designated protection however the project aims to continue current agricultural activities, with no intention of conversion to non-resource dependent activities. The proposed swale within the pasture would contain a minimum bottom width of three feet and side slopes of 3:1 and daylight to existing grade. The new swale would have an approximate 0.3 to 0.5% slope and maximum excavation depth of three feet. The swale would then transition to a 0.5-acre stormwater detention basin on the County-owned parcel. The detention basin would have 3:1 slide slopes and daylight to existing grade and contain a maximum excavation depth of two feet. Construction will alter the topography minimally as an effort to protect the surrounding pastures, and upon completion of the project, seasonal agricultural activities will remain on the property as currently managed. The project site is not within any coastal viewsheds or public lands.
- m) §3.50 Access – The proposed project will not interfere with right of access to the sea, as there are no coastal access points on the subject parcel.
- h) §5.30 Rural Plan Designations – The Agriculture Exclusive (AE) designation exists to protect agricultural lands for long-term productive agricultural use. The proposed installation of improved stormwater drainage components is intended to provide a positive impact on the surrounding pasture lands, causing fewer disruptions in agricultural operations, in turn protecting these resources. The drainage swale and detention basin would



be seeded with a CA native pasture grass seed mix and would remain agriculture wetlands after project completion.

**4. FINDING:**

The proposed development is consistent with the purposes of the existing AE zone and F/R combining zones in which the site is located.

**EVIDENCE:**

- a) The subject parcel has been determined to be one legal parcel.
- b) Agricultural Exclusive (AE) principally permitted uses include the following: Single-Family Residential, Accessory Dwelling Unit (on lots sixty (60) acres or larger in size, two (2) single detached dwellings, or one (1) single detached and one (1) accessory dwelling are permitted), General Agriculture, Timber Production, Cottage Industry and Minor Utilities to serve these uses. By reducing runoff and flooding, the proposed drainage and stormwater retention project would improve conditions related to agricultural operations and is thus consistent with the principally permitted uses of this parcel.
- c) "F" combining zone provides protections to minimize public and private losses due to flood and tsunami conditions in specific areas of the County. There are no proposed residential, industrial, or uses other than agriculture proposed as part of this project. The development associated with this project consists of drainage improvements that are consistent with the maintenance of agricultural operations and thus consistent with this combining zone overlay.
- d) "R" combining zone provides for the maintenance, enhancement, and, where feasible, restoration of water resources by restricting development, and by minimizing adverse effects of runoff, interference with surface waterflow, and alteration of natural streams, and by protecting riparian habitats. CDFW conducted a site visit with County staff and determined the project to be consistent with efforts to protect agricultural and wetland

resources. There will be no disruption to nearby streams or riparian corridors, nor to any coastal stream channels or other sensitive coastal or riparian resources. Installation of drainage improvements is consistent with the maintenance of agricultural operations and thus consistent with this combining zone overlay.

- e) Development standards – Setbacks, density and ground coverage are not applicable as there are no structures being proposed as part of this project.

**5. FINDING:**

§312-17.1.4 Public Health, Safety and Welfare

There is no indication that the proposed drainage improvements will be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity.

**EVIDENCE:**

- a) The proposed project includes replacement and installation of new stormwater drainage infrastructure to improve conditions related to stormwater flows and flooding. No detrimental conditions to public health, safety or welfare have been identified nor is the proposed project expected to have a detrimental effect on neighboring property values. Rather, improvements to drainage conditions in this agricultural area will likely enhance agricultural operations by reducing the negative impacts associated with large runoff events and subsequent flooding.

**6. FINDING:**

§312-17.1.5 Housing Element Densities – The proposed project will have no impact on the Housing Element.

**EVIDENCE:**

- a) The parcel is designated as Agriculture Exclusive under the Eel River Area Plan and was not included in the County's Housing Element Inventory; the proposed project would not change or modify the possibility of meeting the goals established by the County's housing inventory and is consistent with the goals, policies, and standards of the Humboldt County Housing Element.

## DECISION

**NOW, THEREFORE**, based on the above findings and evidence, the Humboldt County Zoning Administrator does hereby:

1. Adopts the findings set forth in this resolution; and
2. Conditionally approves the Ferndale Coastal Development Permit (Record Number: PLN-2025-19147), and subject to the recommended conditions of approval attached hereto as Attachment 1A.

Adopted after review and consideration of all the evidence on **April 17, 2025**.

I, John H. Ford, Zoning Administrator of the County of Humboldt, do hereby certify the foregoing to be a true and correct record of the action taken on the above-entitled matter by said Zoning Administrator at a meeting held on the date noted above.



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John H. Ford, Zoning Administrator  
Planning and Building Department

## **ATTACHMENT 1A**

### **CONDITIONS OF APPROVAL**

#### **APPROVAL OF THE COASTAL DEVELOPMENT PERMIT IS CONDITIONED ON THE FOLLOWING TERMS AND REQUIREMENTS:**

##### **A. General Conditions**

1. The project shall be conducted in accordance with the Project Summary and Project Design. Minor deviations shall be permitted as provided by Humboldt County Code Section 312-11; however, all other changes shall require modification of this permit.
2. Applicant must apply for and obtain an encroachment permit from County Public Works for any work within the County maintained road right of way along Van Ness Avenue. If construction staging is to occur on the County's maintenance barn property at 5<sup>th</sup> Street and Arlington Avenue, a right-to-entry permit for access shall be obtained from County Public Works.
3. Applicant must obtain final approval from Public Works Director regarding access to and utilization of County-owned parcel (APN: 100-181-003) for project purposes, including construction of the detention basin and all other related stormwater and drainage system improvements on parcel, as well as staging, stockpiling of project resources, and contractor parking, as applicable.
4. Applicant shall adhere to all conditions placed on the project via the Public Works referral comments dated 3/17/25 and provided as Attachment 5A.
5. Applicant shall adhere to all conditions placed on the project via the PG&E Initial Response Letter dated 1/17/2025 and provided as Attachment 5B.
6. A traffic control plan prepared by a civil engineer or traffic engineer is required for all situations not covered by Caltrans T13 with T9 or Fig 6H-6. Conditions requiring a traffic control plan will require submittal and Public Works Department Land Use Division approval. Should City of Ferndale request a complete closure or closure of a portion of a County maintained road, City of Ferndale must submit to County a road closure plan for review and approval.
7. Applicant is responsible for submitting a Storm Water Pollution and Prevention Plan (SWPPP) to minimize any wind or water-related erosion and to prevent runoff and contamination into the surrounding wetlands and drainage ditches.
8. The applicant is required to pay for permit processing on a time and material basis as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of

Supervisors. The Department will provide a bill to the applicant after the decision. Any and all outstanding Planning fees to cover the processing of the application to decision by the Hearing Officer shall be paid to the Humboldt County Planning Division, 3015 "H" Street, Eureka.

9. All resulting slopes shall be confirmed by an engineer to be stable and not in need of an engineered retaining wall or other improvement necessary to protect existing structures. Every effort shall be made to maintain the existing natural appearance of areas of disturbance.

**B. Ongoing Requirements/Development Restrictions Which Must be Satisfied for the Life of the Project:**

1. This permit shall expire and become null and void at the expiration of two (2) years after all appeal periods have lapsed (see "Effective Date") except where construction under a valid building permit or use in reliance on the permit has commenced prior to such anniversary date. The period within which construction or use must commence may be extended as provided by Section 312-11.3 of the Humboldt County Code.
2. Applicant shall be responsible to correct any involved drainage problem within the County Road right of way to the satisfaction of the Department of Public Works Land Use Division.

**Informational Notes:**

1. If cultural resources are encountered during construction activities, the contractor on site shall cease all work in the immediate area and within a 50-foot buffer of the discovery location. A qualified archaeologist as well as the appropriate Tribal Historic Preservation Officer(s) are to be contacted to evaluate the discovery and, in consultation with the applicant and lead agency, develop a treatment plan in any instance where significant impacts cannot be avoided.

The Native American Heritage Commission (NAHC) can provide information regarding the appropriate Tribal point(s) of contact for a specific area; the NAHC can be reached at 916-653-4082. Prehistoric materials may include obsidian or chert flakes, tools, locally darkened midden soils, groundstone artifacts, shellfish or faunal remains, and human burials. If human remains are found, California Health and Safety Code 7050.5 requires that the County Coroner be contacted immediately at 707-445-7242. If the Coroner determines the remains to be Native American, the NAHC will then be contacted by the Coroner to determine appropriate treatment of the remains pursuant to PRC 5097.98. Violators shall be prosecuted in accordance with PRC Section 5097.99

The applicant is ultimately responsible for ensuring compliance with this condition.

# City of Ferndale Water Quality and Drainage Improvement Project

## Project Location

The City of Ferndale Water Quality and Drainage Improvement Project (Project) is located in and adjacent to the City of Ferndale in Humboldt County, California (**Figure 1**). More specifically, the Project is located along Arlington Ave, 5th Street, a small portion of Van Ness Ave, and an adjacent agricultural pasture to the north (see Project Area in **Figure 2**). The pasture is owned by the County and is seasonally grazed in the dry season. The Project Area is comprised of roadways, roadway shoulders, the agricultural pasture, and limited trees and shrubs. The area north of Van Ness Avenue is in the Coastal Zone, which is under the jurisdiction of Humboldt County through the Eel River Area Plan (**Figure 3**).

## Project Description

The proposed Project involves replacement and new stormwater drainage infrastructure along Arlington Avenue, 5th Street, Van Ness Avenue, and in the agricultural pasture north of Van Ness Avenue (**Figure 2**). In general, the Project includes the replacement of existing storm drain inlets and piping along Arlington Avenue, new piping and swales along 5th Street, enlargement of the drainage swale in the pasture, and creation of a stormwater detention pond in the northern extent of the pasture. The remainder of the Project Description will discuss Project work to occur within the Coastal Zone, which includes areas north of Van Ness Avenue (**Figure 3**).

The existing culvert crossing at Van Ness Avenue (which flows into the pasture) would remain in place, and a second, parallel culvert installed. Five to eight trees and energy dissipating rock would be added to the culvert outlets to reduce potential scouring and erosion. The existing drainage swale through the pasture and proposed stormwater detention basin would be graded and revegetated with native grasses. The swale within the pasture north of Van Ness Avenue would contain a minimum bottom width of three feet and side slopes of 3:1 and daylight to existing grade. The new swale would have an approximate 0.3 to 0.5% slope and maximum excavation depth of three feet. The swale would then transition to a 0.5-acre stormwater detention basin on the County-owned parcel. The detention basin would have 3:1 slide slopes and daylight to existing grade and contain a maximum excavation depth of two feet.

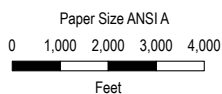
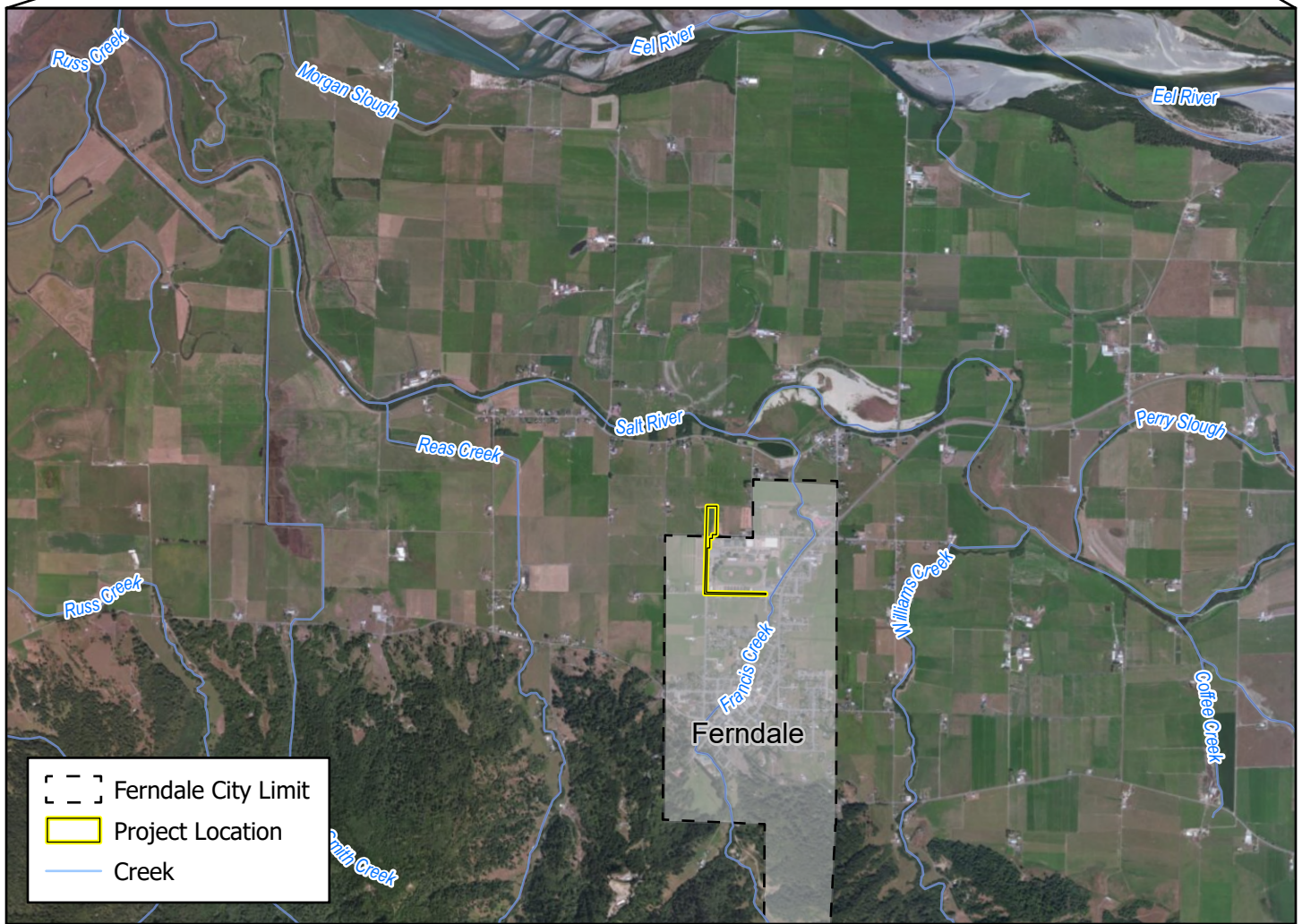
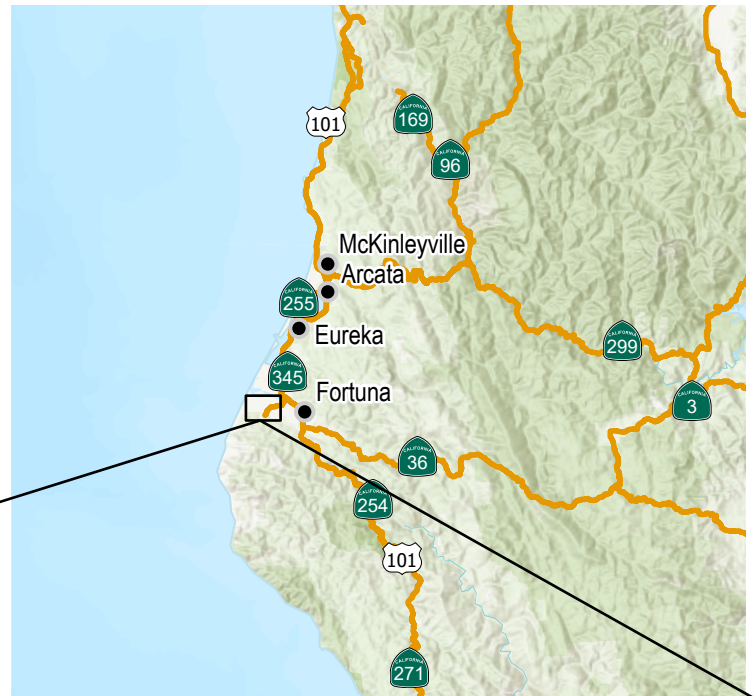
Following Project implementation, the pasture would remain seasonally grazeable which is consistent with current management.

