



COUNTY OF HUMBOLDT
PLANNING AND BUILDING DEPARTMENT
CURRENT PLANNING DIVISION

3015 H Street, Eureka CA 95501
Phone: (707)445-7541 Fax: (707) 268-3792

Hearing Date: October 7, 2021

To: Humboldt County Zoning Administrator

From: Kathleen Franklin, Contract Planner

Subject: **Coccia Coastal Development Permit and Special Permit**
Record Number PLN-2021-17343
Assessor's Parcel Numbers 111-022-033
606 Redwood Road, Shelter Cove area

	Page
Table of Contents	
Agenda Item Transmittal	2
Recommended Action and Executive Summary	3
Draft Resolution	4
Maps	
Location Map	8
Attachments	
Attachment 1: Recommended Conditions of Approval	9
Attachment 2: Applicant's Evidence in Support of the Required Findings	11
A. Site Plan	12
B. Construction Plans	13
C. Colored Elevations	15
Attachment 3: Referral Agency Comments and Recommendations	16

Please contact Kathleen Franklin, Contract Planner, at 916-642-5505 or by email at kathleen@landlogistics.com if you have any questions about the scheduled public hearing item.

AGENDA ITEM TRANSMITTAL

Hearing Date October 7, 2021	Subject Coccia Coastal Development Permit and Special Permit	Contact Kathleen Franklin, Contract Planner
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Project Description: A Coastal Development Permit and Special Permit for the development of a single-family, 2-story, 1-bedroom residence totaling 857 square feet. The proposed structure will be approximately 25 feet in height, and includes a 257 square foot deck. The project will utilize an existing concrete foundation. No trees are proposed to be removed and the project is expected to involve minimal grading (< 50 cubic yards). Water and sewer services will be provided by the Resort Improvement District. A Special Permit is required for Design Review within the Shelter Cove area.

Project Location: The project is located in Humboldt County, in the Shelter Cove area, on the South side of Redwood Drive, approximately 440 feet from the intersection of Hickory Road and Redwood Road, on the property known as 606 Redwood Road.

Present Plan Land Use Designation: Residential/Low Density (RL). South Coast Area Plan, 2017 General Plan. Density: 1 to 7 units per acre, Slope Stability: High Instability (3).

Present Zoning: Residential Single Family (RS-5) - Development Standards Combined with a Prohibition Against Further Subdivision (S1) - Qualified (Q) / Alquist-Priolo.

Assessor Parcel Numbers: 111-022-033

Record Number: PLN-2021-17343

Applicant	Owners	Agent
Daniel Coccia 7777 Healdsburg Ave, Apt 5 Sebastopol, CA 95472	Coccia Daniel M & Kristina M 125 Vista Branciforte Santa Cruz State, CA 95065	A. M. Baird Engineering 1257 Main Street Fortuna, CA 95540

Environmental Review: Categorically Exempt per CEQA Guidelines Section 15303 (a) - New Construction or Conversion of Small Structures.

Major Issues: None.

State Appeal Status: Project is appealable to the California Coastal Commission.

Coccia Coastal Development Permit and Special Permit
Record Number: PLN-2021-17343
Assessor's Parcel Number: 111-022-033

Recommended Action

1. Describe the application as part of the Consent Agenda;
2. Survey the audience for any person who would like to discuss the application;
3. If no one requests discussion, make the following motion to approve the application as part of the consent agenda:

Find that the Zoning Administrator has found the project categorically exempt under Section 15303 (a) of the State CEQA Guidelines; make the required findings for approval of the Coastal Development Permit and Special Permit; and approve the Coccia Coastal Development Permit and Special Permit as recommended by staff and subject to the recommended findings and conditions of approval.

Executive Summary: The applicant is requesting a Coastal Development Permit and Special Permit to allow for development of a single-family, 2-story, 1-bedroom residence totaling 857 square feet. The proposed structure will be approximately 25 feet in height, and includes a 257 square foot deck. The project will utilize an existing concrete foundation. No trees are proposed to be removed and the project is expected to involve minimal grading (< 50 cubic yards). Water and Sewer services will be provided by the Resort Improvement District. A Special Permit is required for Design Review within the Shelter Cove area.

The project meets all requirements of the Development Code:

DEVELOPMENT STANDARDS		
	Development Code	Project
Minimum Lot Size	5,000 sf	24,829 sf
Minimum Lot Width	50 feet	250 feet
Setbacks	Front – 20 feet Interior Side – 5 Feet	Front – 48 feet +/- Interior Side – 5'-2"
Max Ground Coverage	35%	3%
Max Height	35 feet	25 feet

Alternative: The Zoning Administrator could recommend denial of the proposed Coastal Development Permit and Special Permit if the Administrator finds that the submitted evidence does not support making all of the required findings. However, based on this staff report, planning staff believes the submitted evidence does support making all of the required findings and does not recommend further consideration of this alternative.

**RESOLUTION OF THE ZONING ADMINISTRATOR
OF THE COUNTY OF HUMBOLDT
Resolution Number 21-
Record Number PLN-2021-17343
Assessor Parcel Numbers: 111-022-033**

Resolution by the Zoning Administrator of the County of Humboldt certifying compliance with the California Environmental Quality Act and conditionally approving the Coccia Coastal Development Permit and Special Permit.

WHEREAS, Daniel Coccia submitted an application and evidence in support of approving a Coastal Development Permit and Special Permit to allow for the development of a single-family, 2-story, 1-bedroom residence totaling 857 square feet. The proposed structure will be approximately 25 feet in height, and includes a 257 square foot deck; and

WHEREAS, the County Planning Division has determined the project is categorically exempt per CEQA Guidelines Section 15303 (a) - New Construction or Conversion of Small Structures; and

WHEREAS, the County Planning Division has reviewed the submitted application and evidence and has referred the application and evidence to involved reviewing agencies for site inspections, comments, and recommendations; and

WHEREAS, the Humboldt County Zoning Administrator held a duly noticed public hearing on **October 7, 2021**; reviewed, considered, and discussed the application for a Coastal Development Permit and Special Permit; and reviewed and considered all evidence and testimony presented at the hearing.

Now, THEREFORE BE IT RESOLVED, that the Zoning Administrator makes all the following findings:

- 1. FINDING:** **Project Description:** The applicant is requesting a Coastal Development Permit and Special Permit to allow for development of a single-family, 2-story, 1-bedroom residence totaling 857 square feet. The proposed structure will be approximately 25 feet in height, and includes a 257 square foot deck. The project will utilize an existing concrete foundation. No trees are proposed to be removed and the project is expected to involve minimal grading (< 50 cubic yards). Water and Sewer services will be provided by the Resort Improvement District. A Special Permit is required for Design Review within the Shelter Cove area.

EVIDENCE: a) Project File: PLN-2021-17343

- 2. FINDING:** **CEQA:** The project is categorically exempt per CEQA Guidelines Section 15303 (a) - New Construction or Conversion of Small Structures.

EVIDENCE: a) The project involves the construction of a single-family, 2-story, 1-bedroom residence totaling 857 square feet on an established lot in compliance with the General Plan land use and zoning designation of Commercial General. No significant environmental impacts were identified.

FINDINGS FOR COASTAL DEVELOPMENT PERMIT AND SPECIAL PERMIT

3. FINDING: The proposed development is in conformance with the County General Plan, including the Shelter Cove and South Coast Community Plans.

- EVIDENCE:**
- a) The General Plan designation is Residential Low Density (RL). The RL designation is used for areas suitable for residential use where urban services are available or are anticipated to be available. Single family units on individual lots are the dominant use, but the designation can accommodate a mix of housing types including townhouses and common-wall clustered units. The Shelter Cove and South Coast Community Plans also designate the parcels as Residential Low Density. The project proposes a single-family, 2-story, 1 bedroom residence. The water and sewer service will be provided through the Resort Improvement District.
 - b) The project complies with the County's Housing Element as the parcel was designated Residential Low Density in the 2017 General Plan and was considered for residential development in the County Housing Inventory.
 - c) No known biological resources have been identified on the project site.

4. FINDING: The proposed development is consistent with the purposes of the existing zone in which the site is located and the proposed development conforms to all applicable standards and requirements of these regulations.

- EVIDENCE:**
- a) The project is located on land zoned Residential Single-Family (RS-5), Qualified (Q), Alquist-Priolo Fault Hazzard (G), and Design Review (D).
 - b) The project complies with all development standards of the zone including lot size, setbacks and building height.
 - c) The property is within the Design Review (D) combining zone. Special Building Structural Design Standards for Shelter Cove include the requirement for a minimum building width dimension of 20 feet, a minimum 12-inch roof overhang, foundations designed for Seismic Zone IV, and no use of unfinished or galvanized siding or roofing materials. The proposed building is an 857 square foot, 2-story, residence. The proposed materials consist of Hardie Shingle and Plank siding painted black, black standing seam metal roofing, and brown stained trim. Conditions of Approval placed on the project ensure compliance with the design review requirements for Shelter Cove. A Neighborhood Design Survey was completed and the proposed residence is compatible with the design of other buildings in the surrounding area.
 - d) The project is subject to the regulations of a (Q) zone as amended by Humboldt County Ordinance 1914. The purpose of Q Zone restrictions and regulations is to:
 - 1) Protect neighboring property from inappropriate recreational or residential development; and
 - 2) Protect the existing water system and public roads from becoming over-burdened by the development of secondary

dwelling units on existing lots in a subdivision that was originally planned for development of no more than one dwelling unit per lot. The project proposes a single-family, 2 story- 1, bedroom residence and therefore is in compliance with the Q zoning designation.

