

**RESOLUTION OF THE PLANNING COMMISSION
OF THE COUNTY OF HUMBOLDT**

Resolution Number 26-016

**PARCEL MAP SUBDIVISION AND SPECIAL PERMIT,
PROJECT NUMBER PLN-2025-19246
ASSESSOR PARCEL NUMBER 508-251-060, 508-133-013**

MAKING THE REQUIRED FINDINGS FOR CERTIFYING COMPLIANCE WITH THE CALIFORNIA ENVIRONMENTAL QUALITY ACT AND CONDITIONALLY APPROVING THE LIFE PLAN OF HUMBOLDT PARCEL MAP SUBDIVISION AND SPECIAL PERMIT

WHEREAS, the owner submitted an application and evidence in support of approving a Parcel Map Subdivision and Special Permit; and

WHEREAS, the County Planning Division has reviewed the submitted application and evidence and has referred the application and evidence to involved reviewing agencies for site inspections, comments and recommendations; and

WHEREAS, Impacts of the project were analyzed and addressed during preparation of Environmental Impact Reports (EIR) for the McKinleyville Town Center Ordinance (SCH#2024031111), and no further environmental review is required; and

WHEREAS, Attachment 2 in the Planning Division staff report includes evidence in support of making all of the required findings for approving the Parcel Map Subdivision (Case Number PLN-2025-19246); and

WHEREAS, a public hearing was held on the matter before the Humboldt County Planning Commission on March 19, 2026

NOW, THEREFORE, be it resolved, determined, and ordered by the Planning Commission that:

PROJECT DESCRIPTION

- 1. FINDING:** A Parcel Map Subdivision (PMS) to divide an approximately 14.59-acre parcel into two parcels of approximately 12.63 acres (Parcel 1) and 1.96 acres (Parcel 2). The purpose of the subdivision is to create the smaller parcel to convey separately with the remaining 12.63-acre parcel retained by Life Plan Humboldt. The parcel is currently undeveloped and can be served with community water and sewer provided by McKinleyville Community Services District. A Special Permit is also required to allow wetland relocation to facilitate future development of senior housing.

EVIDENCE: a) Project File: PLN-2025-19246

CALIFORNIA ENVIRONMENTAL QUALITY ACT

- 2. FINDING:** **CEQA.** The requirements of the California Environmental Quality Act have been met.

EVIDENCE: a) This project was analyzed and addressed during preparation of Environmental Impact Report (EIR) for the McKinleyville Town Center Ordinance (SCH#2024031111). The EIR for the McKinleyville Town Center Ordinance was certified by the Board of Supervisors on October 20, 2025.

- b) The proposed subdivision, and wetland consolidation and restoration, do not include effects that were not examined in the program EIR. No substantial changes are proposed in the project which will require major revisions of the EIR due to involvement of new significant environmental effects or an increase in the severity of previously identified significant effects. No substantial changes to circumstances under which the project is undertaken are anticipated that would require major revisions to the EIR.

- c) No new information of substantial importance which was not known and could not have been known at the time of EIR adoption shows any of the following:

The project will have one or more significant effects not discussed in the EIR.

Significant effects previously examined will be substantially more

severe than shown in the previous EIR

Mitigation measures or alternatives not previously found feasible would in fact be feasible and would substantially reduce significant effects of the project

Mitigation measures or alternatives which are considerably different from those analyzed in the EIR would substantially reduce significant effects.

- d) A checklist was prepared to document that there are no new environmental impacts associated with the project.
- e) Mitigation measures developed in the program EIR have been incorporated as part of the project.

LEGAL LOT REQUIREMENT – SECTION 312-1.1.2

3. FINDING: The lot was created in compliance with all applicable state and local subdivision regulations.

EVIDENCE: a) 508-251-060-000 and 510-133-013-000 comprise one legal parcel (remainder) as shown on Parcel Map 3655 filed in Book 36 of Parcel Maps, pages 146-147, Humboldt County Records.