## Project Impacts

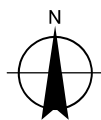
The agricultural pasture is considered an agricultural wetland. The Project includes planting five to eight trees (alder and/or willow species), and the addition of energy dissipating rock at the outlets of the culverts to reduce potential scouring and erosion. Rock already exists in this location and would be augmented under the Project. The area of rock placement is approximately 80 square feet, and tree planting would be spaced ten feet apart and occur within the outskirts of the rock placement and immediately adjacent to the rock (see **Figure 4**). The placement of rock in the agricultural wetland is considered insignificant because rock is already present at the outlet of the existing culvert, and because the planting of trees and placement of rock would reduce potential erosion and scouring and therefore result in beneficial environmental conditions. Following Project

implementation, the drainage swale and detention basin would be seeded with a CA native pasture grass seed mix, and would remain wetlands (see **Figure 4**).





Map Projection: Lambert Conformal Conic  
 Horizontal Datum: North American 1983  
 Grid: NAD 1983 StatePlane California I FIPS 0401 Feet



City of Ferndale  
 Ferndale Drainage Project

Project No. 12638533  
 Revision No. -  
 Date September 2024

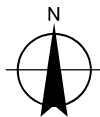
Project Vicinity

FIGURE 1





Paper Size ANSI A  
 0 100 200 300 400  
 Feet  
 Map Projection: Lambert Conformal Conic  
 Horizontal Datum: North American 1983  
 Grid: NAD 1983 StatePlane California I FIPS 0401 Feet



City of Ferndale  
 Ferndale Drainage Project

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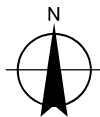
Project Area

FIGURE 2





Paper Size ANSI A  
0 100 200 300 400  
Feet



Map Projection: Lambert Conformal Conic  
Horizontal Datum: North American 1983  
Grid: NAD 1983 StatePlane California I FIPS 0401 Feet

City of Ferndale  
Ferndale Drainage Project


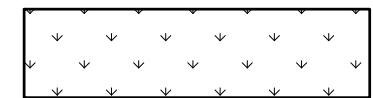

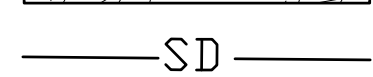

Project No. 12638533  
Revision No. -  
Date September 2024

Coastal Zone

**FIGURE 3**



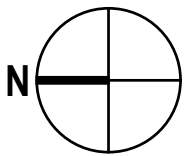
LEGEND

	EXISTING WETLAND AREA
	WETLAND CONDITION WITH NATIVE PASTURE GRASS SEED MIX
	WETLAND CONDITION WITH PLUGS, SHRUBS, AND TREES
	PROPOSED STORM DRAIN
	PROPOSED ALIGNMENT



STATION 10+00 TO 15+00

SCALE: 1" = 20'



CITY OF FERNDALE  
CONCEPT LAYOUT PLAN WITH WETLANDS  
SHEET 01

Project No. 12561178  
Date 12/10/2024

Figure 4







CITY OF FERNDALE

WATER QUALITY AND DRAINAGE IMPROVEMENT PROJECT

SEWER OVERFLOW AND STORMWATER REUSE MUNICIPAL GRANT

AGREEMENT NO. D2219002

65% DESIGN

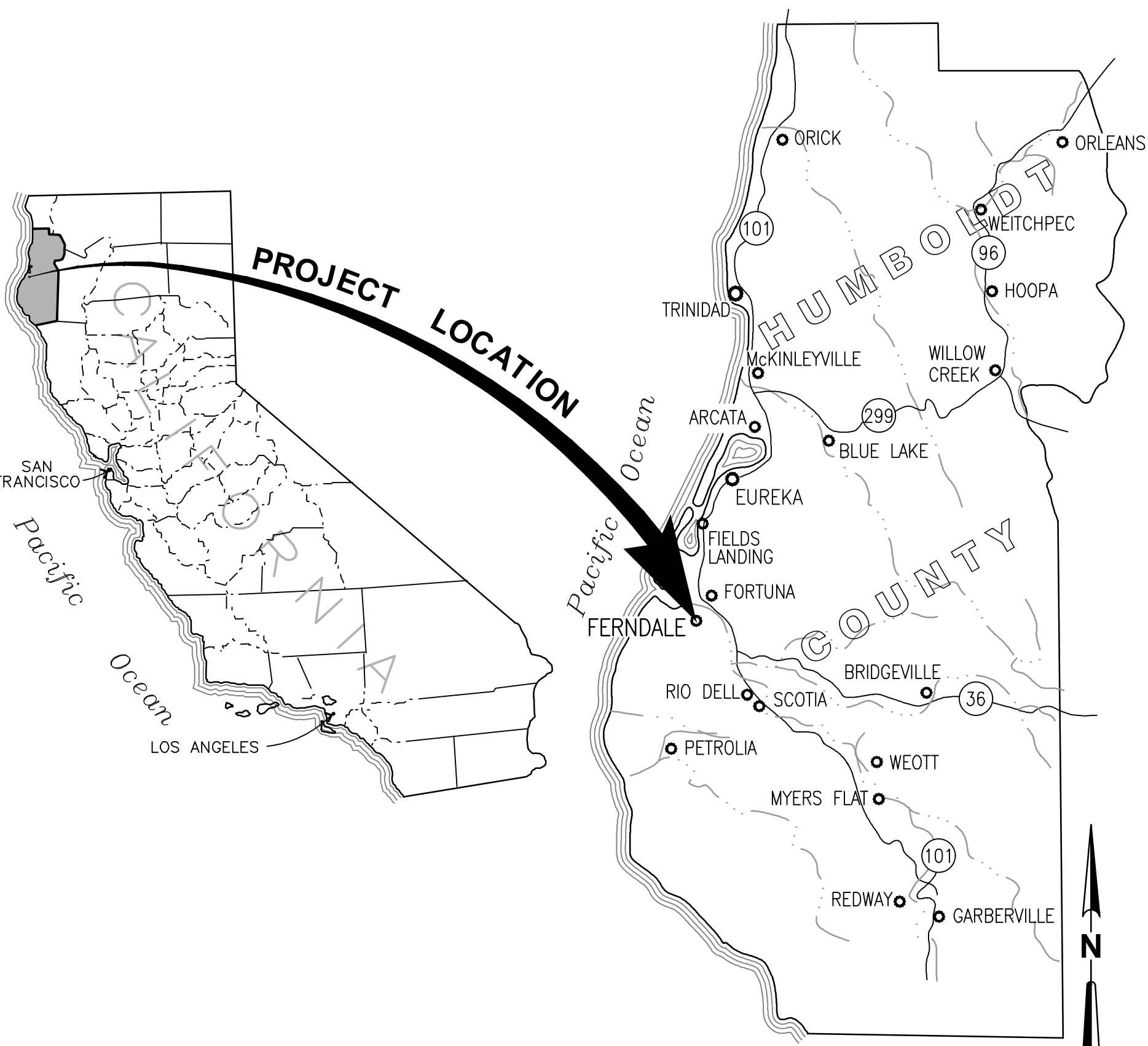
SEPTEMBER 2024

PROJECT NUMBER: 12638533

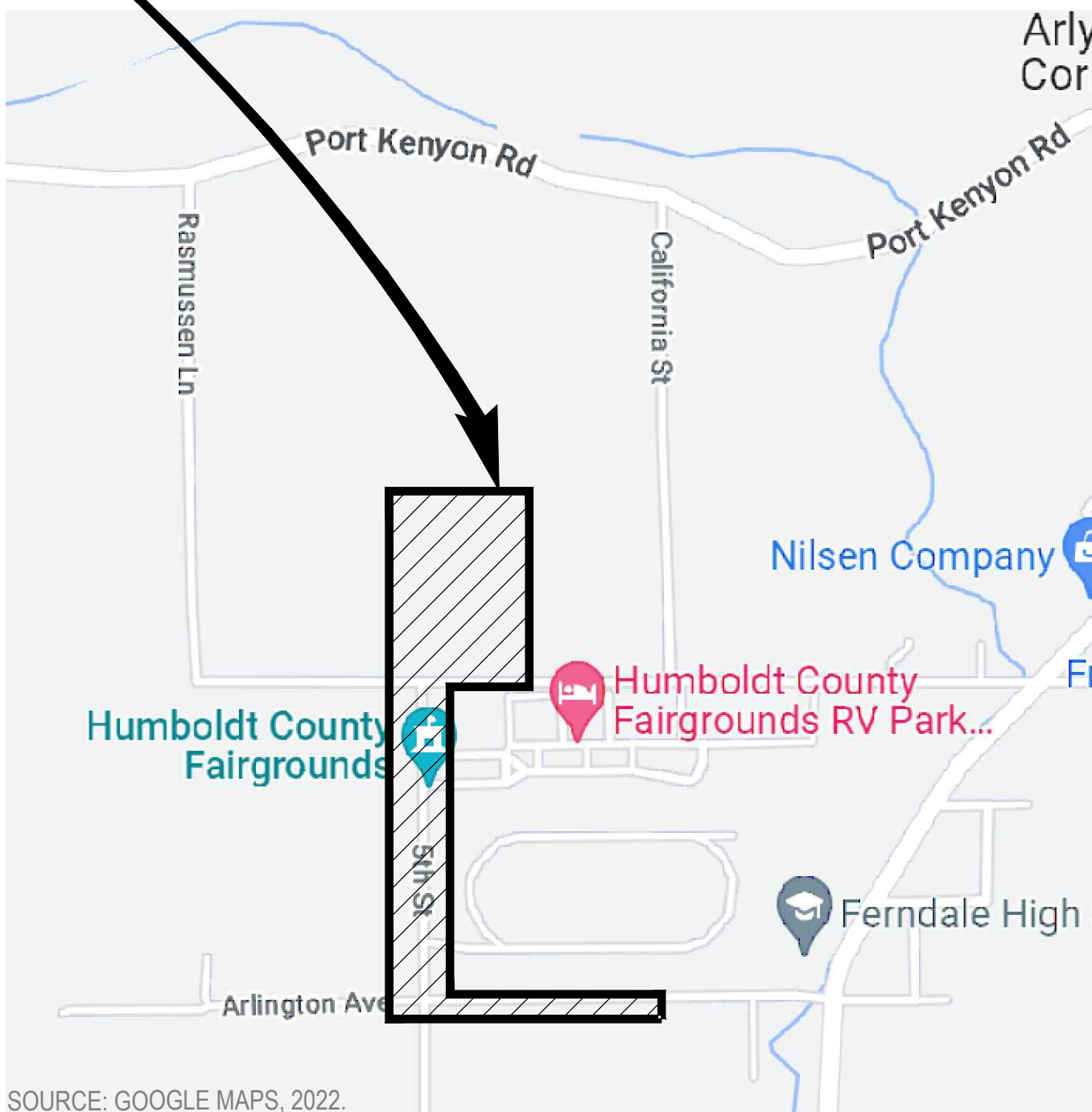
AREA MAP

LOCATION MAP

SHEET INDEX



PROJECT  
LOCATION



Sheet Description	Sheet Number	Sheet Title
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2	G-002	NOTES AND ABBREVIATIONS
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5	D-102	EXISTING CONDITIONS AND DEMOLITION PLAN
6	C-101	GRADING PLAN
7	C-102	GRADING SECTIONS
8	C-103	VAN NESS AVE AND 5TH ST PLAN AND PROFILE STA. 16+00 TO 20+00
9	C-104	5TH ST PLAN AND PROFILE STA. 20+00 TO 30+00
10	C-105	5TH ST AND ARLINGTON AVE PLAN AND PROFILE STA. 30+00 TO 34+50
11	C-106	ARLINGTON AVE PLAN AND PROFILE STA. 34+50 TO 38+60
12	C-301	TYPICAL SECTIONS AND DETAILS
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PRELIMINARY

No.	Issue	Checked		Approved	Date
Author	Drafting Check	BRETT VIVYAN	Project Manager	BRETT VIVYAN	
Designer	TAYLOR ALLEN	Design Check	BRETT VIVYAN	Project Director	JEREMY SVEHLA



Bar is one inch on original size sheet  
0 1"



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Client	CITY OF FERNDALE
Project	WATER QUALITY AND DRAINAGE IMPROVEMENTS PROJECT