- e) The project site is within the Archeological Resource Area for Shelter Cove (A). The project was referred to the Bear River Band. Comment was received that there are several recorded archeological sites in the Shelter Cove area. The Band asked that the Inadvertent Archaeological Discovery Protocol be placed as a condition of approval on the project.

5. FINDING: The proposed development and conditions under which it may be operated or maintained will not be detrimental to the public health, safety, or welfare; or materially injurious to property or improvements in the vicinity.

EVIDENCE: a) The project site has a Relative Slope Stability of “high instability” and is located in an area with the probability for “high shaking” from earthquakes. The project is required to have foundations designed for Seismic Zone IV, as well as meet all applicable California Building Code requirements. The parcel is not located within a 100-year floodplain. The project will not be detrimental to the public health, safety, or welfare; or materially injurious to property or improvements in the vicinity.

6. FINDING: The proposed development does not reduce the residential density for any parcel below that utilized by the Department of Housing and Community Development in determining compliance with housing element law.

EVIDENCE: a) The project site was designated as Residential Low Density in the adopted 2017 Humboldt County General Plan. The construction of a single-family residence was anticipated at the time of General Plan adoption.

DECISION

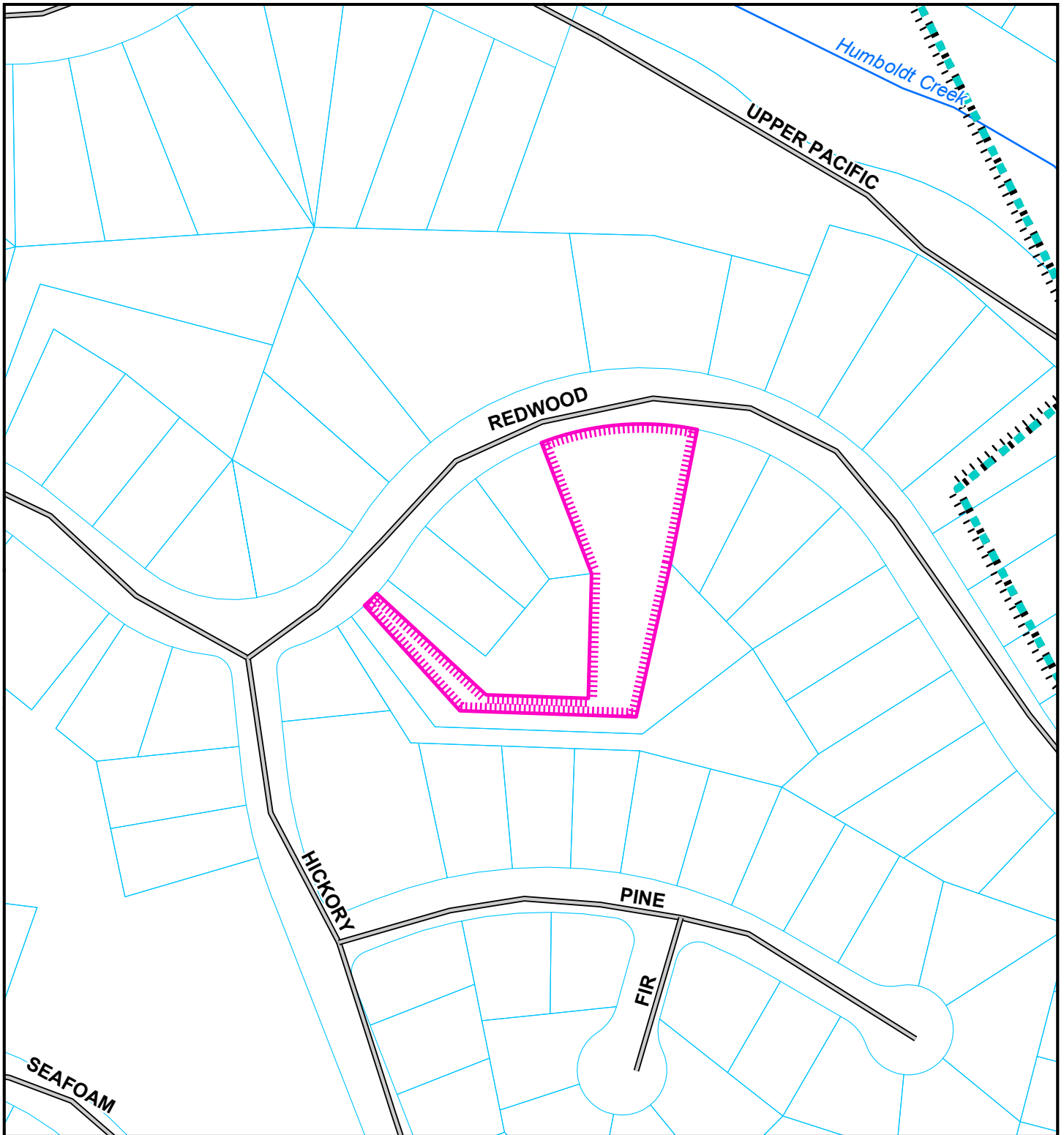
NOW, THEREFORE, based on the above findings and evidence, the Humboldt County Zoning Administrator does hereby:

- Adopt the findings set forth in this resolution; and
- Conditionally approves the Coccia Coastal Development Permit and Special Permit upon the Findings and Evidence and subject to the conditions of approval attached hereto as Attachment 1 and incorporated herein by reference; and

Adopted after review and consideration of all the evidence on **October 7, 2021**.

I, John H. Ford, Zoning Administrator of the County of Humboldt, do hereby certify the foregoing to be a true and correct record of the action taken on the above-entitled matter by said Zoning Administrator at a meeting held on the date noted above.

John H. Ford, Zoning Administrator
Planning and Building Department



LOCATION MAP

**PROPOSED DANIEL COCCIA
COASTAL DEVELOPMENT PERMIT, DESIGN REVIEW
SHELTER COVE AREA**

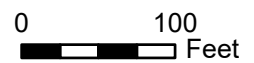
**PLN-2021-17343
APN: 111-022-033**

T05S R01E S09 HB&M (Shelter Cove)

Project Area = 

Coastal Zone Boundary 

This map is intended for display purposes and should not be used for precise measurement or navigation. Data has not been completely checked for accuracy.



ATTACHMENT 1

RECOMMENDED CONDITIONS OF APPROVAL

Conditions of Approval for the Coastal Development Permit and Special Permit

APPROVAL OF THE PERMITS IS CONDITIONED ON THE FOLLOWING TERMS AND REQUIREMENTS

Conditions of Approval:

1. The work shall be conducted in accordance with the Project Description and Construction Documents submitted on July 1, 2021.
2. Changes in the project other than Minor Deviations from the Site Plan as provided in HCC Section 312-11.1 shall require a modification of this permit.
3. Applicant shall obtain a Building Permit that includes an engineered grading, erosion and sediment control plan.
4. The applicant is required to pay for permit processing on a time and material basis as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of Supervisors. The Department will provide a bill to the applicant after the decision. Any and all outstanding Planning fees to cover the processing of the application to decision by the Hearing Officer shall be paid to the Humboldt County Planning Division, 3015 "H" Street, Eureka.
5. **Within five (5) days of the effective date of the approval of this permit**, the applicant shall submit a check to the Planning Division payable to the Humboldt County Recorder in the amount of \$50.00.
6. The project shall comply with Shelter Cove design review standards 19.1.8.1.2 through 19.1.8.4 of the Humboldt County Zoning Code.
7. Exterior lighting shall be compatible with the surrounding setting and will not be directed beyond the boundaries of the parcel.
8. Screen or soften the visual impact of new development through the use of vegetative plantings. If appropriate, species common to the area should be used. Known fire resistive plants should be considered where appropriate.
9. Where feasible, new utilities should be underground. When above-ground facilities are the only feasible alternative, they should be sited as unobtrusively as possible.

Informational Notes:

1. There are several recorded archeological sites in the Shelter Cove area. If buried archaeological or historical resources are encountered during construction activities, the contractor on-site shall call all work in the immediate area to halt temporarily, and a qualified archaeologist is to be contacted to evaluate the materials. Prehistoric materials may include obsidian or chert flakes, tools, locally darkened midden soils, groundstone artifacts, dietary bone, and human burials. If human burial is found during construction, state law requires that the County Coroner be contacted immediately. If the remains are found to be those of a Native American, the California Native American Heritage Commission will then be contacted

by the County Coroner to determine appropriate treatment of the remains. The applicant is ultimately responsible for ensuring compliance with this condition.

2. The applicant is responsible for receiving all necessary permits and/or approvals from other federal, state and local agencies.
3. The Coastal Development Permit and Special Permit shall expire and become null and void at the expiration of two (2) years after all appeal periods have lapsed (see "Effective Date"); except where use in reliance on the permit has commenced prior to such anniversary date. The period within which use must be commenced may be extended as provided by Section 312-11.3 of the Humboldt County Code.