SUBDIVISION FINDINGS - (Section 66474 of the State Subdivision Map Act and Title III Division 2 of the Humboldt County Code)

4. FINDING: All lots are suitable for their intended uses.

EVIDENCE: a) The project will result in a total of two parcels of approximately 12.63 acres (Parcel 1) and 1.96 acres (Parcel 2). The resulting parcels meet minimum parcel sizes, minimum lot width, maximum lot depth, and maximum lot coverage as required by the zoning ordinance.

5. FINDING: Improvements shall be required for the safe and orderly movement of people and vehicles.

EVIDENCE: a) The parcels will utilize Hiller Road as the primary ingress and egress route. The Department of Public Works has reviewed the proposed subdivision and recommends several conditions of approval related to road improvements related to maintenance, traffic control devices and signs, monumentation on the parcel map, standard improvements, etc. These are enumerated in a memo (**Attachment 1C**) and are included as recommended conditions of approval. The applicant submitted an exception request to the Public Works Department, requesting an exception to the road widening required in Public Works referral responses, an exception to the Public Utility Easement, and an exception to bicycle storage required by the Town Center Ordinance. Public Works responded that the need for and scope of a Public Utility Easement will be determined by Public Works when the improvement plans are finalized and that an exception is not necessary, and Public Works does not support an exception to the road widening and paving requirements outlined in their original referral response. Granting an exception to bicycle storage standards will be reviewed and may be granted during the review/issuance of the building permit and design control process related to future development. As conditioned by Public Works the project will facilitate safe and orderly movement of people and vehicles.

6. FINDING: Flood control and drainage facilities affording positive storm water disposal shall be designed and provided by the subdivider.

EVIDENCE: a) Satisfaction of the requirements found in the memo from the Land Use Division of Public Works (PW) is required by the project Conditions of Approval. PW requires that a hydraulic report and drainage plan for the subdivision be prepared by an engineer and submitted to PW for review and approval and requires the applicant to correct any drainage problems associated with subdivision to the satisfaction of PW. Additionally, the project will be required to implement Best Management Practices to prevent storm water pollution, construct stormwater detention facilities, and because the site is located in an urban MS4 stormwater area, future development will be required to incorporate measures to further enhance and detain stormwater runoff.

7. FINDING: Sewer and water systems are constructed to appropriate standards.

EVIDENCE: a) Water and sewer service for both resulting parcels will be provided by the McKinleyville Community Services District. The project was referred to the McKinleyville Community Services District who recommended approval of the proposed subdivision.

8. FINDING: The size and shape of lots are proper for the locality in which the subdivision is situated, and in conformance with the requirements of the current zoning regulations and the Humboldt County General Plan.

EVIDENCE: a) The project will result in a total of two parcels of approximately 12.63 acres (Parcel 1) and 1.96 acres (Parcel 2). The resulting parcels meet minimum parcel sizes, minimum lot width, maximum lot depth, and maximum lot coverage as required by the zoning ordinance.

b) The proposed subdivision is consistent with the Commercial Services, Mixed Use, and Residential Medium Density land use designations. The resulting lots comply with the density ranges prescribed by the underlying land use designations.

9. FINDING: Conditions do not exist to allow an exception to the road widening and paving requirement on Hiller Road. Granting an exception would be inconsistent with the McKinleyville Town Center Ordinance (Ordinance No. 2772).

EVIDENCE: a) . Properties west of the subject property have constructed similar improvements on the south line of Hiller Road as proposed to be required of the proposed project. The road widening is intended to facilitate the eventual full buildout of Hiller Road and the planned buildout of the McKinleyville Town Center. This improvement will appropriately accommodate the proposed road section identified in the McKinleyville Town Center. The McKinleyville Town Center Ordinance (Ordinance No. 2442) requires this road widening and paving to be constructed at the earliest stage of development.