Title COVER SHEET

Project No.	12561178
Date	2024-09-12
Scale	AS SHOWN

Sheet No. G-001  
Sheet 1 of 13



## GENERAL NOTES

- PROJECT REQUIRES A CLASS 2A GENERAL ENGINEERING CONTRACTOR'S LICENSE IN THE STATE OF CALIFORNIA.
2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK AND REPORT ANY DISCREPANCIES TO THE CITY'S PROJECT MANAGER. CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE AND BECOMING FAMILIAR WITH THE SITE CONDITIONS PRIOR TO BIDDING. SHOULD EXISTING CONDITIONS DIFFER FROM THOSE SHOWN OR INDICATED, OR IF IT APPEARS THAT THESE PLANS, AND SPECIFICATIONS DO NOT ADEQUATELY DETAIL THE WORK TO BE DONE, CONTRACTOR SHALL NOTIFY THE CITY'S PROJECT MANAGER PRIOR TO CONTINUING WITH ANY RELATED WORK. NO ALLOWANCE WILL BE MADE ON CONTRACTOR'S BEHALF FOR ANY EXTRA EXPENSE RESULTING FROM FAILURE OR NEGLIGENCE IN DETERMINING THE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE.
3. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THAT NEW FEATURES TIE INTO EXISTING SITE DEVELOPMENT, PAVEMENT JOINTS MATCH CORRECTLY, AND THAT GENERAL DESIGN ELEVATIONS FOR NEW CONSTRUCTION PROVIDE PROPER PAVEMENT AND DRAINAGE SLOPES FROM EXISTING TIE IN POINTS. REPORT DISCREPANCIES TO CITY'S PROJECT MANAGER PRIOR TO CONSTRUCTION.
4. QUANTITIES OF ITEMS, LENGTH OF PROJECT, AND SITE CONDITIONS SHOWN IN THE PLANS ARE APPROXIMATE. ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
5. CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
6. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING STRUCTURES, ROADS, AND UTILITIES DURING CONSTRUCTION. ALL DAMAGE SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AT THE CONTRACTOR'S EXPENSE.
7. A SET OF SIGNED WORKING DRAWINGS AND A SET OF SPECIFICATIONS WILL BE KEPT AT ALL TIMES AT THE JOB SITE ON WHICH ALL CHANGES OR VARIATIONS IN THE WORK, INCLUDING ALL EXISTING UTILITIES, ARE TO BE RECORDED AND/OR CORRECTED DAILY AND SUBMITTED TO THE CITY'S PROJECT MANAGER WHEN THE WORK TO BE DONE IS COMPLETED.
8. CONTRACTOR SHALL PROVIDE AND MAINTAIN SUFFICIENT TEMPORARY BARRIERS TO PROVIDE FOR THE SAFETY OF THE STAFF AND PUBLIC TO THE SATISFACTION OF THE CITY'S PROJECT MANAGER.
9. CONTRACTOR SHALL NOTIFY THE CITY'S PROJECT MANAGER AT LEAST 72 HOURS IN ADVANCE OF COMMENCEMENT OF ANY PART OF THE WORK AND SHALL COORDINATE CONSTRUCTION SCHEDULE ACCORDINGLY.
10. UNSUITABLE EXCAVATED MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A MANNER CONSISTENT WITH APPLICABLE REGULATIONS. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY AND EXPENSE FOR PROPER DISPOSAL OF UNSUITABLE MATERIALS TAKEN FROM SITE.
11. THE DESIGN FEATURES INCLUDING HORIZONTAL AND VERTICAL ALIGNMENTS, TYPICAL SECTIONS, APPROACHES, AND OTHER DESIGN DETAILS SHOWN ON THESE DESIGN PLANS SHALL NOT BE ALTERED OR MODIFIED IN ANY WAY DURING CONSTRUCTION WITHOUT THE EXPRESSED, WRITTEN DIRECTION AND APPROVAL OF THE CITY'S PROJECT MANAGER. DRAINAGE STRUCTURES SHALL BE INSTALLED AS SHOWN ON THE PLANS WITH ONLY MINOR CORRECTIONS IN LOCATION SKEW AND/OR ELEVATIONS AS NEEDED TO FIT FIELD CONDITIONS AS DETERMINED BY THE CITY'S PROJECT MANAGER.
12. THE CONTRACTOR SHALL READ AND MAKE CAREFUL EXAMINATION OF THE PLANS, SPECIFICATIONS, QUANTITIES AND MATERIAL ESTIMATES AND VISIT THE SITE OF THE PROPOSED CONSTRUCTION TO BECOME FAMILIAR WITH THE SITE CONDITIONS AND LIMITATIONS BEFORE MAKING A BID. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL ERRORS RESULTING FROM THE FAILURE TO MAKE SUCH AN EXAMINATION. ANY INFORMATION DERIVED FROM THE MAPS, PLANS, SPECIFICATIONS, PROFILES, DRAWINGS OR FROM THE ENGINEER WILL NOT RELIEVE THE CONTRACTOR FROM ANY RISK OR FROM FULFILLING THE TERMS OF THE CONTRACT.
13. NO WORK SHALL BE PERFORMED OUTSIDE OF THE DESIGNATED LIMITS OF WORK WITHOUT THE APPROVAL OF THE CITY'S PROJECT MANAGER.
14. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING STAGING AREAS WITH THE CITY'S PROJECT MANAGER.
15. UPON COMPLETION OF THE CONSTRUCTION PROJECT, THE CONTRACTOR SHALL LEAVE THE PROJECT AREA FREE OF DEBRIS AND UNUSED MATERIAL. ALL DAMAGE CAUSED BY THE CONTRACTOR SHALL BE RESTORED TO AN "AS GOOD OR BETTER" CONDITION.
16. THE CONTRACTOR SHALL BE REQUIRED TO SAWCUT OR GRIND THE EXISTING ASPHALT PAVEMENT WHERE OLD ASPHALT IS TO TIE INTO THE NEW ASPHALT PAVEMENT. THE CONTRACTOR SHALL BE REQUIRED TO TAPER THE NEW ASPHALT CONCRETE SURFACING TO MATCH THE EXISTING PAVEMENT SECTION AT TIE-IN POINTS AND TO PROVIDE FOR A SMOOTH TRANSITION AS DIRECTED BY THE CITY'S PROJECT MANAGER.
17. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROTECT EXISTING SURVEY MONUMENTS WITHIN WORK LIMITS. ANY MONUMENT DAMAGED BY THE CONTRACTOR SHALL BE RESET IN ACCORDANCE WITH THE CALIFORNIA PROFESSIONAL LAND SURVEYORS ACT.
18. WHENEVER ANY MATERIAL OR EQUIPMENT IS INDICATED OR SPECIFIED BY PATENT OR PROPRIETARY NAME OR BY THE NAME OF THE MANUFACTURER, SUCH SPECIFICATION SHALL BE CONSIDERED AS USED FOR DESCRIBING THE MATERIAL OR EQUIPMENT DESIRED AND SHALL BE CONSIDERED AS USED FOR DESCRIBING THE MATERIAL OR EQUIPMENT DESIRED AND SHALL BE CONSIDERED AS FOLLOWED BY THE WORDS "OR APPROVED EQUAL". THE CONTRACTOR MAY OFFER ANY MATERIAL OR EQUIPMENT WHICH SHALL BE EQUAL IN EVERY RESPECT TO THAT SPECIFIED, PROVIDED THAT WRITTEN APPROVAL FIRST IS OBTAINED FROM THE CITY'S PROJECT MANAGER.

## UTILITY NOTES

1. LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM RECORD DRAWINGS, LOCATION MARK-UP, AND INTERPOLATION OF PHYSICAL EVIDENCE ON THE SITE AND ARE SUBJECT TO FIELD VERIFICATION BY THE CONTRACTOR.
2. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION UNDER THIS SECTION OR ANY OTHER SECTION.
3. THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT PIECE, OR FITTING REQUIRED TO COMPLETE THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE AND WORKING SYSTEM.
4. CONTRACTOR SHALL COORDINATE A UTILITY LOCATE AT LEAST TWO WORKING DAYS PRIOR TO BEGINNING ANY UTILITY CONSTRUCTION FOR LOCATION MARK-UP OF ALL EXISTING UTILITIES. CONTRACTOR SHALL COORDINATE THE UTILITY LOCATE WITH CITY FOR ALL UTILITY WORK. INFORM CITY'S PROJECT MANAGER IMMEDIATELY IF LOCATE INDICATES THAT EXISTING UTILITIES ARE DIFFERENT THAN SHOWN ON DRAWINGS.
5. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES, FEATURES, AND STRUCTURES LOCATED ON THE SITE. LOCATE, PROTECT, AND AVOID DISRUPTION OF ALL ABOVE AND BELOW GRADE UTILITIES DURING CONSTRUCTION. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EQUAL OR BETTER THAN THE EXISTING CONDITION AT CONTRACTORS SOLE EXPENSE.
6. ALL UTILITY CONSTRUCTION SHALL CONFORM TO CITY STANDARDS, AND CURRENT CALIFORNIA CODES.
7. ALL BURIED LINES TO HAVE 12 INCHES MINIMUM COVER, UNLESS NOTED OTHERWISE.
8. ALL EXISTING UTILITIES AND TIE-IN POINTS SHOULD BE CONSIDERED ACTIVE UTILITIES UNLESS OTHERWISE INDICATED.
9. CONFIRM ALL UTILITY APPURTENANCES WITH CITY.
10. CONTRACTOR SHALL COORDINATE ALL UTILITY SHUTDOWNS WITH THE CITY PROJECT MANAGER, A MINIMUM OF TWO WEEKS IN ADVANCE.













## WATER POLLUTION CONTROL NOTES

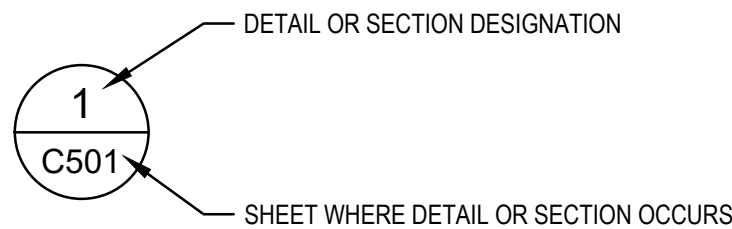
- AT A MINIMUM, THE CONTRACTOR SHALL EMPLOY THE FOLLOWING BEST MANAGEMENT PRACTICES (BMPs) AS DESCRIBED IN THE CURRENT CALIFORNIA STORMWATER BMP HANDBOOK FOR CONSTRUCTION ([WWW.CASQA.ORG](http://WWW.CASQA.ORG)):
- |       |                                  |
|-------|----------------------------------|
| EC-1  | SCHEDULING                       |
| SE-1  | SILT FENCE                       |
| SE-5  | FIBER ROLLS                      |
| SE-7  | STREET SWEEPING AND VACUUMING    |
| SE-10 | STORM DRAIN INLET PROTECTION     |
| WE-1  | WIND EROSION CONTROL             |
| NS-3  | PAVING AND GRINDING OPERATIONS   |
| NS-9  | VEHICLE EQUIPMENT AND FUELING    |
| NS-10 | VEHICLE & EQUIPMENT MAINTENANCE  |
| WM-1  | MATERIALS DELIVERY AND STORAGE   |
| WM-2  | MATERIAL USE                     |
| WM-3  | STOCKPILE MANAGEMENT             |
| WM-4  | SPILL PREVENTION AND CONTROL     |
| WM-5  | SOLID WASTE MANAGEMENT           |
| WM-8  | CONCRETE WASTE MANAGEMENT        |
| WM-9  | SANITARY/SEPTIC WASTE MANAGEMENT |
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MINIMIZE EROSION AND PREVENT THE TRANSPORT OF SEDIMENT TO SENSITIVE AREAS.
3. SUFFICIENT EROSION CONTROL SUPPLIES SHALL BE AVAILABLE ON-SITE AT ALL TIMES TO DEAL WITH AREAS SUSCEPTIBLE TO EROSION DURING RAIN EVENTS.
4. MINIMIZE DISTURBANCE OF EXISTING VEGETATION TO THAT NECESSARY TO COMPLETE THE WORK.
5. THE CONTRACTOR SHALL MAKE ADEQUATE PREPARATIONS, INCLUDING TRAINING & EQUIPMENT, TO CONTAIN SPILLS OF OIL AND OTHER HAZARDOUS MATERIALS.
6. ACTIVITIES SUCH AS VEHICLE WASHING ARE TO BE CARRIED OUT AT AN OFF-SITE FACILITY WHEREIN THE WATER IS DISCHARGED INTO A SANITARY SEWER.
7. THE CONTRACTOR SHALL PROVIDE COVERED WASTE RECEPTACLE FOR COMMON SOLID WASTES AT CONVENIENT LOCATIONS ON THE JOB SITE AND PROVIDE REGULAR COLLECTION OF WASTES.
8. THE CONTRACTOR SHALL PROVIDE SANITARY FACILITIES OF SUFFICIENT NUMBER AND SIZE TO ACCOMMODATE CONSTRUCTION CREWS AND ENSURE ADEQUATE ANCHORAGE OF SUCH FACILITIES TO PREVENT THEM FROM BEING TIPPED BY THE WEATHER OR VANDALISM.
9. APPROPRIATE STORAGE AND DISPOSAL OF WATER FROM DEWATERING OPERATIONS SHALL BE EXERCISED IN THE EVENT THAT ACCUMULATED WATER MUST BE REMOVED FROM A WORK LOCATION.
10. COVERED AND SECURED STORAGE AREAS FOR POTENTIALLY TOXIC MATERIALS SHALL BE PROVIDED. ALL HAZARDOUS MATERIAL CONTAINERS SHOULD BE PLACED IN SECONDARY CONTAINMENT.
11. VEHICLE AND EQUIPMENT & MAINTENANCE SHOULD BE PERFORMED OFF-SITE WHENEVER PRACTICAL.
12. SOIL STOCKPILES SHALL BE COVERED, AND LOCATED AT LEAST 50 FEET AWAY FROM DRAINAGE CHANNELS AND STORMWATER SYSTEMS.
13. CONTRACTOR MUST ENSURE THAT THE CONSTRUCTION SITE IS PREPARED PRIOR TO THE ONSET OF ANY STORM.
14. ALL SEDIMENT DEPOSITED ON PAVED SURFACES SHALL BE SWEEPED AT THE END OF EACH WORKING DAY. AS NECESSARY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE, A STABILIZED CONSTRUCTION ENTRANCE MAY BE REQUIRED TO PREVENT SEDIMENT FROM BEING DEPOSITED ON PAVED ROADWAYS.
15. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN ACCORDANCE TO THEIR RESPECTIVE BMP FACT SHEET UNTIL DISTURBED AREAS ARE STABILIZED.
16. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THE PLAN IN THE FIELD SUBJECT TO THE APPROVAL OF OR AT THE DIRECTION OF THE OWNERS REPRESENTATIVE.
17. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FIX ANY DEFICIENCIES INDICATED BY THE CITY'S PROJECT MANAGER TO PREVENT EROSION AND CONTROL SEDIMENT.

## ABBREVIATIONS




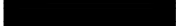

CITY	CITY OF FERDALE
DIA. Ø	DIAMETER
EL. ELEV.	ELEVATION
EG	EXISTING GROUND
EX	EXISTING
FG	FINISHED GRADE
FL	FLOW LINE
FT	FOOT OR FEET
G	GAS
HMA	HOT MIX ASPHALT
JT	JOINT TRENCH
LF	LINEAR FEET
MAX	MAXIMUM
MIN	MINIMUM
(N)	NEW
OHE	OVERHEAD ELECTRICAL
S	SLOPE
SD	STORM DRAIN
SS	SANITARY SEWER
STA.	STATION
TYP	TYPICAL
W	WATER

## LEGEND

	<u>EXISTING</u>	<u>PROPOSED</u>
OVERHEAD ELECTRICAL	— OHE —	
STORM DRAIN PIPE	— SD —	
STORM DRAIN INLET		
STORM DRAIN MANHOLE		
SEWER SANITARY PIPE	— SS —	
SEWER SANITARY MANHOLE		
WATER MAIN	— W —	
WATER VALVE		
FIRE HYDRANT	H-O-H	
CURB	— X —	
ELECTRICAL POLE		
PROPERTY LINE	— — —	
EDGE OF PAVEMENT		
STORM WATER DITCH		
MINOR CONTOUR	— — —	
MAJOR CONTOUR	— — —	
LIMITS OF DISTURBANCE		
LIMITS OF GRADING		



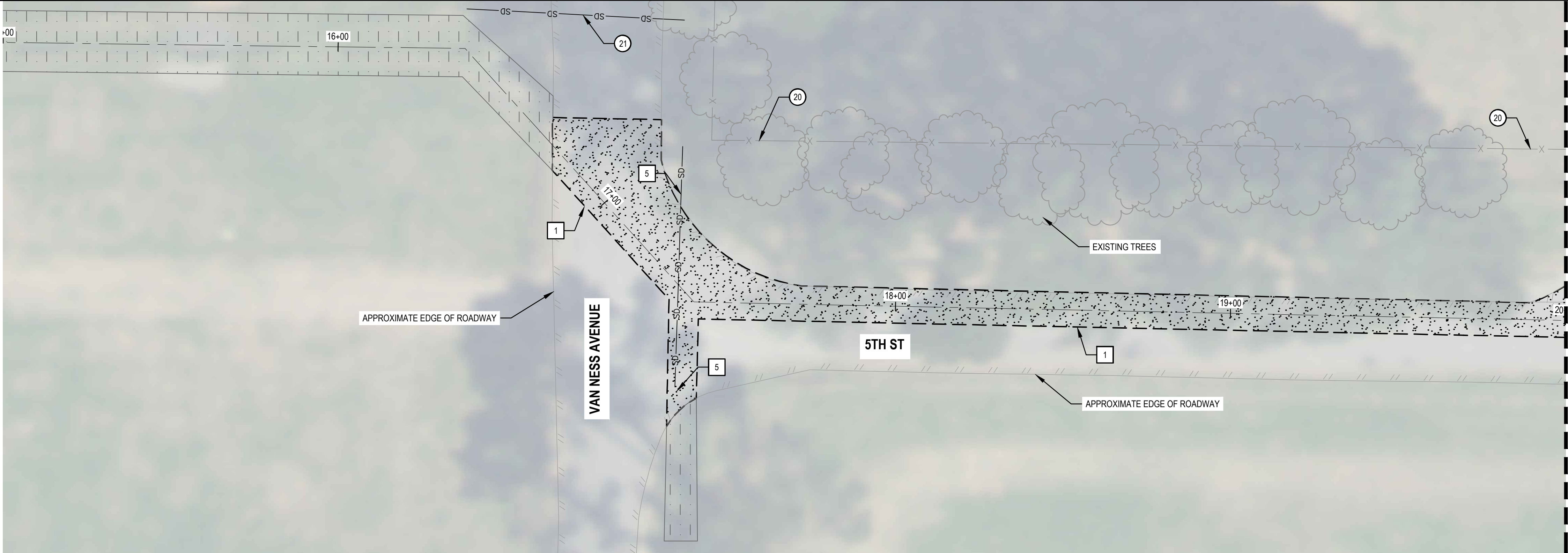
# PRELIMINARY

				 <b>Know what's below. Call before you dig.</b>		Bar is one inch on original size sheet 0  1"				 GHD Inc. 4080 Plaza Goldorado Circle Suite B Cameron Park California 95682 USA T 1 530 677 5515		 <a href="http://www.ghd.com">www.ghd.com</a>		Client <b>CITY OF FERNDAL</b>		Title <b>NOTES AND ABBREVIATIONS</b>		Size <b>ANSI D</b>	
No.		Issue				Checked		Approved		Date									
Author		Drafting Check		BRETT VIVYAN		Project Manager		BRETT VIVYAN											
Designer		TAYLOR ALLEN		Design Check		BRETT VIVYAN		Project Director		JEREMY SVEHLA									
Project No.		12561178		Date		2024-09-12		Scale		AS SHOWN		Sheet No.		G-002		Sheet		2 of 1	