ATTACHMENT 2

Applicant's Evidence in Support of the Required Findings

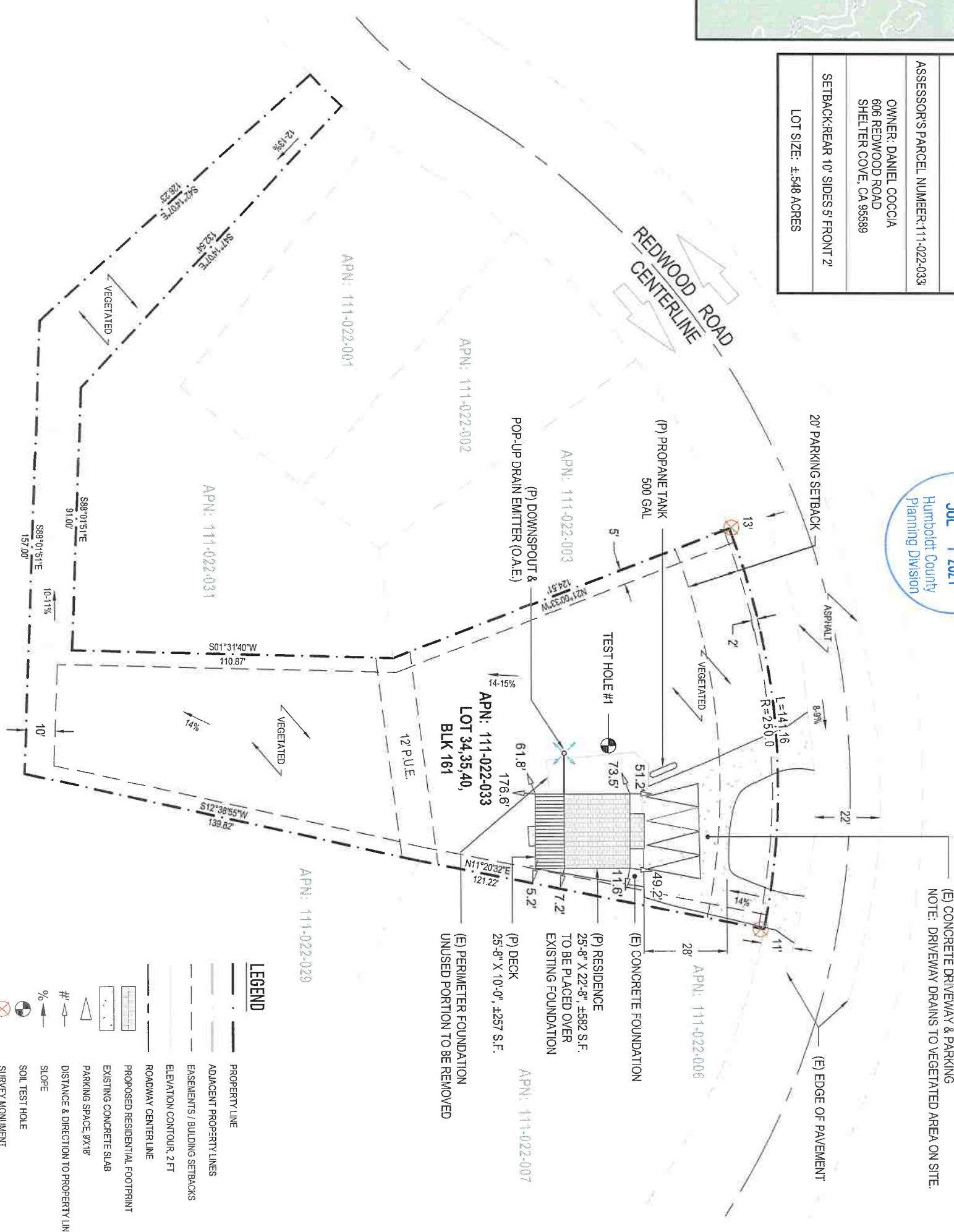
Attachment 2 includes a listing of all written evidence which has been submitted by the applicant in support of making the required findings. The following materials are on file with the Planning Division:

- Application Form (in file)
- Site Plan (attached)
- Construction Plans (attached)
- Colored Elevations (attached)
- Current Deed (in file)
- Erosion and Sediment Control Plan (in file)
- Neighborhood Survey (in file)
- Stormwater Information Plan (in file)



VICINITY MAP
SCALE: NTS

LEGAL	
ADDRESS: 606 REDWOOD ROAD SHELTER COVE CA 95589	
OWNER: DANIEL COCCIA 606 REDWOOD ROAD SHELTER COVE, CA 95589	
ASSESSOR'S PARCEL NUMBER: 111-022-033	
SETBACK: REAR 10' SIDES 5' FRONT 2'	
LOT SIZE: ±.548 ACRES	



(E) CONCRETE DRIVEWAY & PARKING
NOTE: DRIVEWAY DRAINS TO VEGETATED AREA ON SITE.

PROJECT DESCRIPTION

PROPOSED SINGLE FAMILY 1-BEDROOM RESIDENCE.

DIRECTIONS TO SITE

FROM: REDWAY, CA
 - HEAD NORTHWEST ON REDWOOD DR TOWARD BRICELAND RD, 305 FT
 - TURN LEFT AT THE 1ST CROSS STREET ONTO BRICELAND RD, 12.1 MI
 - SLIGHT RIGHT ONTO SHELTER COVE RD, 4.6 MI
 - TURN LEFT TO STAY ON SHELTER COVE RD, 3.9 MI
 - TURN RIGHT ONTO REDWOOD RD
 - DESTINATION WILL BE ON THE LEFT, 0.6 MI
 - DESTINATION: 648 REDWOOD ROAD, SHELTER COVE, CA 95589

NOTES

- MUNICIPAL WATER SUPPLY AND SANITARY SEWER.
- BUILDING SETBACK(S): REAR 10' SIDE 5' FRONT 2'.
- NO TREES TO BE REMOVED.
- EASEMENTS: 12' PUBLIC UTILITY EASEMENT (P.U.E).
- EXISTING FOUNDATION FROM PREVIOUS HOME.
- NO PROPOSED GARAGE.
- NO STREAM(S), SPRING(S) OR WETLAND(S) IN DEVELOPMENT AREA.
- <2,500 SQUARE FEET OF POST PROJECT IMPERVIOUS SURFACE AREA. WITH A POST PROJECT IMPERVIOUS SURFACE AREA OF LESS THAN 2,500 SQUARE FEET THE PROJECT QUALIFIES AS "EXEMPT" FROM LOW IMPACT DEVELOPMENTS MEASURES ASSOCIATED WITH THE GENERAL MS4 PERMIT ACCORDING TO STANDARDS OUTLINED IN CHAPTER 1, TABLE 1 OF THE HUMBOLDT LOW IMPACT DEVELOPMENT STORMWATER MANUAL, 2016.
- < 50.0 CUBIC YARDS TOTAL GRADING TO PREPARE BUILDING SITE.
- A MINIMUM OF 5 FEET OF SEPARATION IS RECOMMENDED BETWEEN FACE OF BUILDING AND POP-UP DRAIN EMITTERS (O.A.E.).

PLOT PLAN
SCALE: 1"=40'

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINES
- EASEMENTS / BUILDING SETBACKS
- ELEVATION CONTOUR, 2 FT
- ROADWAY CENTERLINE
- PROPOSED RESIDENTIAL FOOTPRINT
- EXISTING CONCRETE SLAB
- PARKING SPACE 9'X18'
- DISTANCE & DIRECTION TO PROPERTY LINE
- SLOPE
- SOIL TEST HOLE
- SURVEY MONUMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- O.A.E. OR APPROVED EQUAL
- (E) EXISTING
- (P) PROPOSED