COMMUNITY PLAN FINDINGS – MCKINLEYVILLE COMMUNITY PLAN

10. FINDING: The proposed development is consistent with the McKinleyville Area Plan

- EVIDENCE:**
- a) The proposed project is consistent with Urban Land Use policies for the McKinleyville Community Planning Area which require that development be served by adequate urban services and adequate circulation systems. Sidewalks, curbs and gutters, and access roads will be constructed to the satisfaction of the Department of Public Works, and the project is served by the McKinleyville Community Services District.
 - b) Within areas planned for residential development, new subdivisions containing less than fifty (50) parcels shall provide an in-lieu fee at a level determined by the County to be sufficient to provide an appropriate contribution to public parks or recreation and at a level that is economically feasible for small projects. Per Humboldt County Code 130 square feet of parkland is required per person. Per the 2020 Census the average household in McKinleyville is on average 2.578 persons. This amounts to 0.0077 acres of parkland per residential unit. Fees in-lieu of parkland dedication are based on the market value of land (\$160,000 per acre in the vicinity of the subdivision), and amount to \$1,232 per unit. Conditions of approval include a deed restriction that requires payment of \$1,232 per residential unit or dedication of 0.0077 acres of parkland per residential unit (or a combination of both) prior to issuance of building permits for residential units. The average number of persons per household may be amended for development consisting of senior housing, based on demographic research and available County Census data from the United States Bureau of the Census at the discretion of the Director of the Planning and Building Department.
 - c) The proposed project is a Parcel Map Subdivision and will create an additional parcel to facilitate senior housing/aging in place facilities that will be developed in conformity with the goals, policies, standards, and programs of the County Housing Element. The other resulting parcel can be utilized for a variety of uses per the zoning

including additional senior housing, multi-family residential, commercial residential, or nonresidential use types. The proposed subdivision will create parcels capable of supporting future development consistent with the McKinleyville Area Plan.

- d) The subject parcel is located in an area of relative stability, site is not located within an Alquist-Priolo Fault Hazard Zone, nor is it within an area of potential liquefaction.

The project site is not located in a tsunami hazard zone and does not reside within an area susceptible to coastal inundation related to sea level rise (1 meter).

The parcel is not located within a FEMA 100-year Flood Zone.

The subject parcel is located within a Local Responsibility Area for fire protection and is served by the Arcata Fire Protection District, who provides structural fire protection as well as responding to medical emergencies.

- e) The project was referred to NWIC, the Wiyot Tribe, Bear River Band of the Rohnerville Rancheria and the Blue Lake Rancheria. NWIC recommended a Cultural Resources Investigation be prepared for the project. A Cultural Resources Investigation for the Life Plan Humboldt Residential Development Project was prepared by William Rich and Associates in 2024. The report concluded there are no archaeological resources within the project site with potential to be adversely affected by future development activities. Inadvertent archaeological discovery protocols for any ground-disturbing activities have been included in recommended conditions of approval.

- f) Existing wetlands have been mapped in the Wetland Mitigation and Monitoring Plan prepared by the applicant. The project includes relocation of existing wetlands, and has included mitigation and monitoring measures to reduce impacts to a less than significant level. A botanical survey was completed for the project that concluded one sensitive natural community was present on site (Coastal dune willow-Sitka willow- Douglas spiraea). Recommended conditions of approval require avoiding disturbance of sensitive natural communities on site, or mitigation in conformance with the measures outlined in the EIR prepared for

the McKinleyville Town Center Ordinance. California Department of Fish and Wildlife (CDFW) was sent a referral for the proposed project, but no response was received. The McKinleyville Community Plan allows for wetland restoration as a development type within wetland areas. The project proposes relocating several small one-parameter wetlands and consolidating them around an existing three parameter wetland, expanding the area of three parameter wetland (subject to mitigation and performance standards in the Q-Zone). As the subject parcel was created after adoption of the McKinleyville Community Plan it is subject to Sensitive and Critical Habitats Policy 15, which states "No land use or development shall be permitted in Wetland Areas which degrade the wetland or detract from the natural resource value on newly created parcels." This policy seeks to protect wetlands, but does not prohibit on-site consolidation, restoration, and mitigation of wetlands, provided the natural resource value of the wetland is retained or improved. The Town Center Q-Zone establishing criteria for wetland protection and relocation is consistent with the provisions of the Community Plan. As the proposed wetland relocation is consistent with the Q-Zone, it is also consistent with the Community Plan.