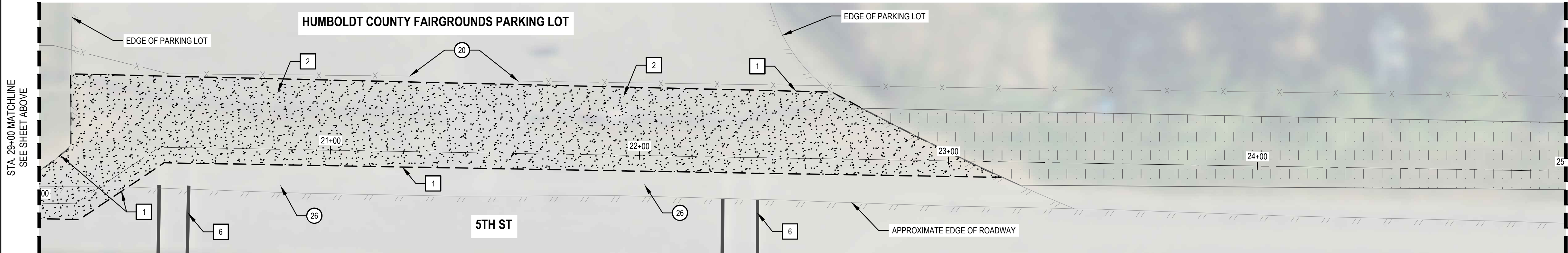






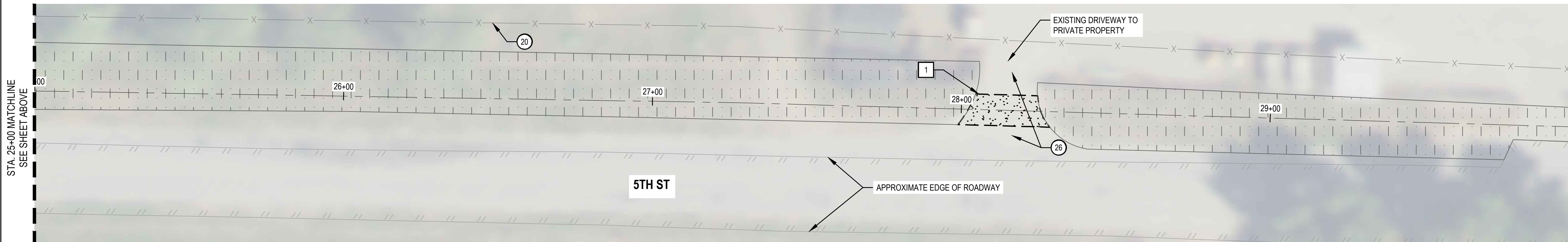
DEMOLITION STATION 17+00 TO 20+00

SCALE: 1" = 20'



DEMOLITION STATION 20+00 TO 25+00

SCALE: 1" = 20'



DEMOLITION STATION 25+00 TO 30+00

SCALE: 1" = 20'

DEMOLITION NOTES

1. SAWCUT LINE. SAWCUT AND REMOVE ASPHALT PER SHEET C-301 DETAIL 6.
2. REMOVE EXISTING AB AND AC PAVEMENT.
3. REMOVE EXISTING CONCRETE CURB, GUTTER, OR SIDEWALK.
4. REMOVE AND DISPOSE OF EXISTING STORM DRAIN INLET.
5. REMOVE AND DISPOSE OF EXISTING STORM DRAIN PIPE.
6. REMOVE AND REPLACE EXISTING STRIPING.

PROTECTION KEYNOTES

20. PROTECT EXISTING FENCE.
21. PROTECT EXISTING STORM DRAIN PIPE.
22. PROTECT EXISTING POTABLE WATER LINES, VALVES, APPURTENANCES.
23. PROTECT EXISTING UNDERGROUND AND OVERHEAD OVERHEAD ELECTRICAL LINES.
24. PROTECT EXISTING SANITARY SEWER PIPE, MANHOLE, OR LATERAL.
25. PROTECT EXISTING CURB, GUTTER, OR SIDEWALK.
26. PROTECT EXISTING ASPHALT.
27. PROTECT ROADWAY SIGNAGE.

SHEET GENERAL NOTES

1. FEATURES OUTSIDE OF PROJECT LIMITS SHALL BE PRESERVED/ PROTECTED, UNLESS NOTED OTHERWISE.
2. CONTRACTORS SHALL VERIFY LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. ANY UTILITIES FOUND TO BE WITHIN WORK ZONE (HORIZONTALLY AND VERTICALLY) SHALL BE REVIEWED WITH THE ENGINEER

LEGEND

- CLEAR AND GRUB, REMOVE VEGETATION AND MISC. MATERIALS AS NEEDED FOR IMPROVEMENTS
- APPROXIMATE EXTENTS OF PAVEMENT REMOVAL. TRENCHING AND PAVEMENT REMOVAL PER SHEET C-301 DETAIL 6
- APPROXIMATE SAWCUT LINE
- EXISTING FENCE

LOCATION OF EXISTING UTILITIES AND STRUCTURES ARE FROM THE BEST INFORMATION AVAILABLE. EXACT LOCATION AND COMPLETENESS ARE NOT GUARANTEED. CONTRACTORS SHALL NOTIFY UNDERGROUND SERVICE ALERT (USA) AT (800) 227-2600 OR DIAL 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION AND POTHOLE FOR EXACT LOCATION.



PRELIMINARY

No.	Issue	Checked	Approved	Date
Author	Drafting Check	BRETT VIVYAN	Project Manager	BRETT VIVYAN
Designer	Design Check	BRETT VIVYAN	Project Director	JEREMY SVEHLA



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Client CITY OF FERNDAL

Project WATER QUALITY AND DRAINAGE IMPROVEMENTS PROJECT

Project No. 12561178

Date 2024-09-12

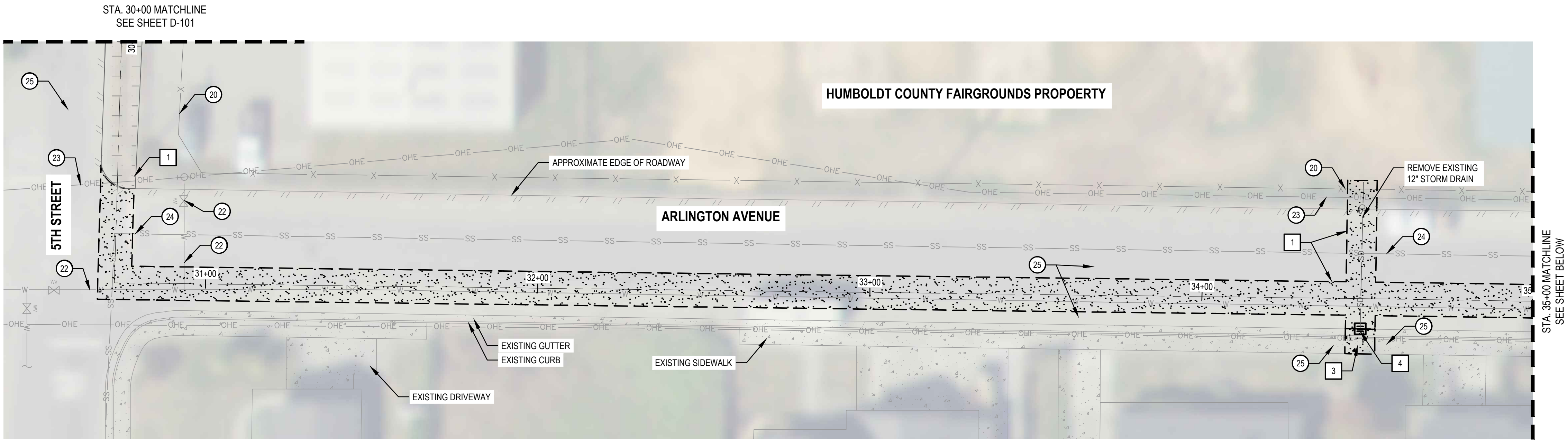
Scale AS SHOWN

Title EXISTING CONDITIONS AND DEMOLITION PLAN

Size ANSI D

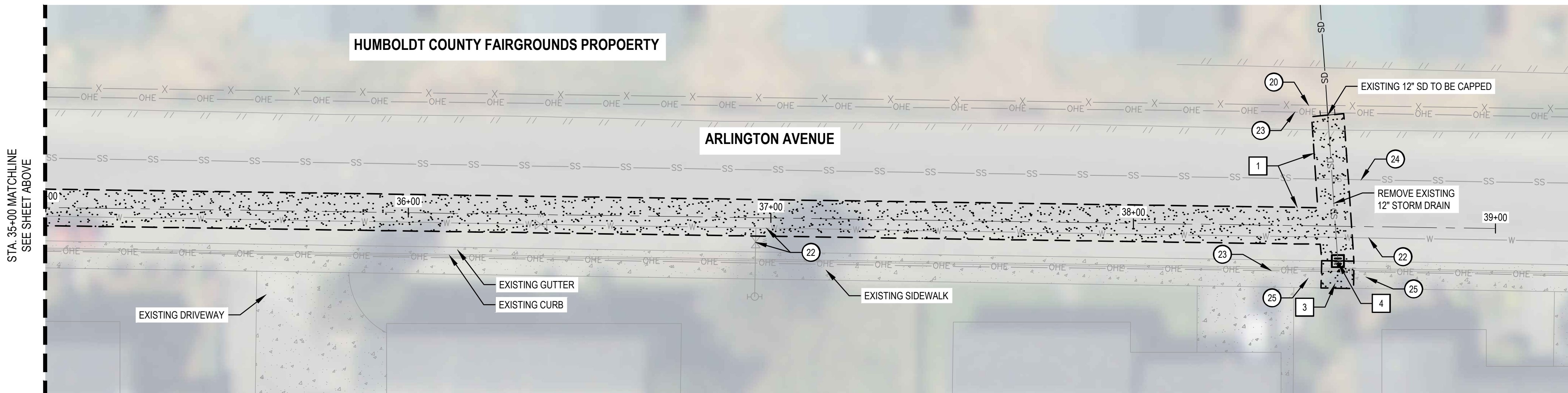
Sheet No. D-101  
Sheet 4 of 13





**DEMOLITION STATION 30+00 TO 35+00**

SCALE: 1" = 20'



**DEMOLITION STATION 35+00 TO 39+00**

SCALE: 1" = 20'

**DEMOLITION NOTES**

- SAWCUT LINE. SAWCUT AND REMOVE ASPHALT PER SHEET C-301 DETAIL 6.
- REMOVE EXISTING AB AND AC PAVEMENT.
- REMOVE EXISTING CONCRETE CURB, GUTTER, OR SIDEWALK.
- REMOVE AND DISPOSE OF EXISTING STORM DRAIN INLET.
- REMOVE AND DISPOSE OF EXISTING STORM DRAIN PIPE.
- REMOVE AND REPLACE EXISTING STRIPING.

**PROTECTION KEYNOTES**

- PROTECT EXISTING FENCE.
- PROTECT EXISTING STORM DRAIN PIPE.
- PROTECT EXISTING POTABLE WATER AND OVERHEAD ELECTRICAL LINES.
- PROTECT EXISTING SANITARY SEWER PIPE, MANHOLE, OR LATERAL.
- PROTECT EXISTING CURB, GUTTER, OR SIDEWALK.
- PROTECT EXISTING ASPHALT.
- PROTECT ROADWAY SIGNAGE.

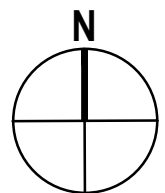
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**LEGEND**

- CLEAR AND GRUB, REMOVE VEGETATION AND MISC. MATERIALS AS NEEDED FOR IMPROVEMENTS
- APPROXIMATE EXTENTS OF PAVEMENT REMOVAL. TRENCHING AND PAVEMENT REMOVAL PER SHEET C-301 DETAIL 6
- APPROXIMATE SAWCUT LINE
- EXISTING FENCE

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No.	Issue	Checked		Approved	Date
Author	Drafting Check	BRETT VIVYAN	Project Manager	BRETT VIVYAN	
Designer	TAYLOR ALLEN	Design Check	BRETT VIVYAN	Project Director	JEREMY SVEHLA



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Client **CITY OF FERNDALE**

Project **WATER QUALITY AND DRAINAGE IMPROVEMENTS PROJECT**

Project No. **12561178** Date **2024-09-12** Scale **AS SHOWN**

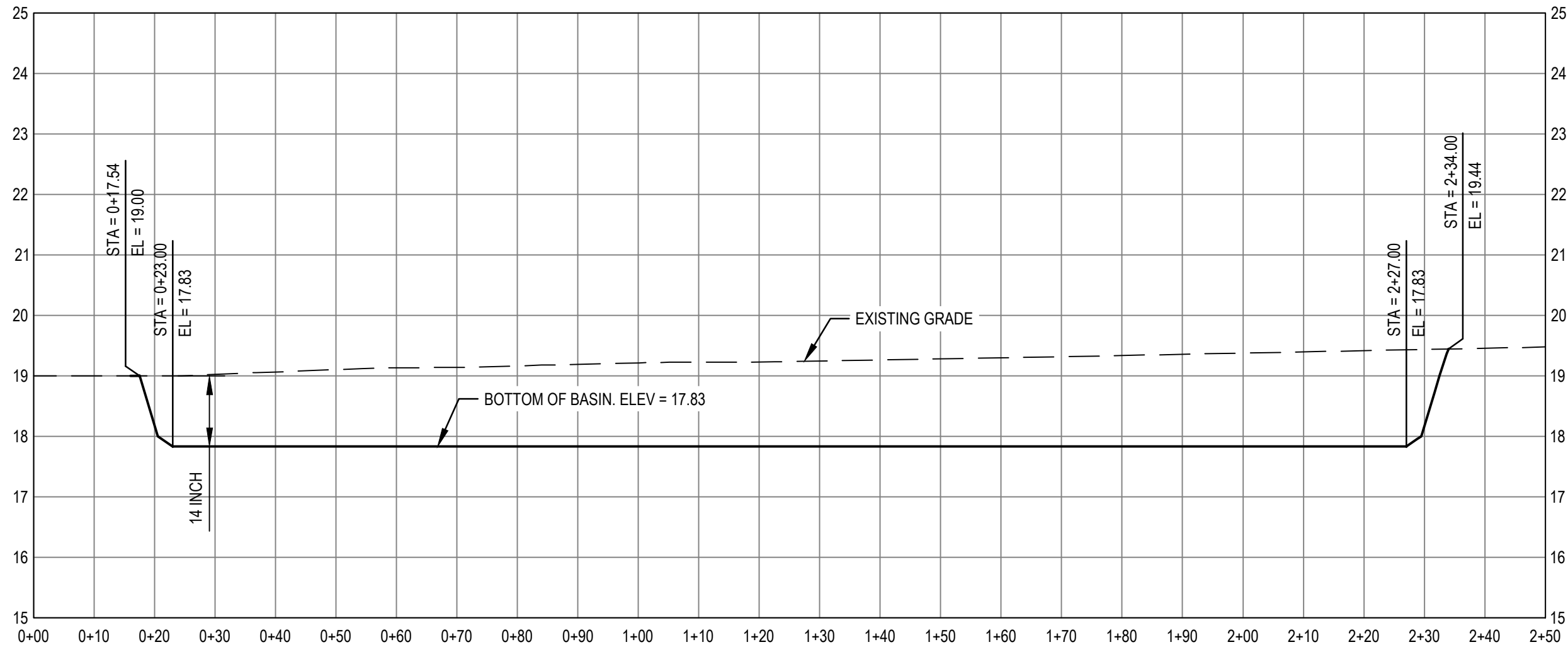
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Size **ANSI D**