NO.	DATE	DESCRIPTION
REVISIONS		

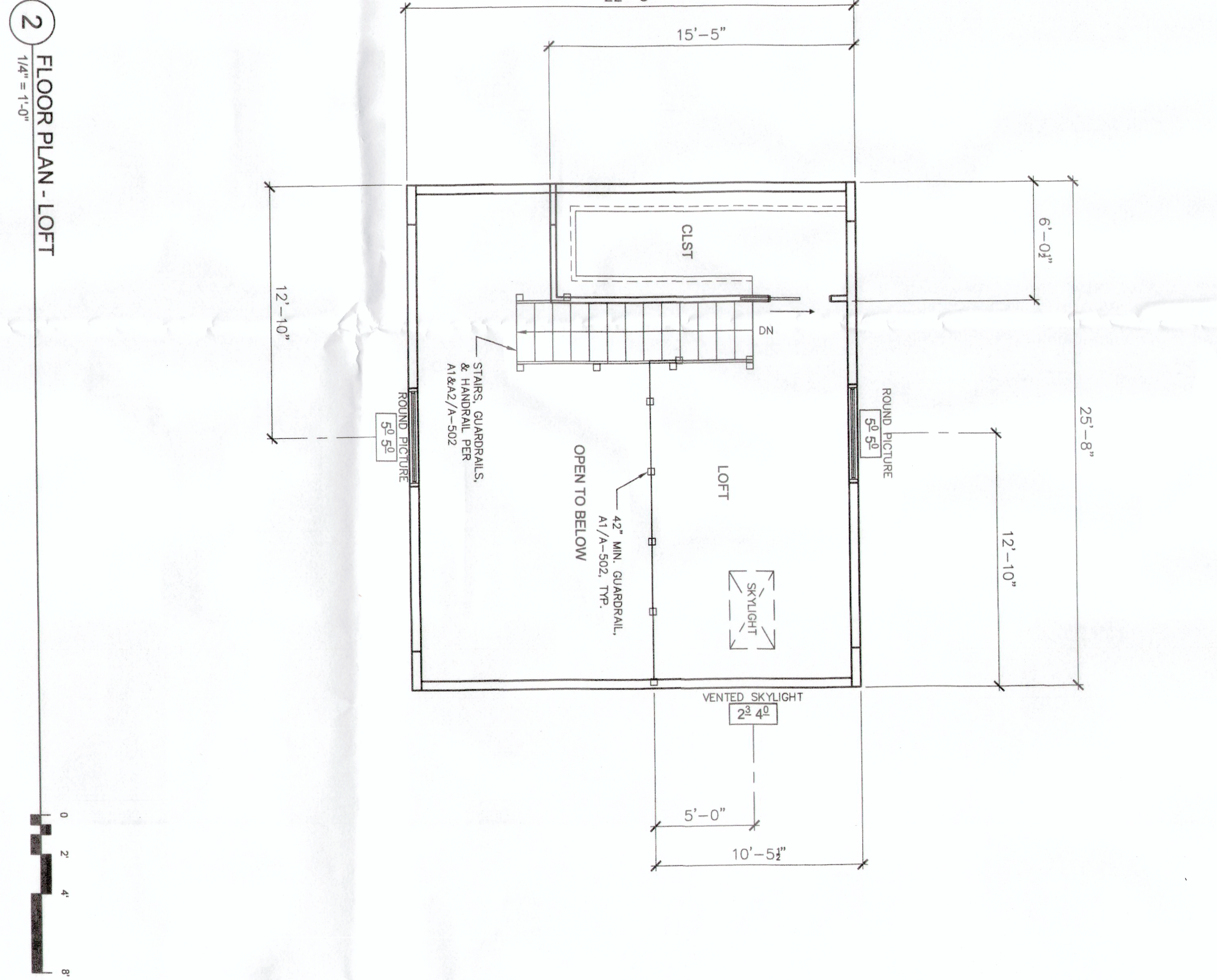
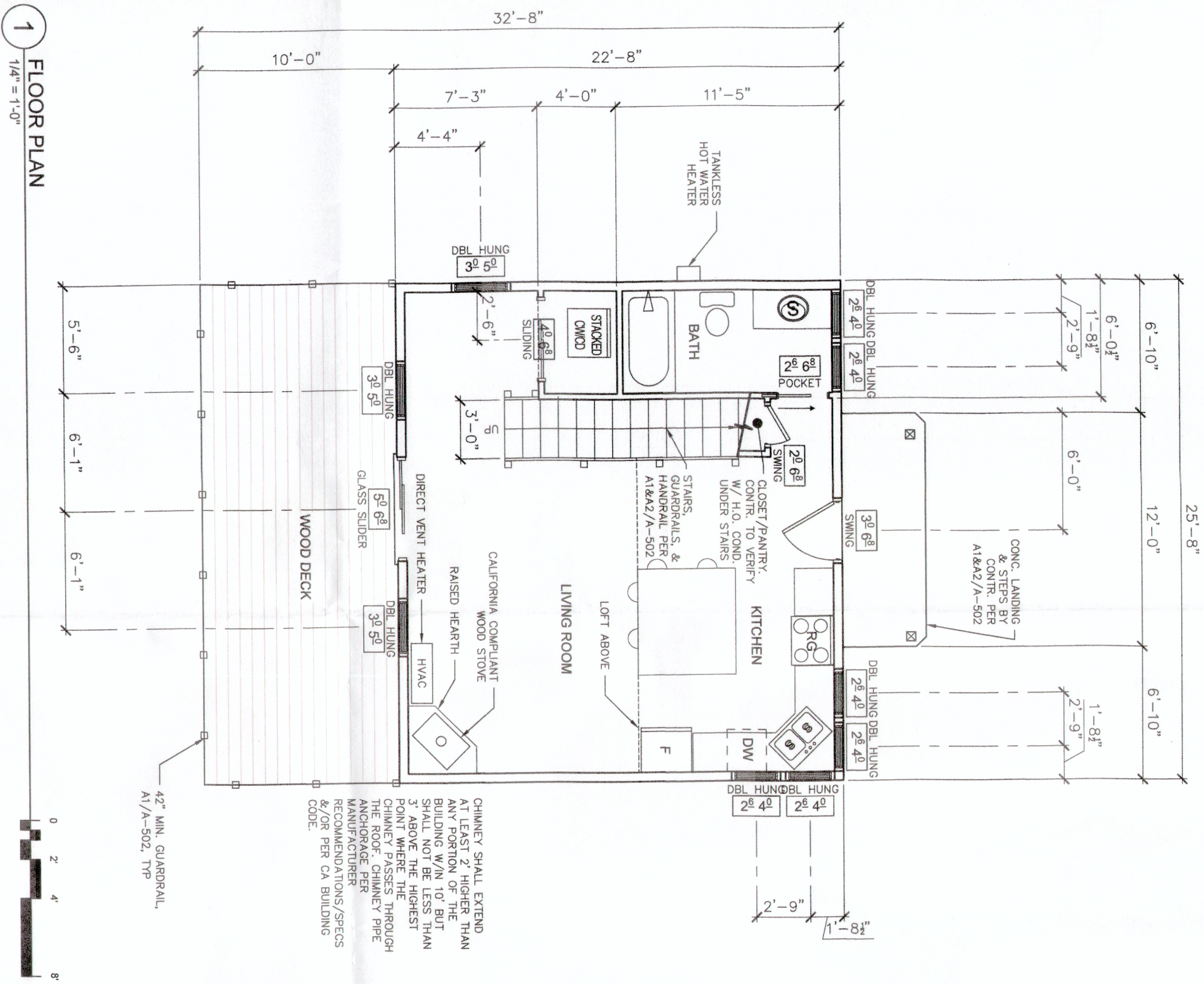
A.M. Baird
Engineering & Surveying, Inc.
1257 Main Street., P.O. Box 396,
Fortuna, CA 95540, (707) 725-5182

DANIEL COCCIA
APN: 111-022-033 (LOTS 34,35,40 BLK 161)
ADDRESS: 660 REDWOOD ROAD, SHELTER COVE, CA 95589

NEW RESIDENTIAL CONSTRUCTION

PLOT PLAN

JOB # 20-4952
SHEET # 1 OF 1



CONSTRUCTION NOTES

- CONTRACTOR SHALL VERIFY CONDITIONS AND DIMENSIONS ON SITE BEFORE STARTING WORK AND NOTIFY OWNERS OF ANY DISCREPANCIES OR INCONSISTENCIES FOUND. CONTRACTOR SHALL ALSO VERIFY BUILDING PLANS PRIOR TO CONSTRUCTION.
- WORK AND MATERIALS INCLUDED IN THIS PROJECT SHALL BE IN ACCORDANCE WITH LATEST REGULATIONS OF LEGALLY CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION AND WITH RULES OF UTILITY COMPANIES FURNISHING SERVICES. THE PLANS AND SPECIFICATIONS SHALL NOT BE CONSTRUED AS PERMITTED WORK NOT IN CONFORMANCE WITH REQUIREMENTS.
- MANUFACTURERS' SUGGESTED INSTALLATION METHODS AND SPECIFICATIONS SHALL BE FOLLOWED EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE. THE CONSTRUCTION AREA SHALL BE MAINTAINED IN A SAFE CONDITION FREE FROM THE ACCUMULATION OF DEBRIS AND SCRAP MATERIAL.
- THE DESIGN, ADEQUACY, AND THE SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, SCAFFOLDING, AND OTHER CONSTRUCTION METHODS, IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ROOF COVERINGS SHALL COMPLY WITH 2019 CBC REQUIREMENTS.
- ELECTRICAL, TELEPHONE AND CABLE TV SYSTEMS SHALL BE INSTALLED PER THE 2019 EDITION OF THE NEC, CBC, LOCAL UTILITY CO. INSTALLATION STANDARDS AND LOCAL ORDINANCES.
- PLUMBING SYSTEM SHALL BE INSTALLED PER THE 2019 EDITION OF THE UPC, CBC AND LOCAL ORDINANCES.

PLUMBING NOTES

- SHOWERS AND TUB SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE AND THERMOSTATIC TYPES THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION.
- APPROVED NON-REMOVABLE BACKFLOW PREVENTION DEVICES SHALL BE PROVIDED ON HOSE BIBS.

MECHANICAL NOTES

- BATHROOM FANS TO BE VENTED TO EXTERIOR, RATED FOR A MIN. 5 AIR EXCHANGES PER HOUR.
- ONE ELECTRIC AND/OR GAS METER SHALL BE PERMITTED FOR EACH PRIMARY USE ON LEGAL PARCELS.
- DRYER VENT MUST TERMINATE OUTSIDE OF BUILDING, MAX LENGTH 14' OR TO MANUFACTURER SPECS.
- FORGED AIR LIFT AND ON DEMAND WATER HEATER SHALL BE CA APPROVED, LISTED, LABELED AND INSTALLED IN ACCORDANCE WITH THE TERMS OF ITS LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- CONTROL'S FOR FACETS SHALL BE OPERABLE WITH ONE HAND AND DO NOT REQUIRE TIGHT GRASPING, FINCHING OR TWISTING OF THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS IS NO GREATER THAN 5 POUNDS MAXIMUM. HAND-OPERATED CONTROLS FOR FACETS SHALL BE LOCATED WITHIN ACCESSIBLE REACH RANGES.

APPLICABLE CODES

- 2019 CALIFORNIA BUILDING CODE,
- 2019 CALIFORNIA ELECTRICAL CODE,
- 2019 CALIFORNIA MECHANICAL CODE,
- 2019 CALIFORNIA PLUMBING CODE,
- 2019 CALIFORNIA FIRE CODE,
- 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS CODE
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

HOLD HARMLESS

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO VERIFY ALL CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND HOLD DESIGN PROFESSIONAL FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

BUILDING INFO.