The proposed wetland relocation includes creating new wetlands at a 1.5:1 ratio and consolidating existing one-parameter and three-parameter wetlands into a single wetland area. The proposal includes filling 18,785 square feet of existing one-parameter and three-parameter wetlands, and creating 28,900 square feet of new wetland area. The applicant has submitted a Wetland Habitat Mitigation and Monitoring Plan that includes mitigation, adaptive management and monitoring, and final success criteria/performance standards. The plan was reviewed by CDFW as part of the application materials, and no concerns have been raised. As the proposed wetland relocation is consistent with the McKinleyville Town Center Ordinance (Q Zone), it is also consistent with the Community Plan. Recommended conditions of approval include depicting the final wetland footprint and associated buffers on the Final Map and Development Plan.

- g) Attachment 2D demonstrates that developable area exists that can conform to all setbacks and building height requirements. Future development will be required to meet the standards of form-based code and go through the design review process.

FINDINGS APPLICABLE TO ALL PERMITS

11. FINDING: The proposed development is in conformance with the County General Plan.

EVIDENCE: a) The property is planned and zoned for mixed use and is consistent with the Commercial Services (CS), Mixed Use (MU), and Residential Medium Density (RM) land use designations.

b) The proposed subdivision would result in the creation of one new parcel which contains sufficient area outside the setbacks for mixed use development and outside of any potential sensitive wetland or riparian zones with wetland restoration and relocation as proposed. Utilities are proposed within 50' of the wetland and will not negatively impact wetland or riparian resources. Notes regarding the utilities within 50' of the wetland will be required for a development plan to ensure future development does not occur that has not been assessed for wetland impacts.

12. FINDING: The proposed development is consistent with the purposes of the existing Mixed Use (Urban) zone (MU1) in which the site is located and conforms with all applicable standards and requirements of the zoning regulations, including the McKinleyville Town Center Ordinance and the Humboldt County Streamside and Wetland Management Area Ordinance.

EVIDENCE: a) Senior Housing is a principally permitted use within the MU1 zone; The proposed project meets density requirements and will facilitate development of senior housing/aging in place facilitates; The parcel is currently vacant and does not include development that would increase ground coverage exceeding the maximum coverage allowed on the lot. The resulting parcels have developable areas outside required setbacks and in conformance with other zoning standards including minimum lot sizes, lot width, and lot depth. The resulting parcels can accommodate development in conformance with building form standards required by the Town Center Ordinance.

- b) The Wetland Habitat Mitigation and Monitoring Plan includes a wetland delineation and wetland replacement at a 1.5:1 ratio. Created wetlands will be consolidated three-parameter wetlands to improve wetland productivity.
- c) The Wetland Habitat Mitigation and Monitoring Plan includes grading estimates and a proposed cross section estimating the elevation levels of the proposed wetland and the total amount of grading required.
- d) The Wetland Habitat Mitigation and Monitoring Plan includes stormwater retention facilities to ensure storm water does not drain directly into wetlands. The plan also includes planting treatments for wetland mitigation that identifies appropriate native species proposed to be planted at five separate planting zones.
- e) The Wetland Habitat Mitigation and Monitoring Plan includes success and monitoring criteria and a five-year monitoring period. Annual monitoring reports are proposed as part of the mitigation and monitoring plan, as well as adaptive management to address any issues identified at the sites during monitoring or maintenance activities if success criteria are not met.
- f) The mitigation area is expected to be self-maintaining and dynamic into the long-term future. The wetlands are expected to be self-sustaining, and no watering or maintenance activities would be needed to maintain the wetlands. A permanent conservation easement or other instrument ensuring the biological resource values of the wetland areas will be maintained or enhanced in perpetuity is a required condition of approval. The proposed project was submitted to CDFW for review and comment. No response was received.
- g) The McKinleyville Town Center Ordinance (Q Zone) requires prior to issuance of construction permits or as part of subdivision approval a plan must be reviewed that demonstrates either wetlands will be protected in place in accordance with buffers identified in the Streamside Management Area and Wetlands Ordinance (HCC Section 314-61.1.7.6.6) or identifying how the wetland areas will be

relocated and conserved subject to standards prescribed by the Q Zone. The applicant has submitted plans that propose relocation and conservation of wetland areas consistent with the Q Zone requirements.