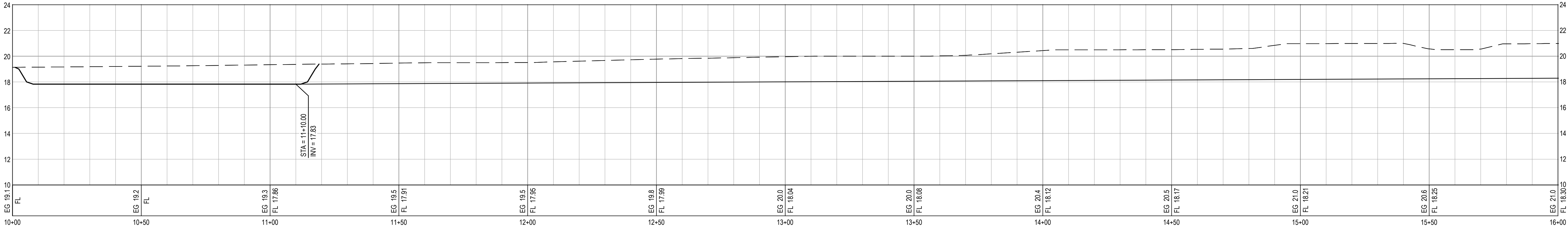
Sheet No. **D-102** Sheet **5 of 13**







**SECTION A**  
SCALE: 1"= 20' H, 1"= 5' V



**STA. 10+00 TO 16+00 PROFILE VIEW**

SCALE: 1" = 20' HORZ. 5:1 VERTICAL EXAGGERATION

PRELIMINARY

No.	Issue	Checked	Approved Date
Author	Drafting Check	BRETT VIVYAN	Project Manager BRETT VIVYAN
Designer	TAYLOR ALLEN	Design Check	BRETT VIVYAN Project Director JEREMY SVEHLA



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Client	CITY OF FERNDALE	
Project	WATER QUALITY AND DRAINAGE IMPROVEMENTS PROJECT	

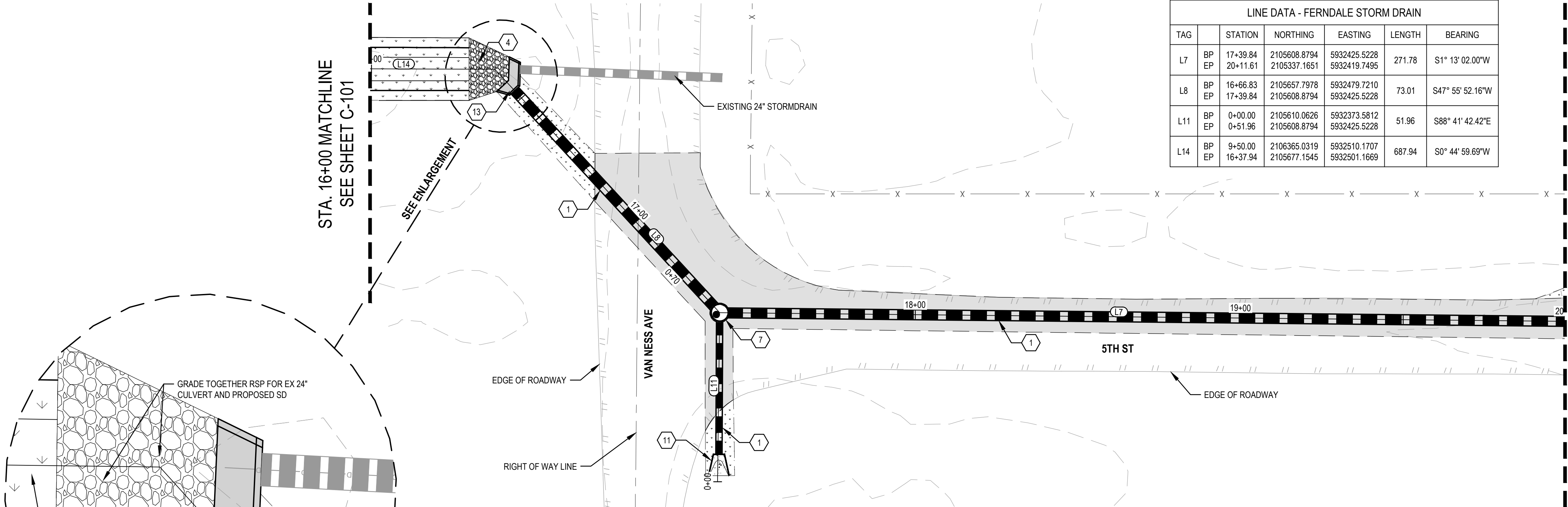
Title GRADING SECTIONS

Project No.	Date	Scale
12561178	2024-09-12	AS SHOWN

Size  
ANSI D

Sheet No.  
C-102  
7 of 13

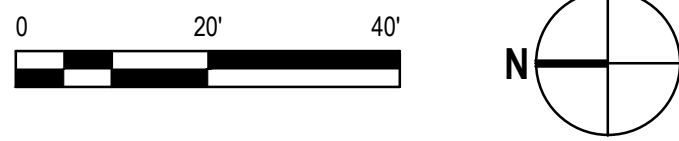




LINE DATA - FERNDAL STORM DRAIN					
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	EP	20+11.61	2105337.1651	5932419.7495	
L8	BP	16+66.83	2105657.7978	5932479.7210	73.01
	EP	17+39.84	2105608.8794	5932425.5228	
L11	BP	0+00.00	2105610.0626	5932373.5812	51.96
	EP	0+51.96	2105608.8794	5932425.5228	
L14	BP	9+50.00	2106365.0319	5932510.1707	687.94
	EP	16+37.94	2105677.1545	5932501.1669	

VAN NESS AND 5TH STREET INTERSECTION PLAN VIEW

SCALE: 1" = 20'



CONSTRUCTION KEYNOTES

- CONSTRUCT HDPE STORM DRAIN, TRENCHING, PIPE BACKFILL AND BEDDING PER SHEET C-301 DETAIL 6.
- CONSTRUCT BIOSWALE WITH DIMENSIONS PER SHEET C-301 DETAIL 2.
- CONSTRUCT SHALLOW BIOSWALE WITH DIMENSIONS PER SHEET C-301 DETAIL 3. FIT GRADE TO MEET EXISTING.
- INSTALL RSP SLOPE PROTECTION PER SHEET C-301 DETAIL 5.
- CONSTRUCT 6 FT WIDE CALTRANS A24F YELLOW THERMOPLASTIC CROSSWALK STRIPING. BOTH CROSSWALKS TO BE BASIC STYLE.
- INSTALL NSBB-510 OR APPROVED EQUAL PER MANUFACTURER INSTRUCTIONS.
- CONSTRUCT 60-INCH ECCENTRIC STORM DRAIN PRECAST MANHOLE CONFORMING TO SPPWC STANDARD PLAN 320-2.
- CONSTRUCT 72-INCH ECCENTRIC STORM DRAIN PRECAST MANHOLE CONFORMING TO SPPWC STANDARD PLAN 320-2.
- CONSTRUCT PRECAST DRAINAGE INLET CONFORMING TO CALTRANS STANDARD PLAN D72E. REFER TO TYPE GO WITH CURB TYPE A1-6. T = 6 INCHES.
- CONSTRUCT CHECK DAMS PER SHEET C-301 DETAIL 1.
- INSTALL HDPE FLARED END SECTION PER MANUFACTURER'S SPECIFICATIONS.
- CONSTRUCT VEGETATED STORMWATER CURB EXTENSION (VSCE) PER CITY OF LOS ANGELES STANDARD PLAN S-484-0.
- CONSTRUCT HEADWALL.
- CONSTRUCT PRECAST CONCRETE DITCH INLET CONFORMING TO CALTRANS STANDARD PLAN D75B. REFER TO TYPE GOP. H PER PLANS.

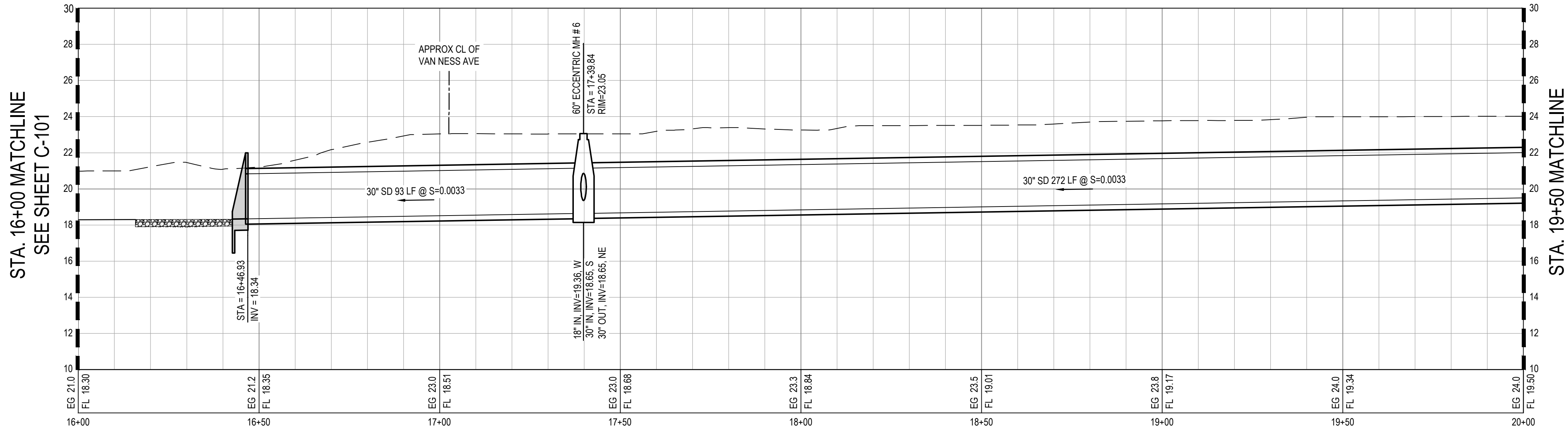
SHEET GENERAL NOTES

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- CONTRACTORS SHALL VERIFY LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. ANY UTILITIES FOUND TO BE WITHIN WORK ZONE (HORIZONTALLY AND VERTICALLY) SHALL BE REVIEWED WITH THE ENGINEER

LEGEND

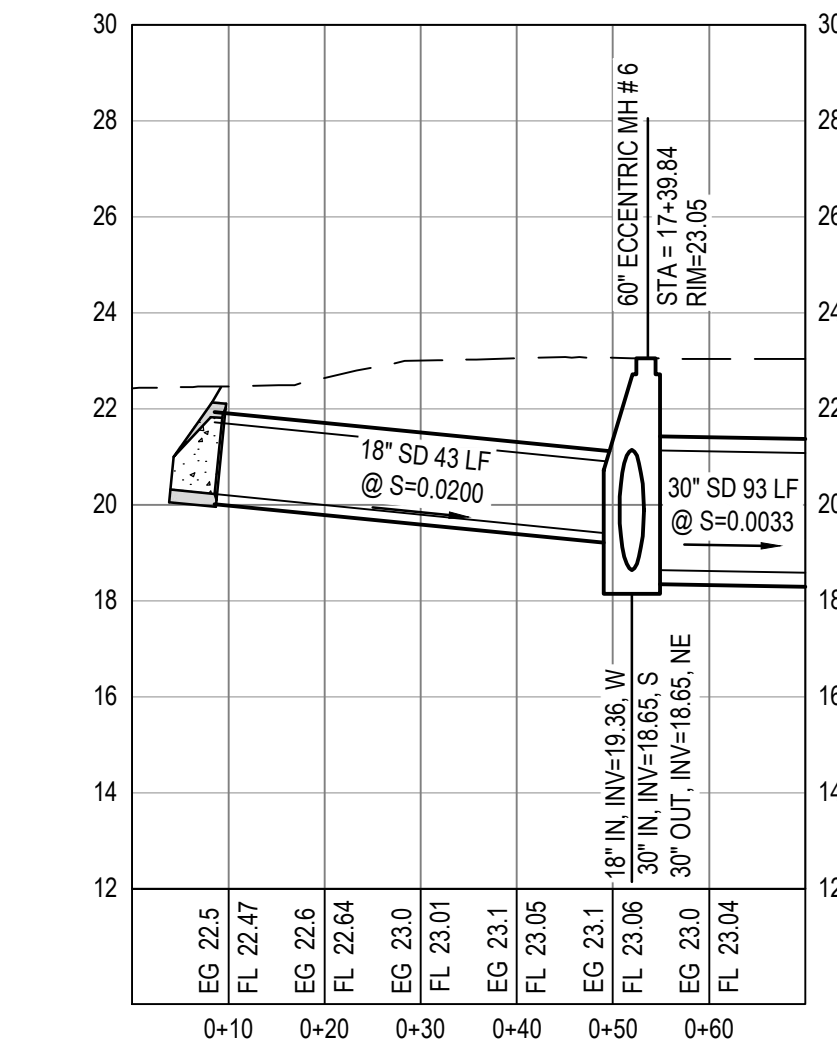
- APPROXIMATE LIMITS OF PAVEMENT REPAIR
- APPROXIMATE LIMITS OF HYDROSEED
- APPROXIMATE LIMITS OF CONCRETE REPLACEMENT
- EXISTING GRADE
- FINISH GRADE
- EXISTING FENCE

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VAN NESS AND 5TH STREET INTERSECTION PROFILE VIEW

SCALE: 1" = 20' HORZ. 5:1 VERTICAL EXAGGERATION



VAN NESS CULVERT PROFILE VIEW

SCALE: 1" = 20' HORZ. 5:1 VERTICAL EXAGGERATION

PRELIMINARY

No.	Issue	Checked		Approved	Date
Author	Drafting Check	BRETT VIVYAN	Project Manager	BRETT VIVYAN	
Designer	TAYLOR ALLEN	Design Check	BRETT VIVYAN	Project Director	JEREMY SVEHLA



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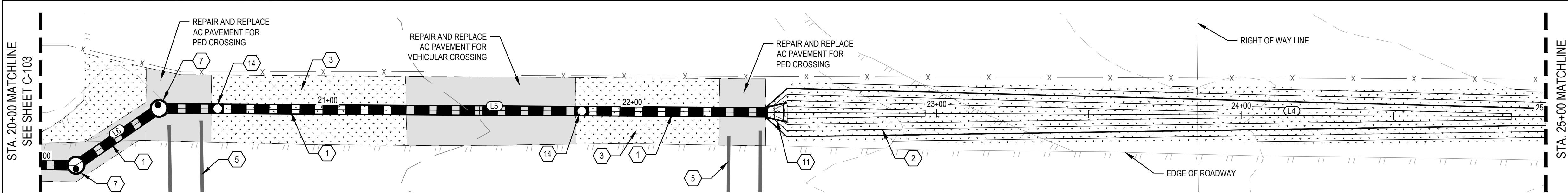
Client **CITY OF FERNDAL**  
Project **WATER QUALITY AND DRAINAGE IMPROVEMENTS PROJECT**