TYPE OF CONSTRUCTION: VB
 OCCUPANCY: R2
 SPINNAKER: 25'-1"
 BUILDING AREA: 857 SF

1 FLOOR PLAN
1/4" = 1'-0"

2 FLOOR PLAN - LOFT
1/4" = 1'-0"

SHEET INDEX

- A-100 SITE PLAN
- A-101 FLOOR PLAN
- A-102 REFLECTED CEILING PLAN
- A-103 ROOF & ROOF FRAMING PLAN
- A-201 EXTERIOR ELEVATIONS
- A-101 FOUNDATION & FLOOR/CEILING PLAN
- A-502 STAIR & HANDRAIL DETAILS
- A-503 WOOD FRAMING DETAILS
- A-504 WHITCHURCH ENGINEERING FOUNDATION INSPECTION

COCCIA, DANIEL
APN# 111-022-033
606 REDWOOD RD. SHELTER COVE, CA

NEW RESIDENTIAL STRUCTURE

FLOOR PLAN

A.M. Baird
Engineering & Surveying

1045 Main St., P.O. Box 396, Fortuna, CA 95540
(707)725-5182

NO.	DATE	DESCRIPTION	BY
5			
4			
3			
2			
1			

SCALE: AS NOTED

DRAWN BY: M.P.A.

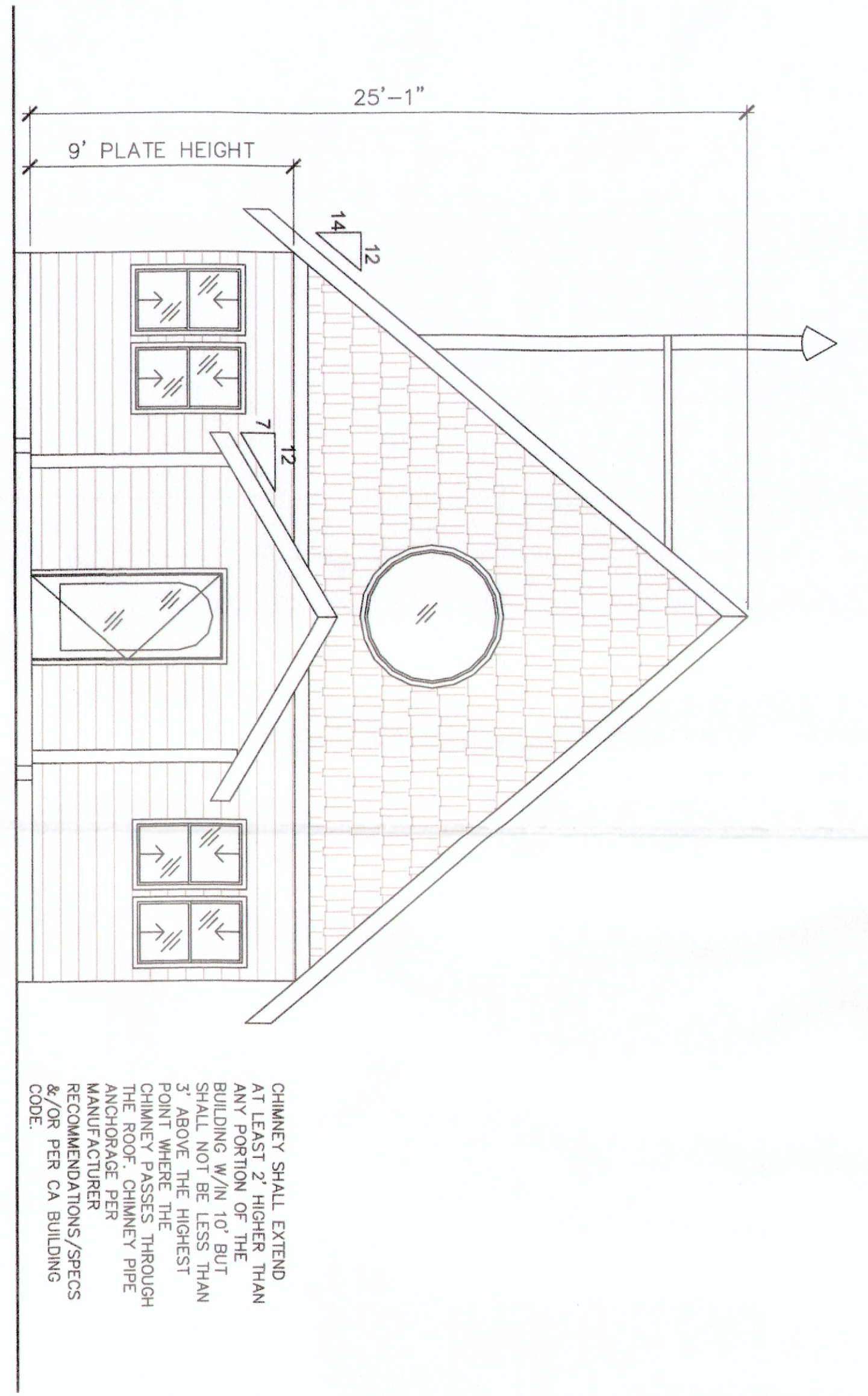
CHKD: A.M.B.