13. FINDING: The proposed parcel map subdivision will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity.

- EVIDENCE:**
- a) The property is planned and zoned for residential use. The proposed project will facilitate development of senior housing/aging in place facilities.
 - b) The project is consistent with the Guiding Principles of the Humboldt County General Plan, including facilitating creation of affordable housing opportunities to meet current and future demands for all income levels.
 - c) The proposed wetland relocation will not result in negative impacts to wetland health and habitat quality. Public Works recommendations include measures to control stormwater runoff and measures in the McKinleyville Town Center Ordinance are in place to protect wetland water quality and promote open space.
 - d) The project has been conditioned to adhere to all recommendations found in the Public Works referral response. Other reviewing referral agencies have approved, conditionally approved or not responded to the proposed development, with conditions listed in Attachment 1A. There is no evidence that the project will be detrimental to public health, safety or welfare.
 - e) The EIR adopted by the Board of Supervisors prepared for the McKinleyville Town Center Ordinance (Q Zone) assessed information on the project regarding the project's relative contribution to environmental impacts associated with developing the Town Center site.

14. FINDING: The proposed project does not reduce the residential density for the parcel below that utilized by the Department of Housing and

Community Development in determining compliance with housing element law.

- EVIDENCE:** a) The property being divided is targeted for residential development in the current Housing Inventory. The parcel was identified as able to support 100 new units within a 6.25 acre area (16 units per acre). Multifamily development in the Town Center is required to meet a minimum density of 16 units per acre. The subdivision as proposed will facilitate affordable senior housing and multifamily housing at densities consistent with the 2019 Adopted Housing Element Inventory.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Humboldt County Planning Commission does hereby:

1. Adopts the findings set forth in this resolution; and
2. Conditionally approves the Parcel Map Subdivision and Special Permit (Record Number: PLN-2025-19246) and denies the exception request for road widening and paving based on the application materials on file for the project, and subject to the conditions of approval as modified by the Planning Commission.

Adopted after review and consideration of all the evidence on **March 19, 2026**.

The motion was made by COMMISSIONER PEGGY O'NEILL and second by COMMISSIONER TODD FULTON and the following vote:

AYES: COMMISSIONERS: Sarah West, Jerome Qiriaz, Todd Fulton, Noah Levy, Peggy O'Neill

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS: Iver Skavdal, Lorna McFarlane

ABSTAIN: COMMISSIONERS:

DECISION: Motion carries 5/0

I, John H. Ford, Secretary to the Planning Commission of the County of Humboldt, do hereby certify the foregoing to be a true and correct record of the action taken on the above-entitled matter by said Commission at a meeting held on the date noted above.



John H. Ford, Director
Planning and Building Department

Attachment 1A
Conditions of Approval
PLN-2025-19246

APPROVAL OF THE PARCEL MAP SUBDIVISION AND SPECIAL PERMIT IS CONDITIONED ON THE FOLLOWING TERMS AND REQUIREMENTS WHICH MUST BE SATISFIED BEFORE THE PARCEL MAP MAY BE RECORDED.

Conditions of Approval:

1. All taxes to which the property is subject shall be paid in full if payable, or secured if not yet payable, to the satisfaction of the County Tax Collector's Office, and all special assessments on the property must be paid or reapportioned to the satisfaction of the affected assessment district. Please contact the Tax Collector's Office approximately three to four weeks prior to filing the parcel or final map to satisfy this condition. This requirement will be administered by the Department of Public Works.

2. The conditions on the Department of Public Works referral dated **August 11, 2025 (revised 03/19/2026)**, included herein as Attachment 1C, shall be completed or secured to the satisfaction of that department. The pavement widening along Hiller Road is a requirement of the Subdivider with the following provisions:
 - The subdivider may enter into a Bonded Subdivision Agreement to defer installation of the Hiller Pavement widening for a period extending 5 years from the time of issuance of building permits.
 - The ultimate configuration of the Road is subject to review and recommendation by the MMAC and approval by the Board of Supervisors, some flexibility is reserved for possible changes to the Hiller Road cross section, but it will go no further south than the current right of way line.
 - The County will seek funding to improve the full cross section of Hiller Road along the frontage of the subject property which can be used to assist with the cost of the required improvements, or this condition can be satisfied with grant funding to provide the required pavement widening creating space for a buffered bike lane across the front of the property.
 - If a buffered bike lane is provided, the County will do the striping and extend the bike lane as far west on Hiller as practicable.