Project No. **12561178**  
Date **2024-09-12**  
Scale **AS SHOWN**

Title **VAN NESS AVE AND 5TH ST PLAN AND PROFILE STA. 16+00 TO 20+00**

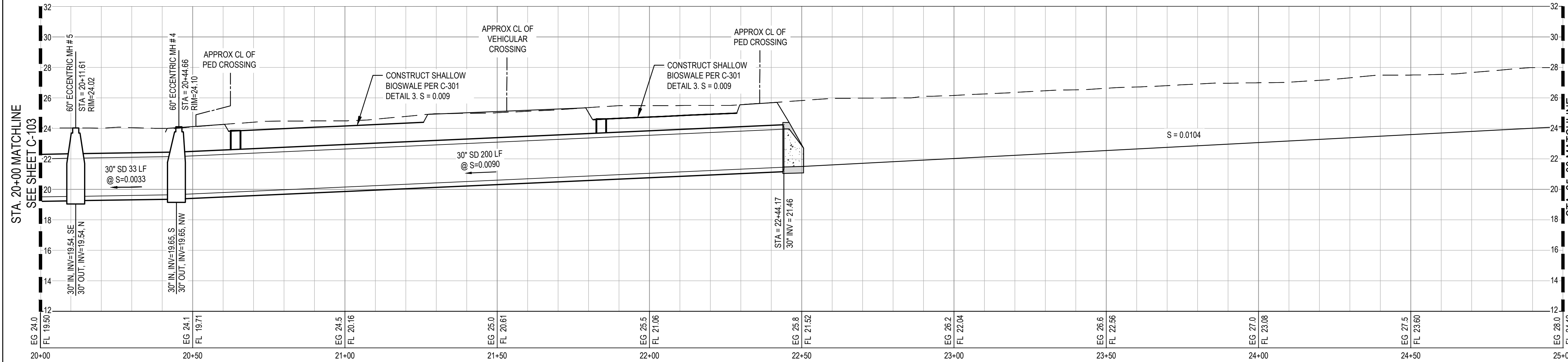
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Sheet No. **C-103**  
Sheet **8 of 13**





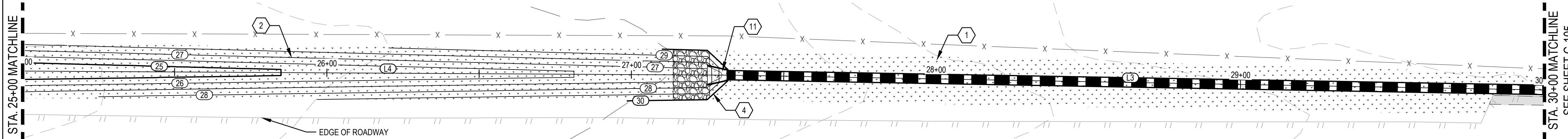
5TH ST STA. 20+00 TO 25+00 PLAN VIEW

SCALE: 1" = 20'



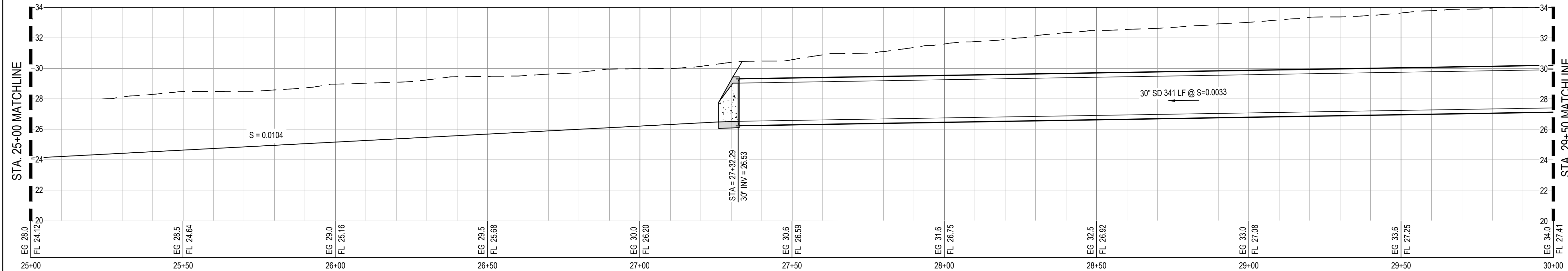
5TH ST STA. 20+00 TO 25+00 PROFILE VIEW

SCALE: 1" = 20' HORIZ. 5:1 VERTICAL EXAGGERATION



5TH ST STA. 25+00 TO 30+00 PLAN VIEW

SCALE: 1" = 20'



5TH ST STA. 25+00 TO 30+00 PROFILE VIEW

SCALE: 1" = 20' HORIZ. 5:1 VERTICAL EXAGGERATION

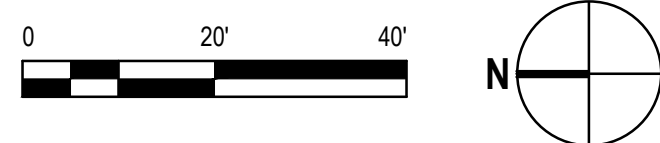
- ### CONSTRUCTION KEYNOTES
1. CONSTRUCT HDPE STORM DRAIN, TRENCHING, PIPE BACKFILL AND BEDDING PER SHEET C-301 DETAIL 6.
  2. CONSTRUCT BIOSWALE WITH DIMENSIONS PER SHEET C-301 DETAIL 2.
  3. CONSTRUCT SHALLOW BIOSWALE WITH DIMENSIONS PER SHEET C-301 DETAIL 3. FIT GRADE TO MEET EXISTING.
  4. INSTALL RSP SLOPE PROTECTION PER SHEET C-301 DETAIL 5.
  5. CONSTRUCT 6 FT WIDE CALTRANS A24F YELLOW THERMOPLASTIC CROSSWALK STRIPING. BOTH CROSSWALKS TO BE BASIC STYLE.
  6. INSTALL NSBB-510 OR APPROVED EQUAL PER MANUFACTURER INSTRUCTIONS.
  7. CONSTRUCT 60-INCH ECCENTRIC STORM DRAIN PRECAST MANHOLE CONFORMING TO SPPWC STANDARD PLAN 320-2.
  8. CONSTRUCT 72-INCH ECCENTRIC STORM DRAIN PRECAST MANHOLE CONFORMING TO SPPWC STANDARD PLAN 320-2.
  9. CONSTRUCT PRECAST DRAINAGE INLET CONFORMING TO CALTRANS STANDARD PLAN D72E. REFER TO TYPE GO WITH CURB TYPE A1-6. T = 6 INCHES.
  10. CONSTRUCT CHECK DAMS PER SHEET C-301 DETAIL 1.
  11. INSTALL HDPE FLARED END SECTION PER MANUFACTURER'S SPECIFICATIONS.
  12. CONSTRUCT VEGETATED STORMWATER CURB EXTENSION (VSCE) PER CITY OF LOS ANGELES STANDARD PLAN S-484-0.
  13. CONSTRUCT HEADWALL.
  14. CONSTRUCT PRECAST CONCRETE DITCH INLET CONFORMING TO CALTRANS STANDARD PLAN D75B. REFER TO TYPE GOP. H PER PLANS.

- ### SHEET GENERAL NOTES
1. FEATURES OUTSIDE OF PROJECT LIMITS SHALL BE PRESERVED/ PROTECTED, UNLESS NOTED OTHERWISE.
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- ### LEGEND
- APPROXIMATE LIMITS OF PAVEMENT REPAIR
  - APPROXIMATE LIMITS OF HYDROSEED
  - APPROXIMATE LIMITS OF CONCRETE REPLACEMENT
  - EXISTING GRADE
  - FINISH GRADE
  - EXISTING FENCE

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LINE DATA - FERNDALE STORM DRAIN					
TAG		STATION	NORTHING	EASTING	BEARING
L3	BP	27+31.66	2104622.7874	5932426.4393	S1° 39' 50.46"W
	EP	30+72.57	2104282.0269	5932416.5400	
L4	BP	22+44.17	2105110.2149	5932434.6044	S0° 57' 34.90"W
	EP	27+31.66	2104622.7874	5932426.4393	
L5	BP	20+44.66	2105309.6912	5932438.1155	S1° 00' 30.17"W
	EP	22+44.17	2105110.2149	5932434.6044	
L6	BP	20+11.61	2105337.1651	5932419.7495	S33° 45' 44.24"E
	EP	20+44.66	2105309.6912	5932438.1155	



No.	Issue	Checked    Approved    Date		
Author	Drafting Check	BRETT VIVYAN	Project Manager	BRETT VIVYAN
Designer	TAYLOR ALLEN	Design Check	BRETT VIVYAN	Project Director
			JEREMY SVEHLA	



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Client CITY OF FERNDALE

Project WATER QUALITY AND DRAINAGE IMPROVEMENTS PROJECT

Project No. 12561178

Date 2024-09-12

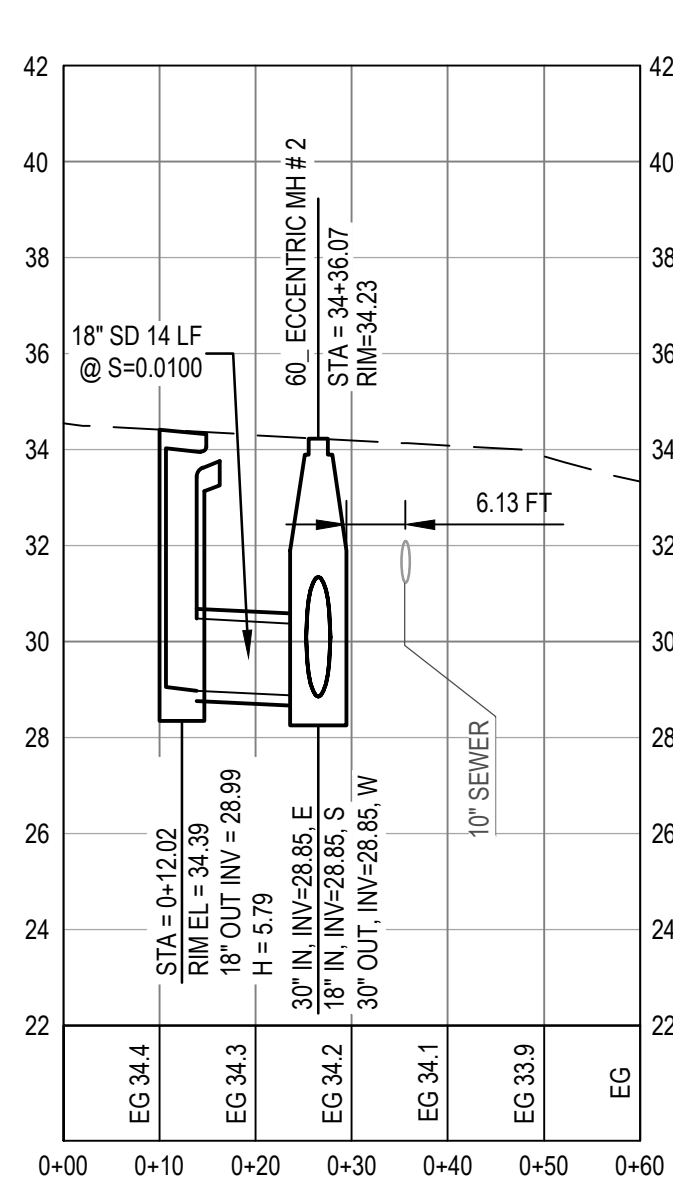
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Title 5TH ST PLAN AND PROFILE STA. 20+00 To 30+00

Sheet No. C-104  
9 of 13

PRELIMINARY

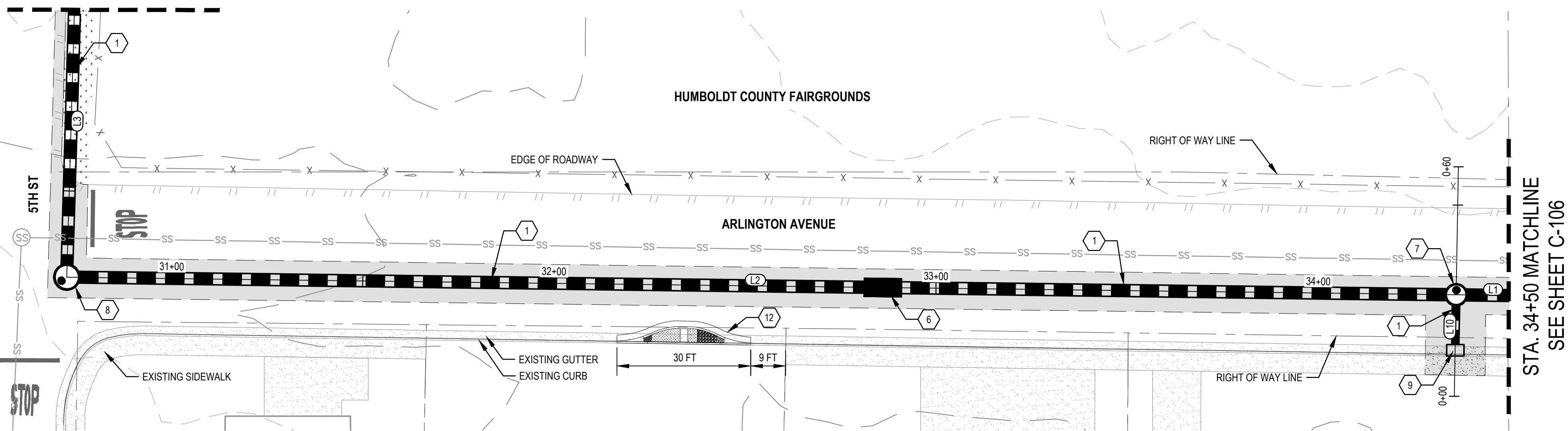




PROFILE - WEST LATERAL

SCALE: 1" = 20' HORIZ; 5:1 VERTICAL EXAGGERATION

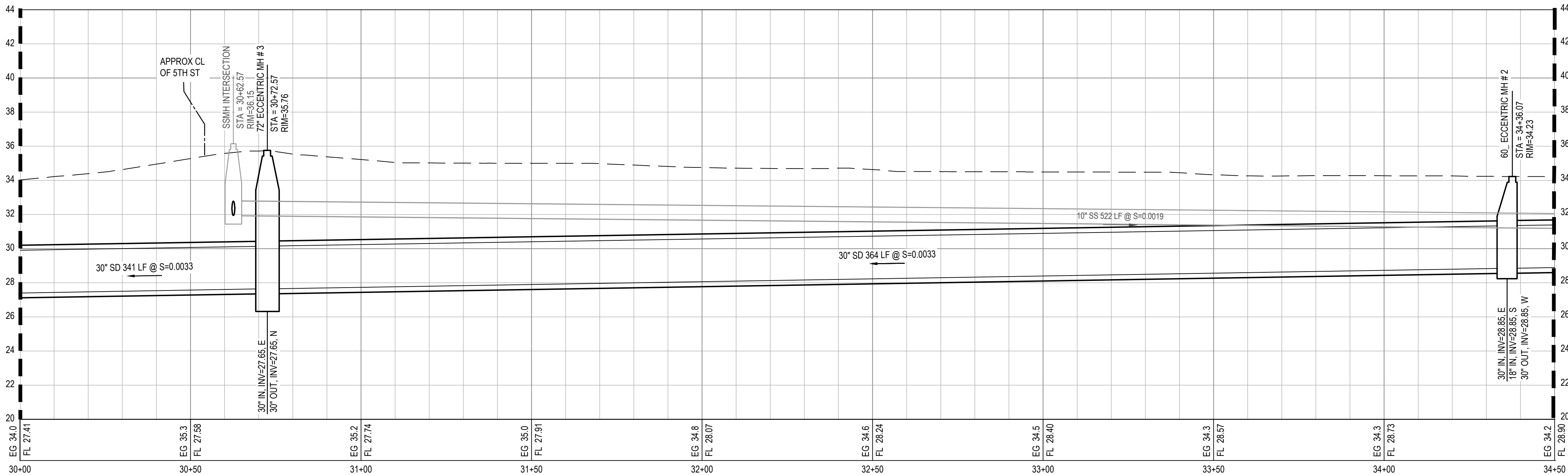
STA. 30+00 MATCHLINE  
SEE SHEET C-104



ARLINGTON AVE STA 30+00 TO 34+50 PLAN VIEW

SCALE: 1" = 20'