DATE: 3/19/21

RECEIVED
JUL 1 2021
Whitchurch Engineering

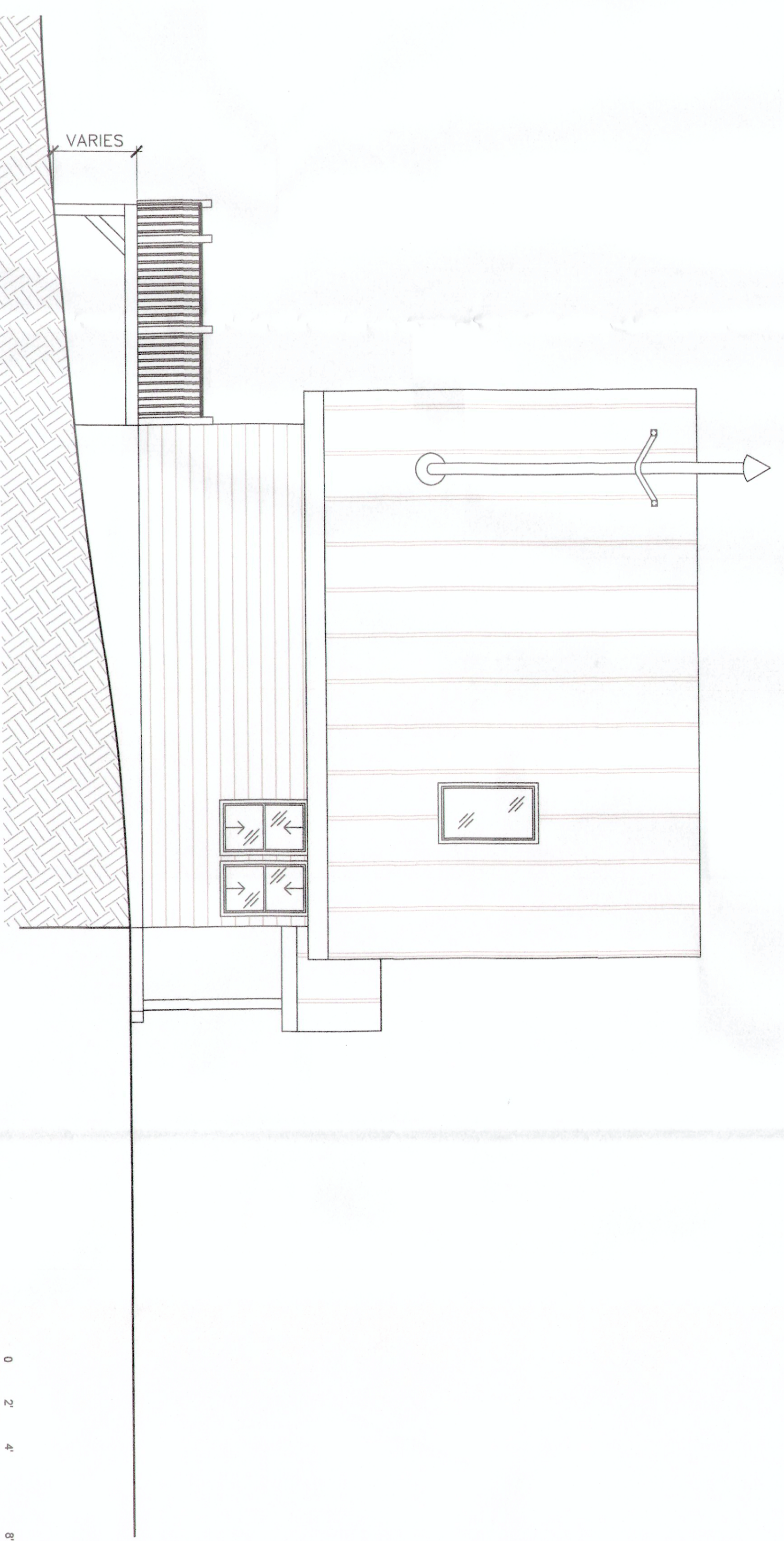
JOB NO. 20-4838

A-101

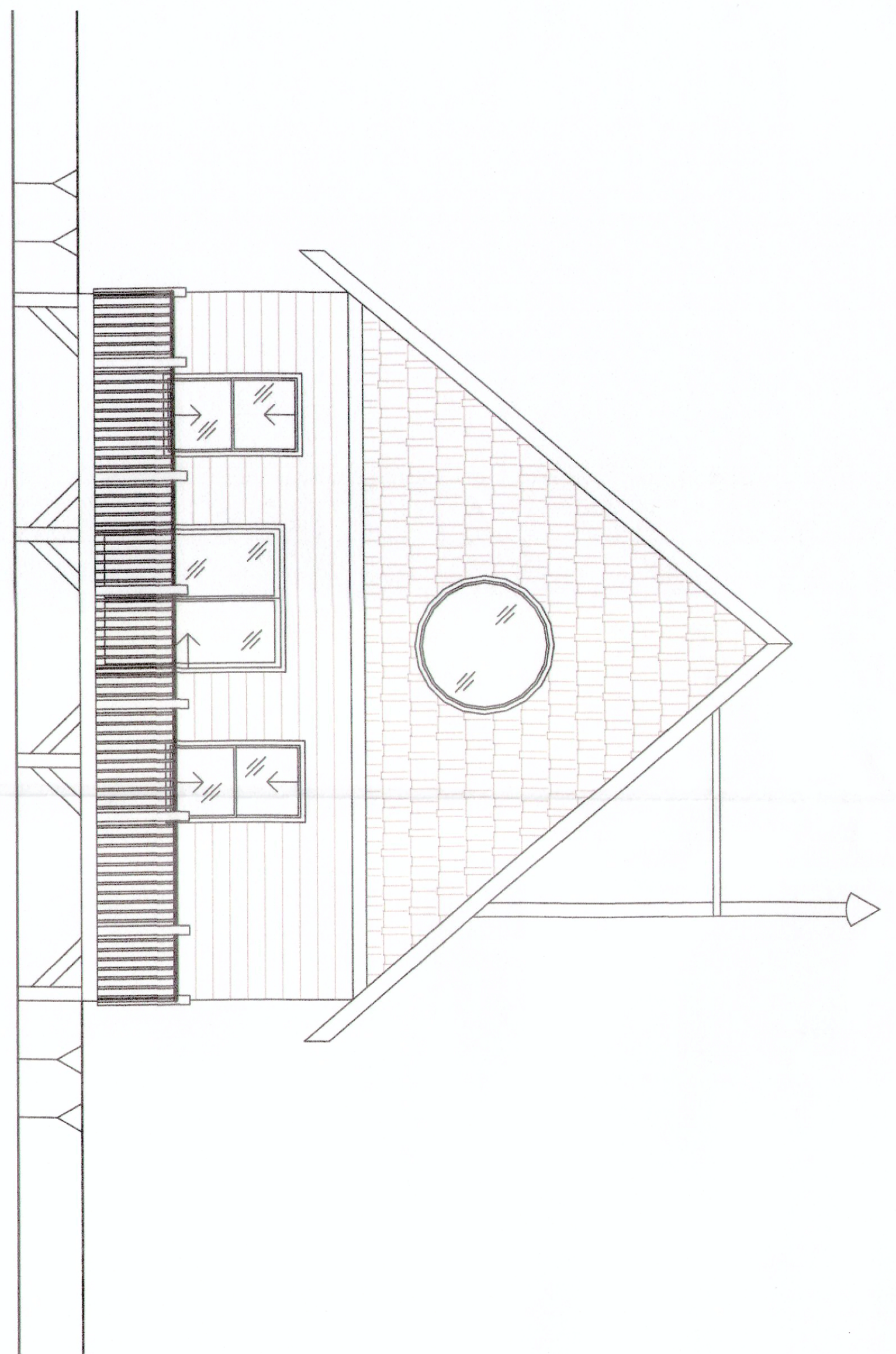


1 NORTH ELEVATION
1/4" = 1'-0"
SCALE: 1/4" = 1'-0"

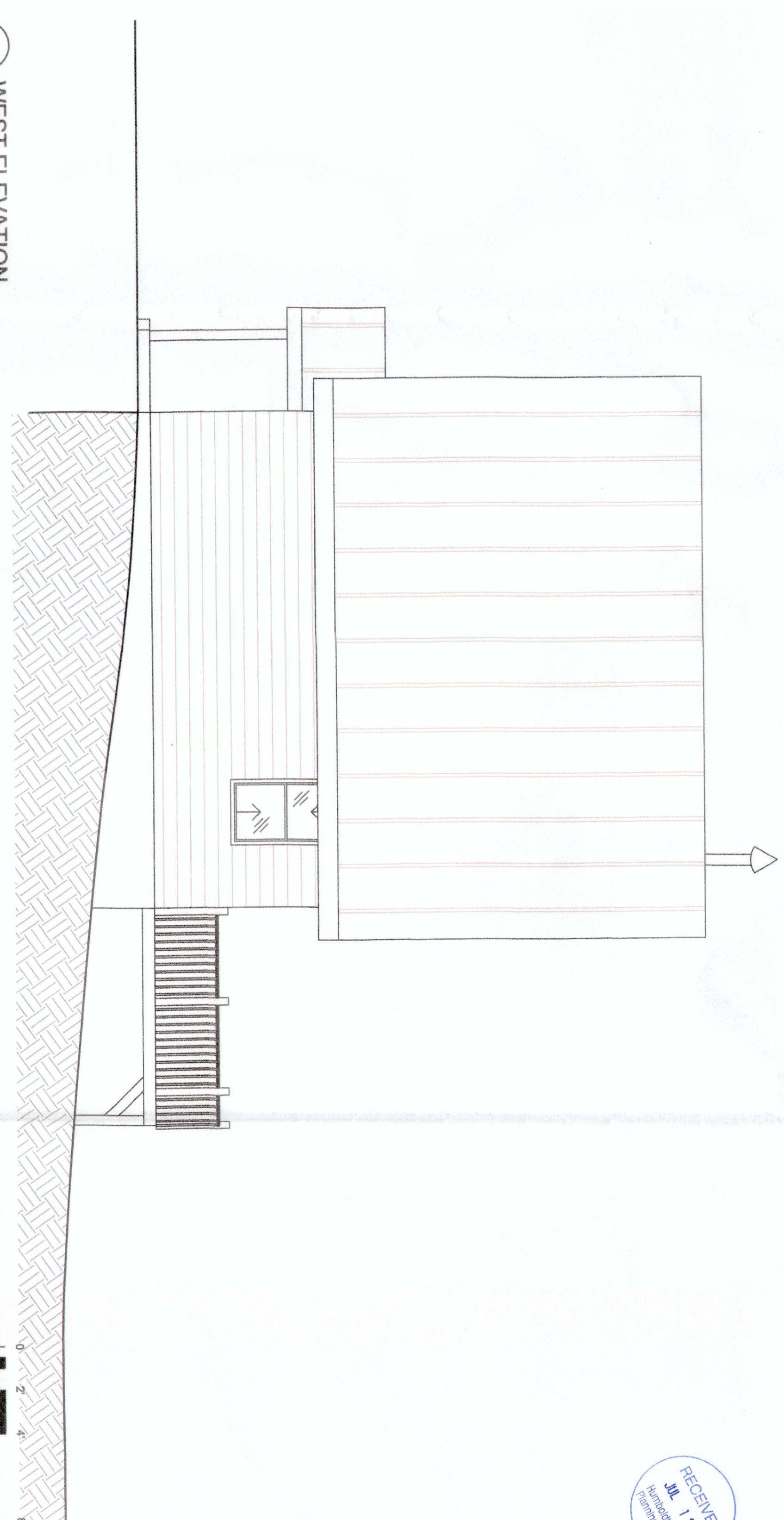
CHIMNEY SHALL EXTEND AT LEAST 2' HIGHER THAN ANY PORTION OF THE ROOF BUT SHALL NOT BE LESS THAN 3' ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF. CHIMNEY PIPE SHALL BE PER MANUFACTURER'S RECOMMENDATIONS/SPECS &/OR PER CA BUILDING CODE.



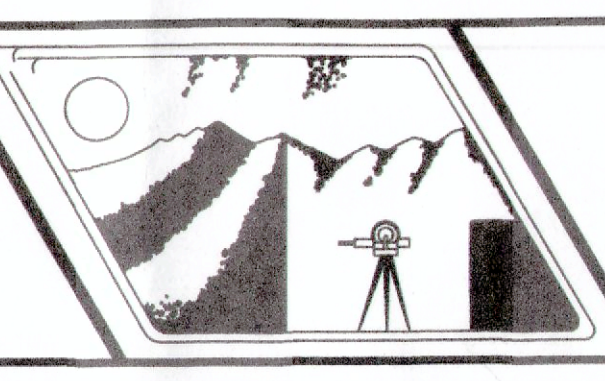
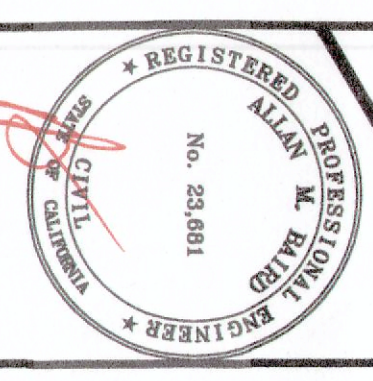
2 EAST ELEVATION
1/4" = 1'-0"
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
1/4" = 1'-0"
SCALE: 1/4" = 1'-0"



4 WEST ELEVATION
1/4" = 1'-0"
SCALE: 1/4" = 1'-0"



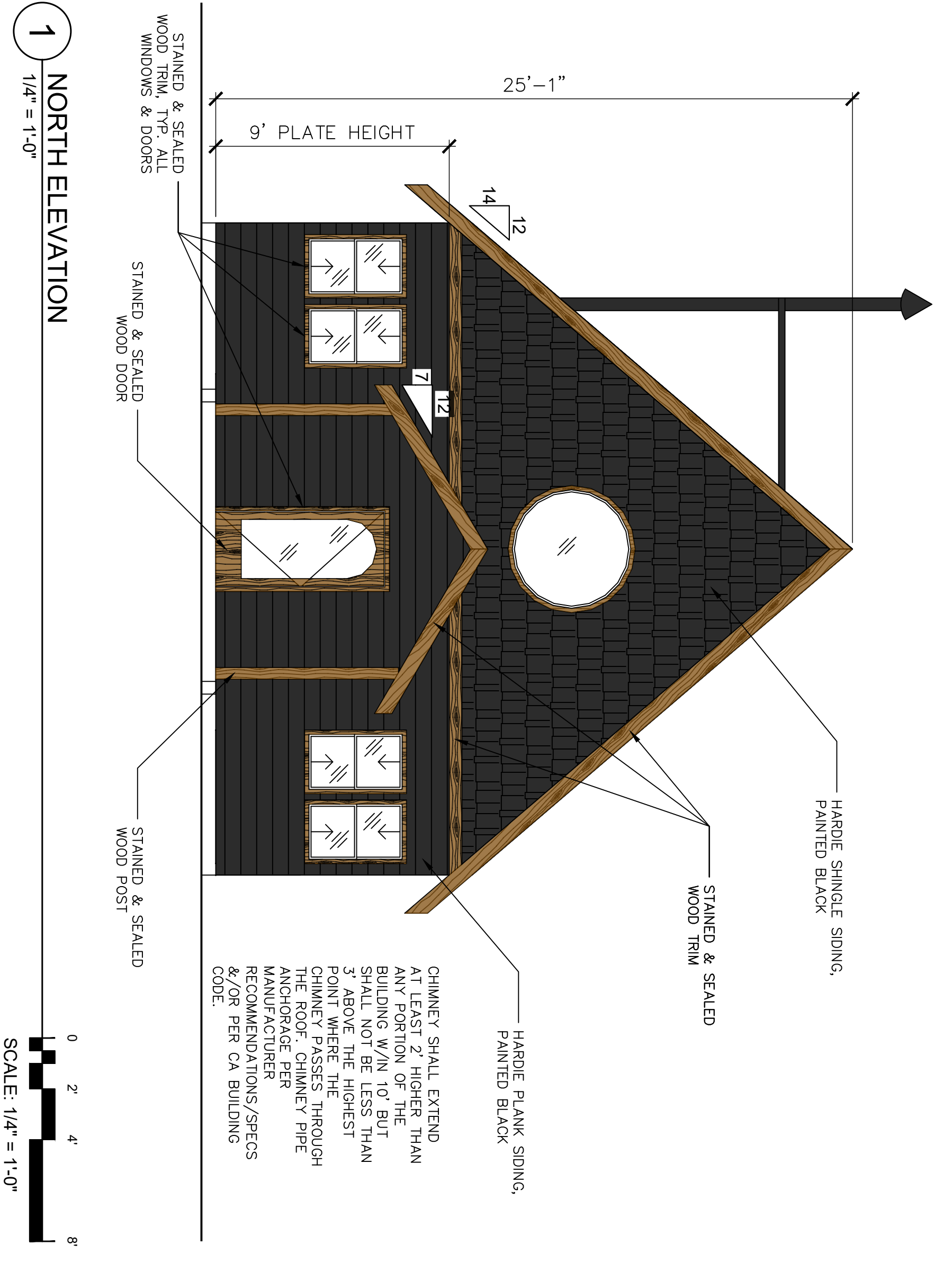
A.M. Baird
Engineering & Surveying
1045 Main St., P.O. Box 396, Fortuna, CA 95540
(707)725-5182

NO.	DATE	DESCRIPTION	BY
5			
4			
3			
2			
1			

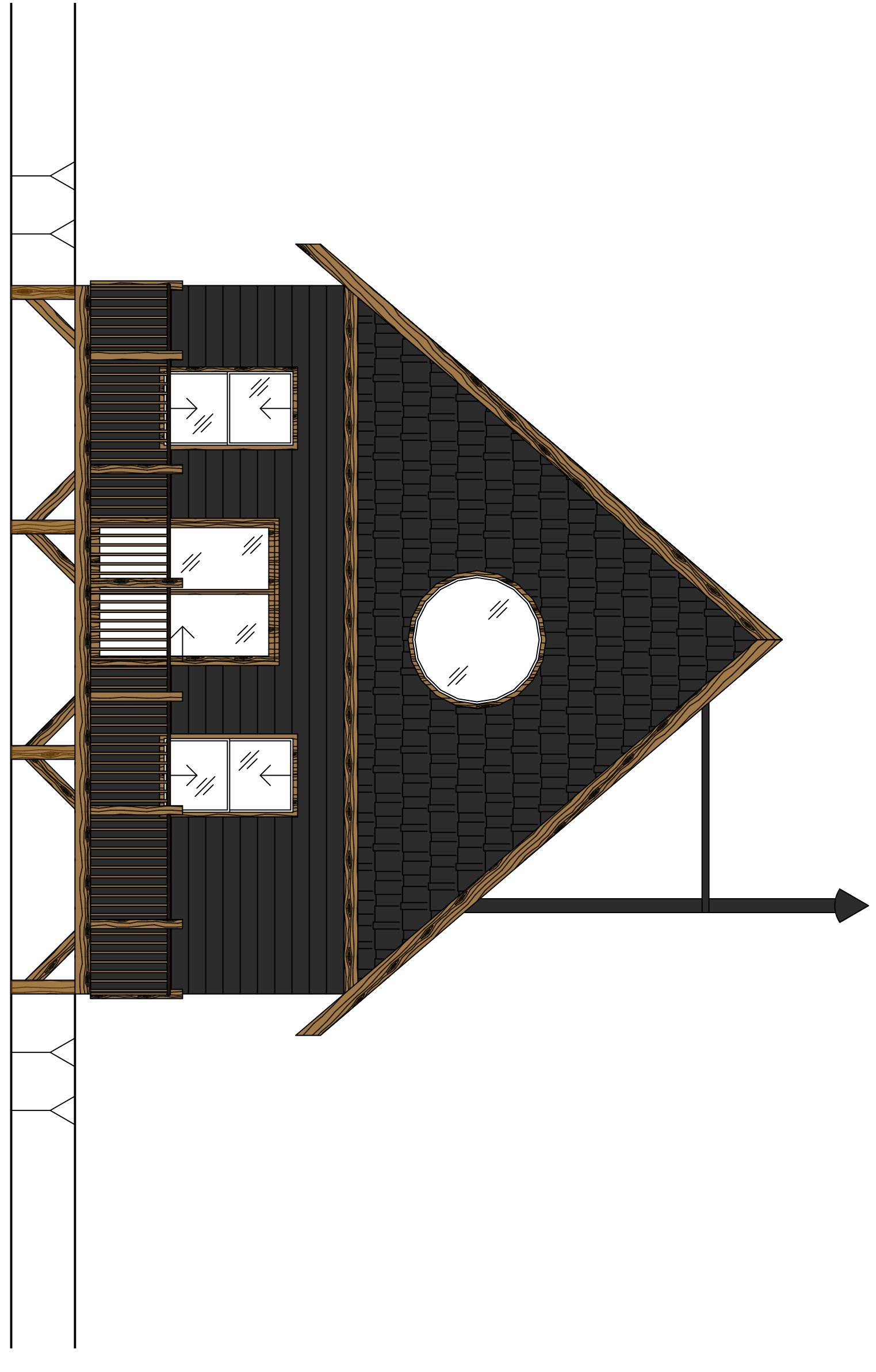
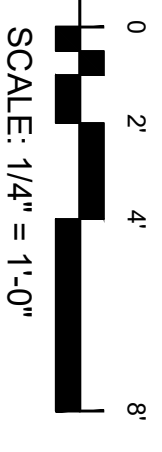
COCCIA, DANIEL
APN# 111-022-033
606 REDWOOD RD. SHELTER COVE, CA
NEW RESIDENTIAL STRUCTURE
EXTERIOR ELEVATIONS