STA. 30+00 MATCHLINE  
SEE SHEET C-104



ARLINGTON AVE STA 30+00 TO 34+50 PROFILE VIEW

SCALE: 1" = 20' HORIZ; 5:1 VERTICAL EXAGGERATION

CONSTRUCTION KEYNOTES

- CONSTRUCT HDPE STORM DRAIN, TRENCHING, PIPE BACKFILL AND BEDDING PER SHEET C-301 DETAIL 6.
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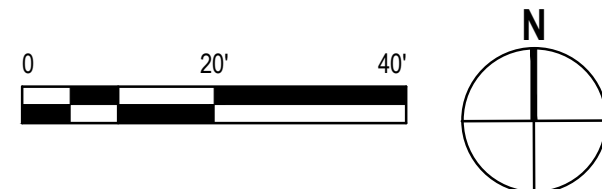
LEGEND

- APPROXIMATE LIMITS OF PAVEMENT REPAIR
- APPROXIMATE LIMITS OF HYDROSEED
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LINE DATA - FERNDAL STORM DRAIN

TAG		STATION	NORTHING	EASTING	LENGTH	BEARING
L1	BP EP	34+42.60 38+99.88	2104277.3141 2104270.6565	5932786.5467 5933243.7757	457.28	S89° 09' 56.86"E
L2	BP EP	30+72.57 34+42.60	2104282.0269 2104277.3141	5932416.5400 5932786.5467	370.04	S89° 16' 12.91"E
L3	BP EP	27+31.66 30+72.57	2104622.7874 2104282.0269	5932426.4393 5932416.5400	340.90	S1° 39' 50.46"W
L10	BP EP	0+00.00 0+60.00	2104250.8745 2104310.8617	5932779.5735 5932780.6575	60.00	N1° 02' 07.05"E



PRELIMINARY

No.	Issue	Checked	Approved	Date
Author	Drafting Check	BRETT VIVYAN	Project Manager	BRETT VIVYAN
Designer	Design Check	BRETT VIVYAN	Project Director	JEREMY SVEHLA



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Client CITY OF FERNDAL

Project WATER QUALITY AND DRAINAGE  
IMPROVEMENTS PROJECT

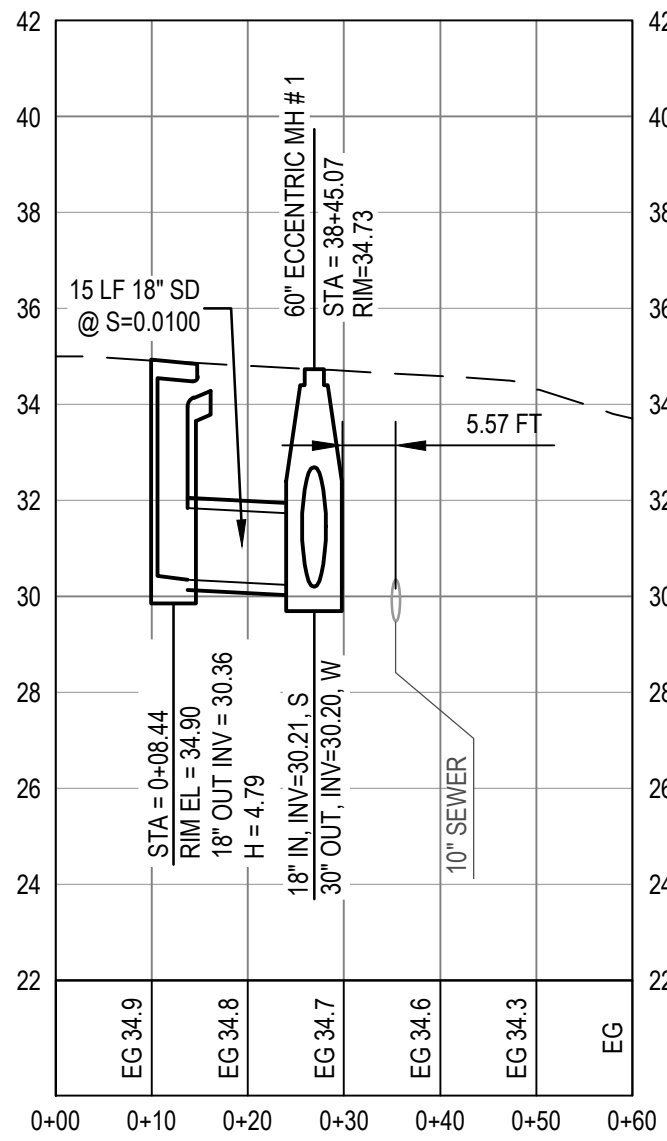
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12561178

Date  
2024-09-12

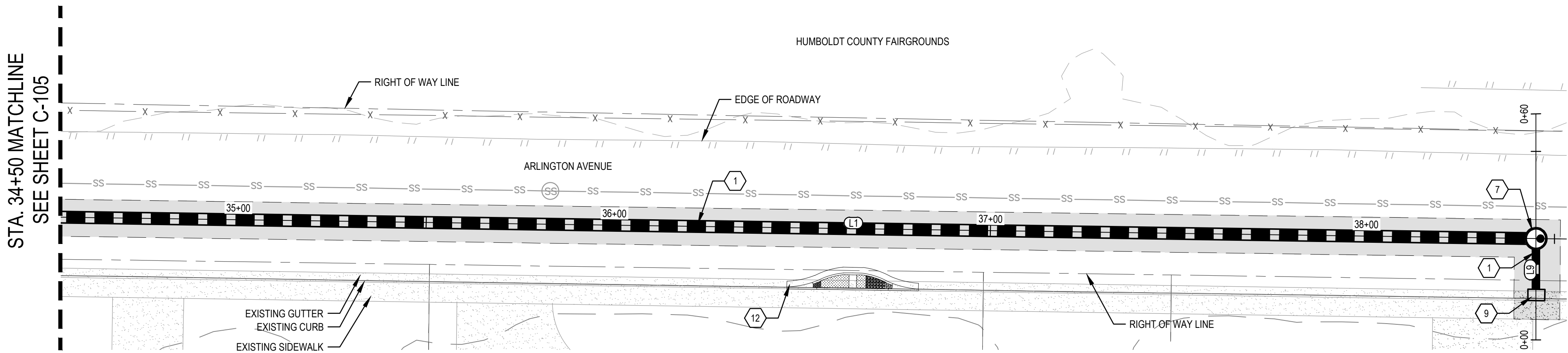
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34+50

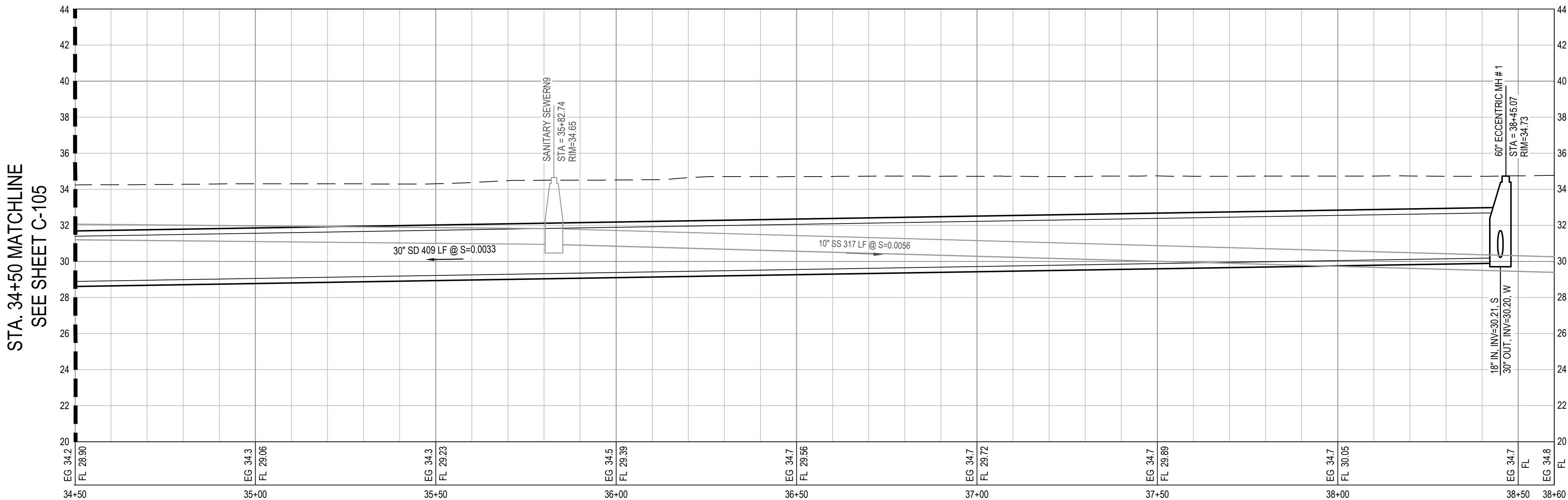
Sheet No.  
C-105  
Sheet  
10 of 13



PROFILE - EAST LATERAL  
SCALE: 1" = 20" HORZ; 5:1 VERTICAL EXAGGERATION



ARLINGTON AVE PLAN VIEW  
SCALE: 1" = 20"



ARLINGTON AVE PROFILE VIEW  
SCALE: 1" = 20" HORZ; 5:1 VERTICAL EXAGGERATION

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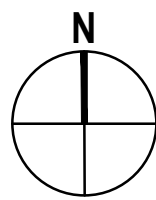
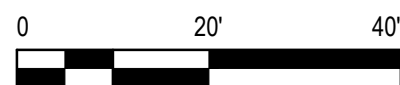
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	EP	38+99.88	5932786.5467		
L9	BP	0+13.42	2104258.0035	13.45	N00° 00' 11.96"W
	EP	0+26.87	5933188.9704		



PRELIMINARY

No.	Issue		Checked	Approved	Date
Author		Drafting Check	BRETT VIVYAN	Project Manager	BRETT VIVYAN
Designer	TAYLOR ALLEN	Design Check	BRETT VIVYAN	Project Director	JEREMY SVEHLA



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Client **CITY OF FERNDALE**

Project **WATER QUALITY AND DRAINAGE  
IMPROVEMENTS PROJECT**

Project No.  
**12561178**

Date  
**2024-09-12**

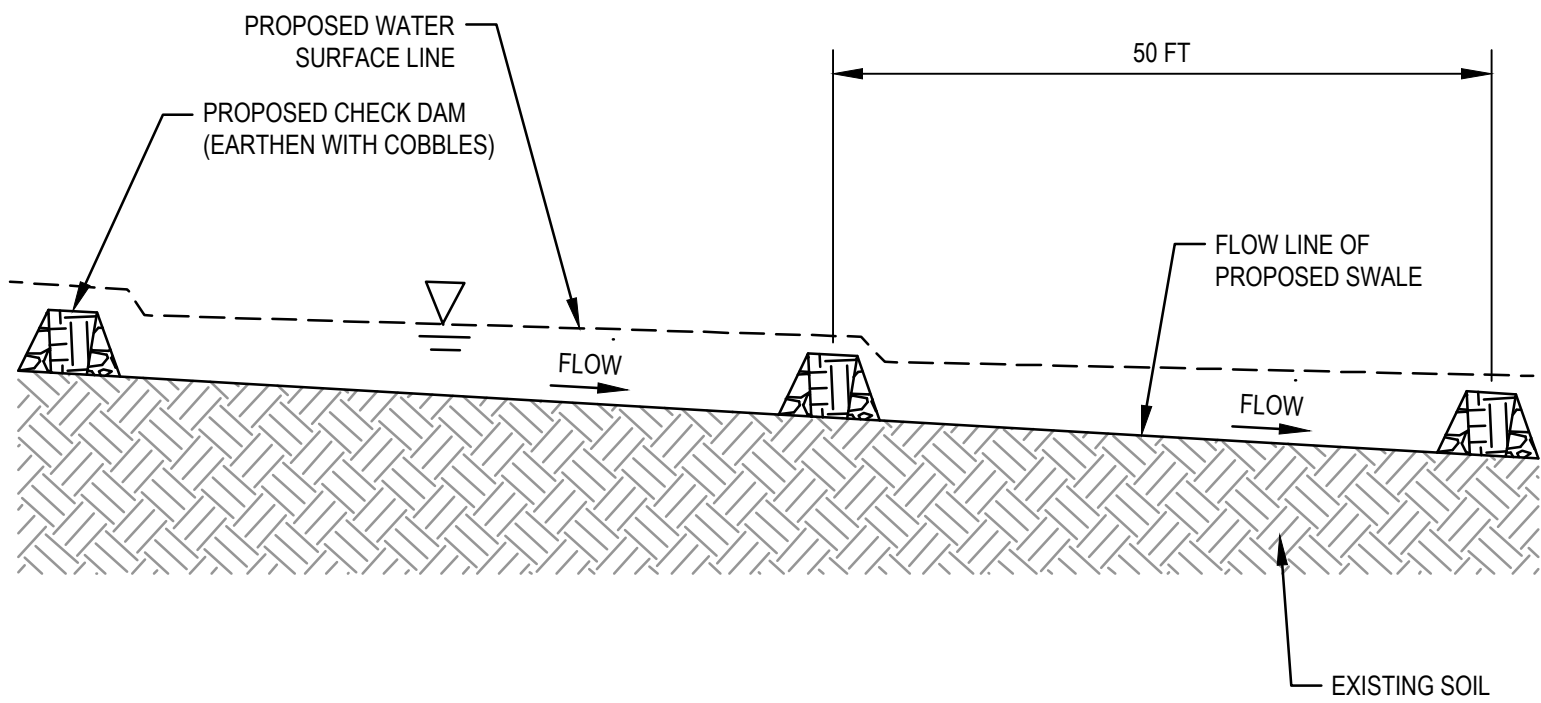
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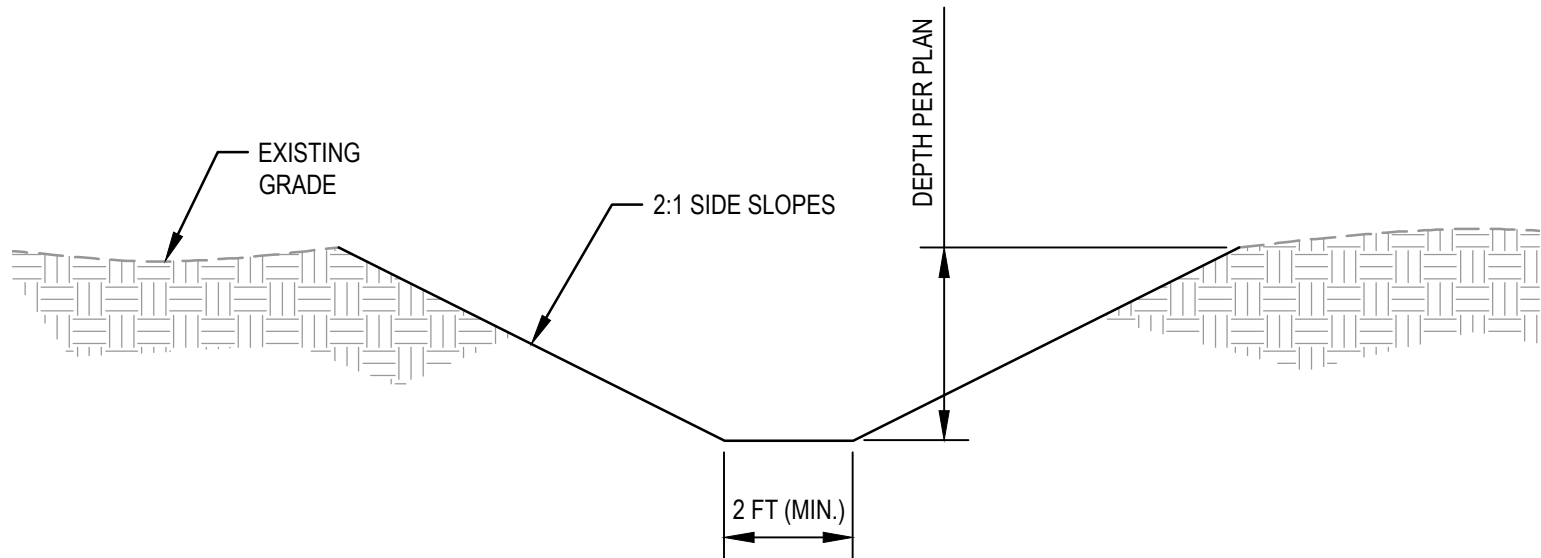
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11 of 13