SCALE: AS NOTED
DRAWN BY: M.P.A.
CHKD: A.M.B.
DATE: 3/19/21

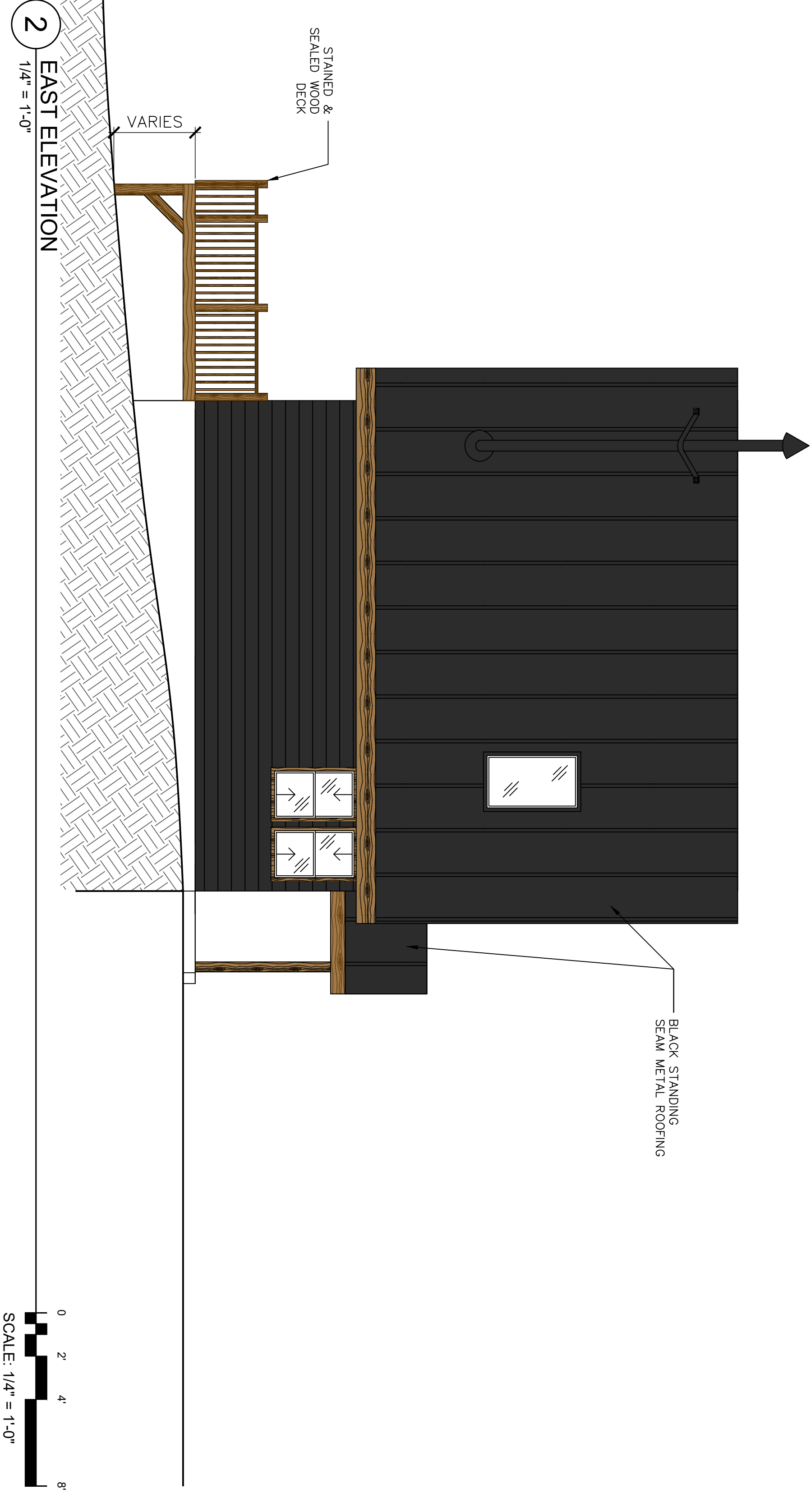
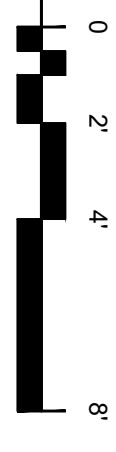
JOB NO. 20-4938
A-201



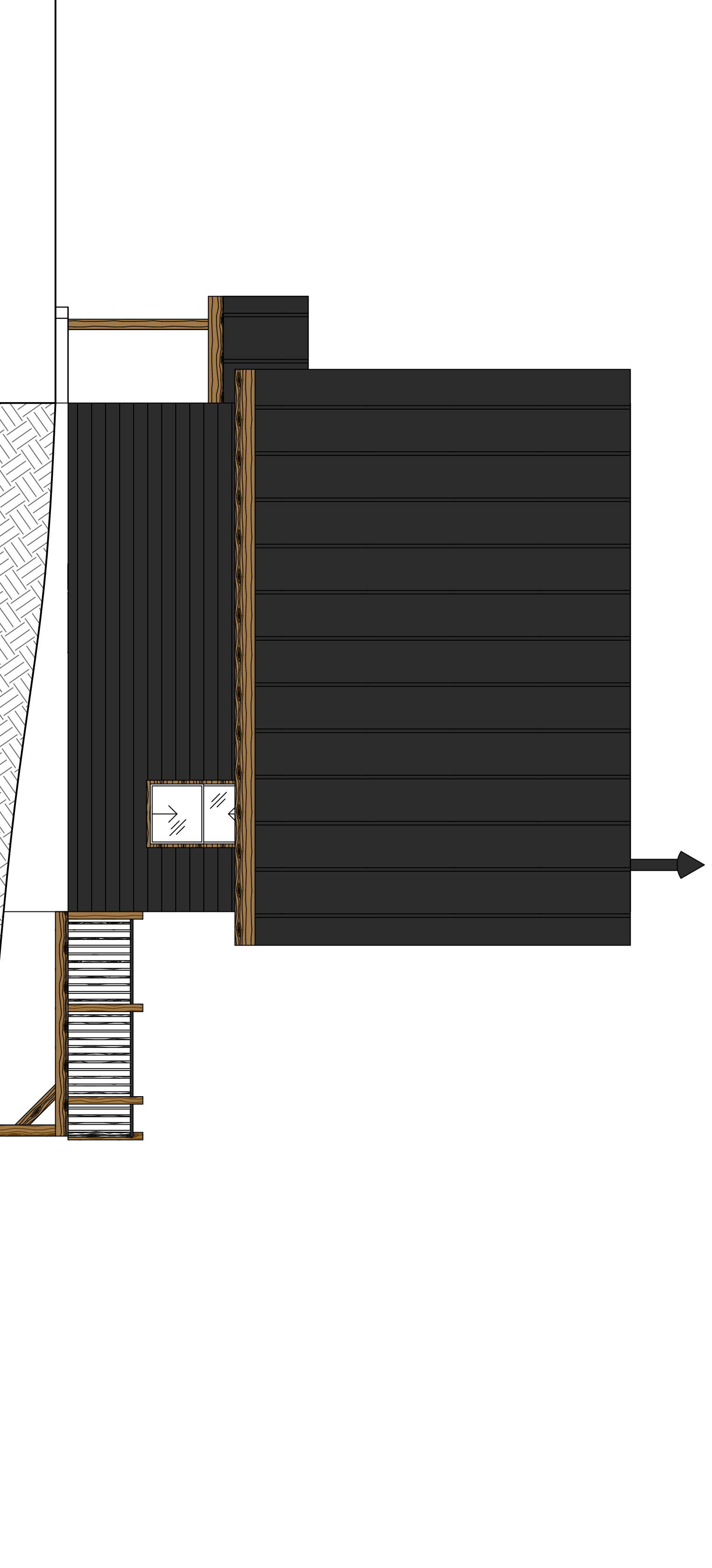
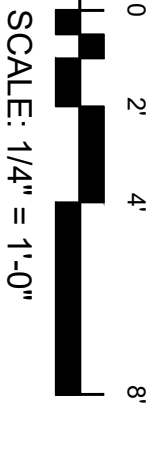
1 NORTH ELEVATION
1/4" = 1'-0"



3 SOUTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"

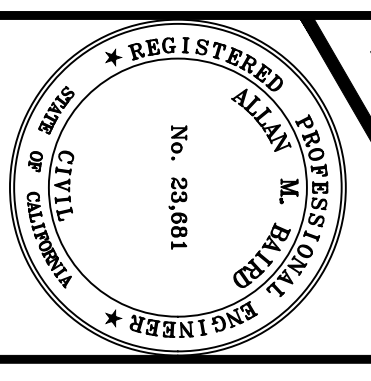
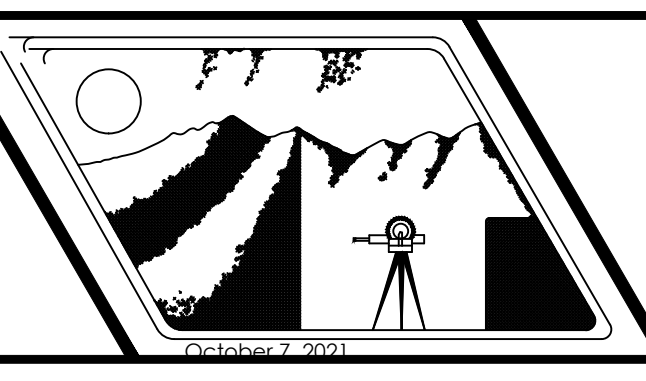


4 WEST ELEVATION
1/4" = 1'-0"



NO.	DATE	DESCRIPTION
5		
4		
3		
2		
1		

A.M. Baird
Engineering & Surveying
1045 Main St., P.O.Box 396, Fortuna, CA 95540
(707)725-5182



SCALE	AS NOTED
DRAWN BY	M.P.A.
CHKD	A.M.B.
DATE	3/19/21

COCCIA, DANIEL
APN# 111-022-033
606 REDWOOD RD. SHELTER COVE, CA
NEW RESIDENTIAL STRUCTURE
EXTERIOR ELEVATIONS

JOB NO. 20-4938
A-201

Attachment 3

Referral Agency Comments and Recommendation

Referral Agency	Response	Recommendation	On File	Attached
Bear River Band	✓	Recommend Approval/Condition	✓	
California Coastal Commission		No Response		
California Department of Fish and Wildlife		No Response		
CalFire	✓	Recommend Approval/No Comment	✓	
Community Services District		No Response		
County Building Inspection Division		No Response		
County P/W, Land Use Division	✓	Recommend Approval/Comment	✓	
Division of Environmental Health		No Response		
Fire Protection District		No Response		
Intertribal Sinkyone Wilderness Council		No Response		
Regional Water Quality Control Board		No Response		
Resort Improvement District #1		No Response		
Code Enforcement		No Response		
Aviation		No Response		