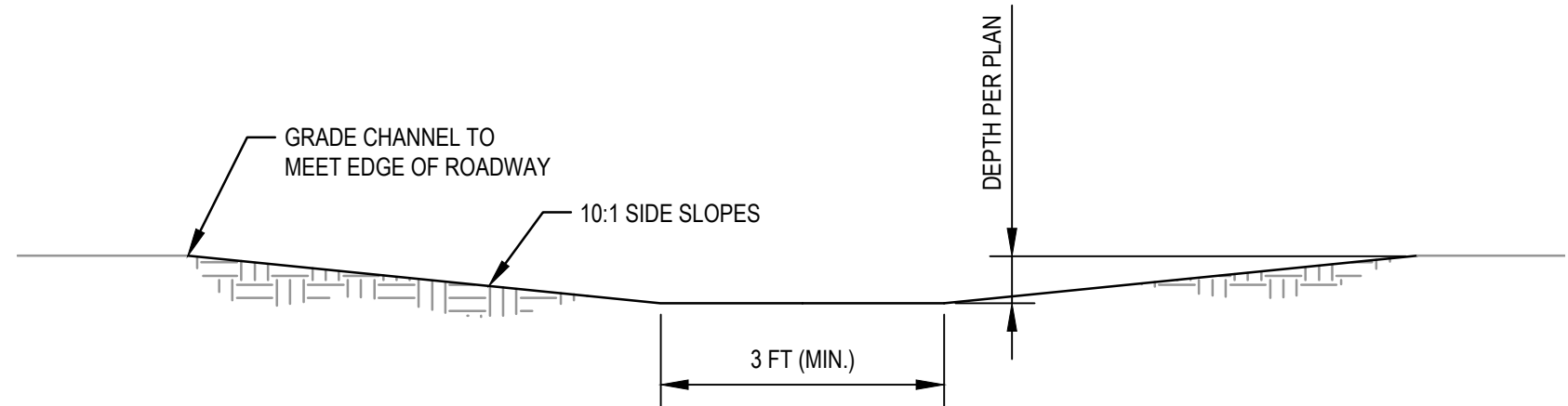




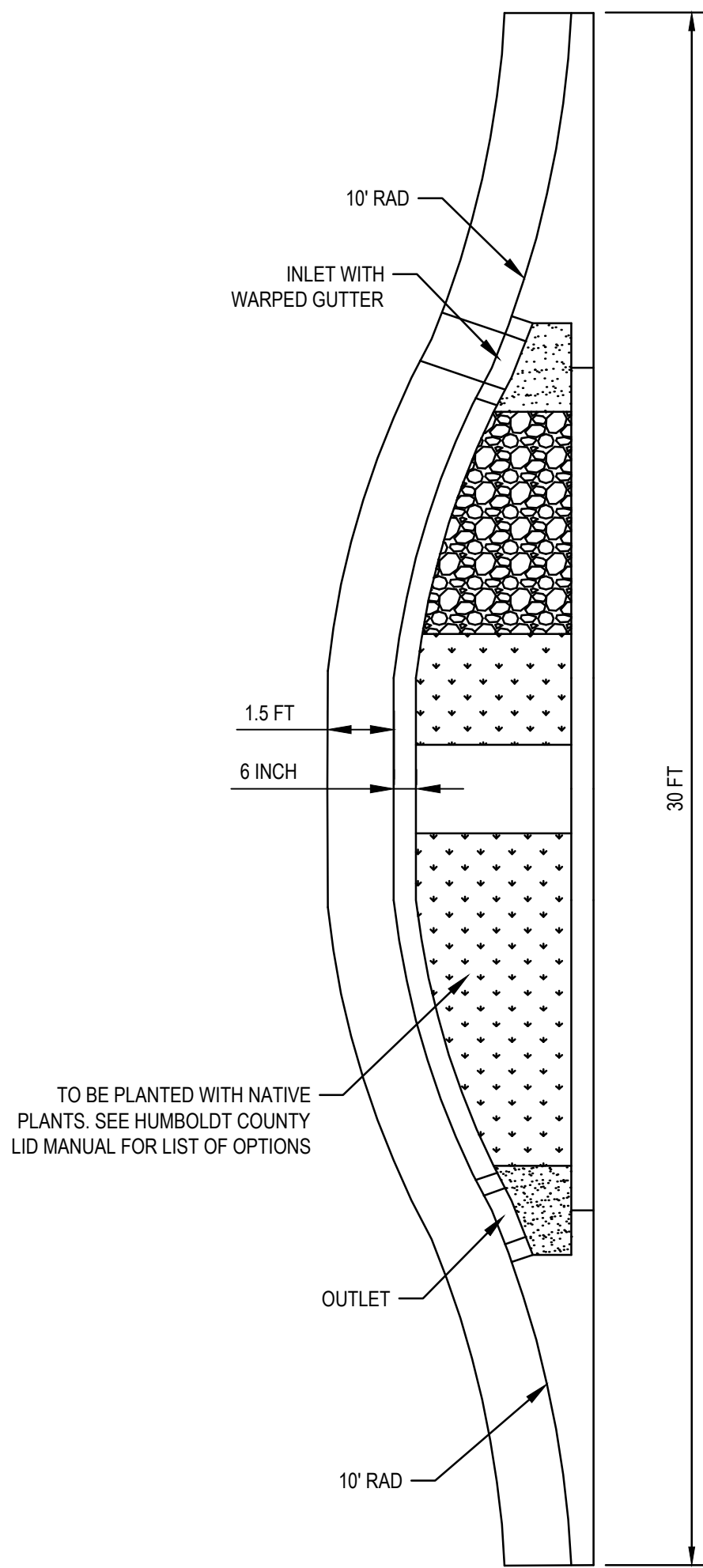
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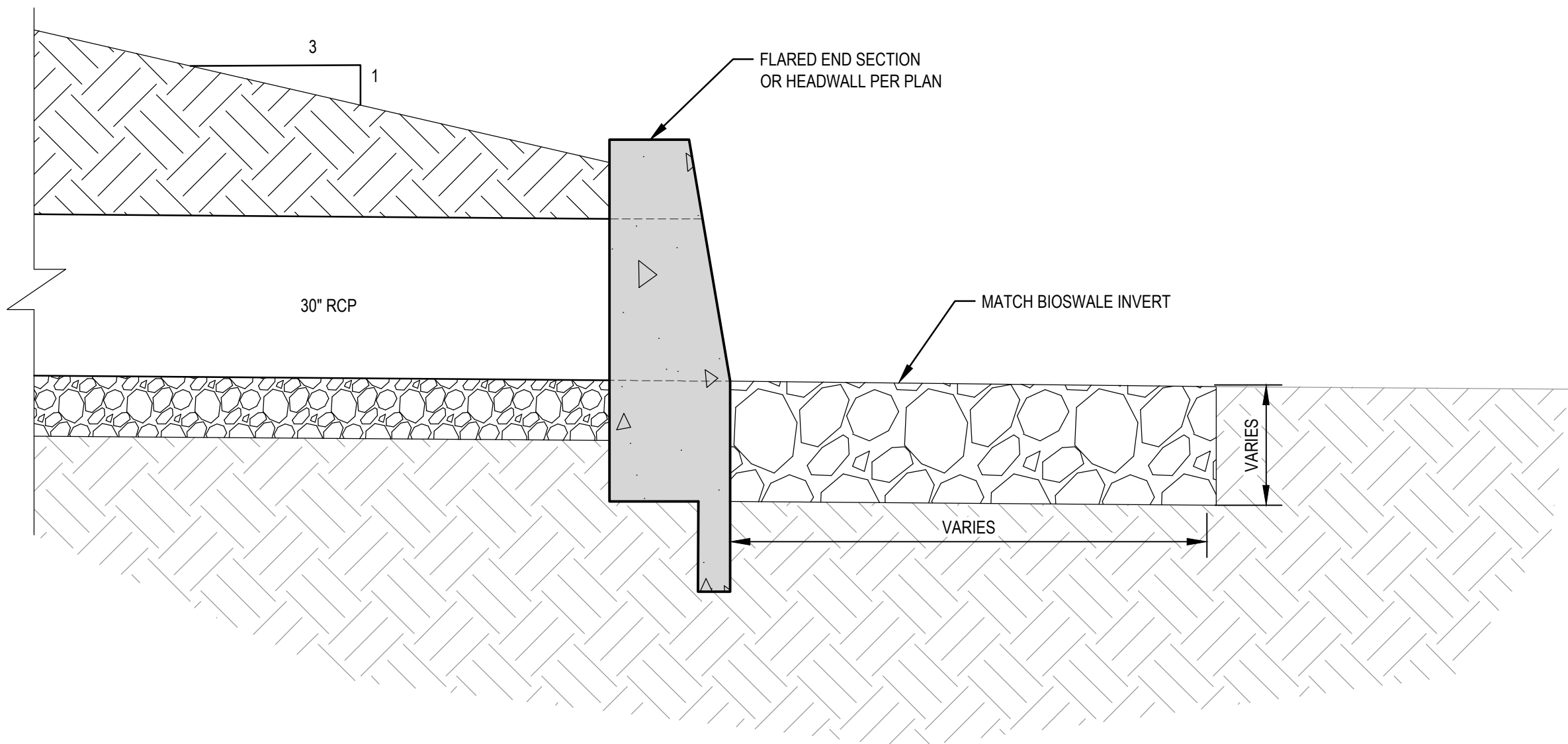
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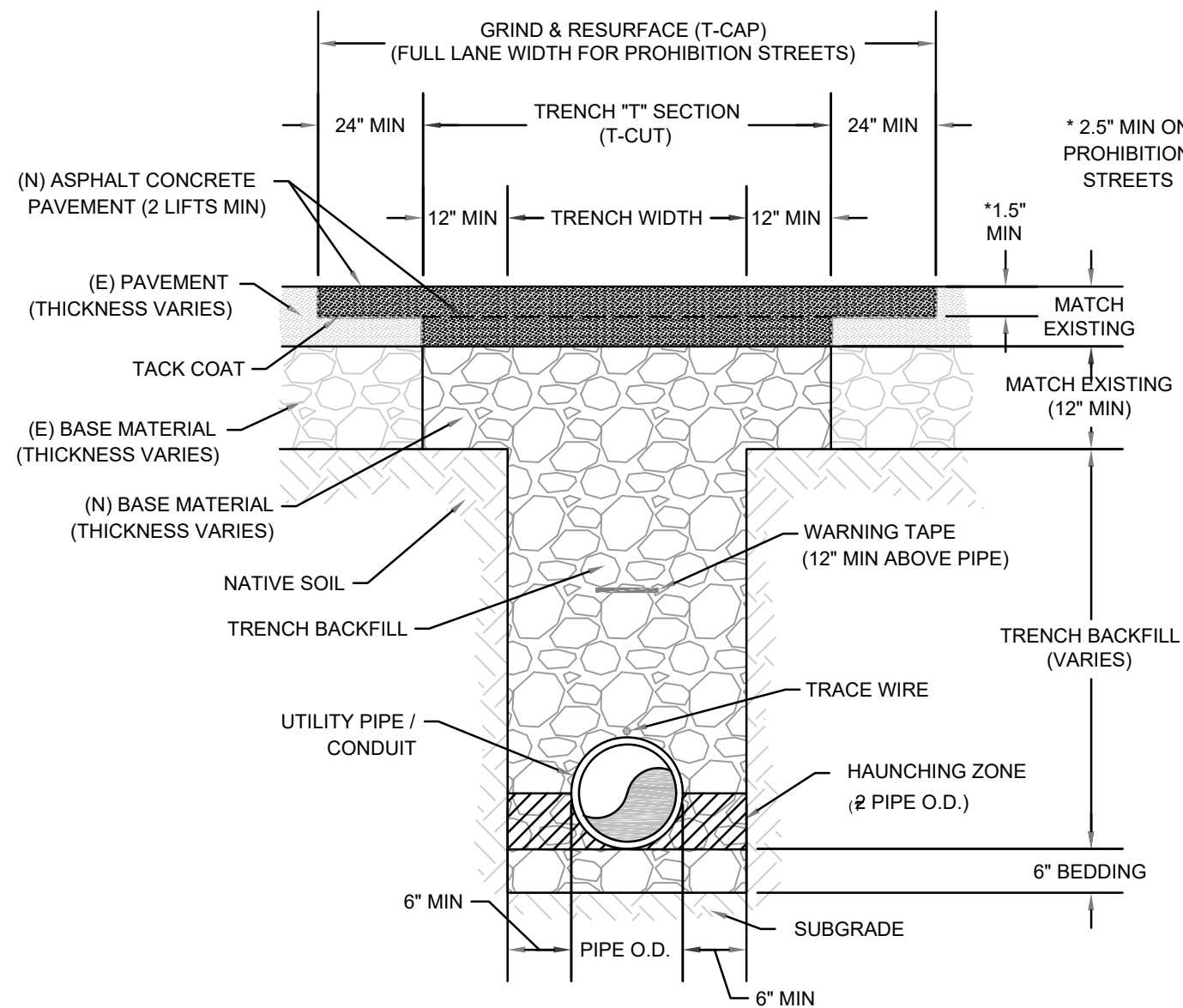
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4 VEGETATED STORMWATER CURB EXTENTION  
NTS



5 RIPRAP DETAIL  
NTS



6 TYPICAL TRENCH  
NTS

PRELIMINARY

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Designer	TAYLOR ALLEN	Design Check	BRETT VIVYAN	Project Director	JEREMY SVEHLA



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Project WATER QUALITY AND DRAINAGE IMPROVEMENTS PROJECT

Title TYPICAL SECTIONS AND DETAILS

Project No. 12561178  
Date 2024-09-12  
Scale AS SHOWN

Sheet No. C-301  
Sheet 12 of 13