Prior to performing any work on the improvements, contact the Land Use Division of the Department of Public Works.

3. The Planning Division requires that two (2) copies of the Parcel Map be submitted for review and approval. Gross and net lot area shall be shown for each parcel.
4. Prior to filing the Parcel Map, the applicant shall submit a letter from the McKinleyville Community Services District stating that the project meets their requirements. This condition shall be administered by the Department of Public Works.
5. Prior to filing the Parcel Map, the applicant shall submit a letter from the Arcata Fire Protection District stating that the project meets their requirements. This condition shall be administered by the Department of Public Works.
6. A map revision fee as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of Supervisors as required by the County Assessor's Office shall be paid to the County Planning Division, 3015 H Street, Eureka. The check shall be made payable to the "Humboldt County Planning Division". The fee is required to cover the Assessor's cost in updating the parcel boundaries.
6. A Condition & Mitigation Monitoring deposit as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of Supervisors shall be paid to the Humboldt County Planning Division, 3015 "H" Street, Eureka. This fee is a deposit, and if actual review costs exceed this amount, additional fees will be billed at the County's current burdened hourly rate. Please see Informational Note #1 below for suggestions to reduce the cost for this review.
7. The applicant shall obtain all required grading, building, plumbing, electrical and mechanical permits and/or Agricultural Exemptions.
8. The applicant shall record a permanent conservation easement or other instrument ensuring the biological resource values of the wetland areas will be maintained or enhanced in perpetuity.
9. The applicant shall adhere to and implement recommendations included in the Geotechnical Investigation Report prepared by SHN dated April 18, 2025, during all phases of work.
10. The applicant shall adhere to all recommendations, mitigation measures, and monitoring protocols described in the Mitigation and Monitoring Plan prepared by GHD dated April 3, 2023. Minor changes to the proposed wetland layout may be approved provided a letter or similar documentation prepared by a qualified biologist is submitted to the Planning Department verifying the changes do not

alter the conclusions or recommendations of the Mitigation and Monitoring Plan and will not result in adverse impacts to wetlands. Alterations shall be subject to review and approval by the Planning Director or their authorized designee.

11. The applicant shall record a deed restriction that requires payment of \$1,232 per residential unit or dedication of 0.0077 acres of parkland per residential unit (or a combination of both) prior to issuance of building permits for residential units. The average number of persons per household used in the parkland dedication calculations may be amended for development consisting of senior housing, based on demographic research and available County Census data from the United States Bureau of the Census and at the discretion of the Director of the Planning and Building Department.

12. The applicant shall submit at least three (3) copies of a Development Plan to the Planning Division for review and approval. The map shall be drawn to scale and give detailed specifications as to the development and improvement of the site and the following site development details:

A. Mapping

- 1) Topography of the land in 1-foot contour intervals;
- 2) Proposed access, parking lanes and pedestrian ways;
- 3) The location of all drainage improvements and related easements;

B. Notes to be placed on the Development Plan:

- 1) "The project site is not located within an area where known cultural resources have been located. However, as there exists the possibility that undiscovered cultural resources may be encountered during construction activities, the following mitigation measures are required under state and federal law:
 - If cultural resources are encountered, all work must cease and a qualified cultural resources specialist contacted to analyze the significance of the find and formulate further mitigation (e.g., project relocation, excavation plan, protective cover).
 - Pursuant to California Health and Safety Code §7050.5, if human remains are encountered, all work must cease and the County Coroner contacted."
- 2) "The project is located in a designated non-attainment area for the state's health-based particulate matter (PM10) air quality standard. As such, additional emission from the project could exacerbate air quality

problems, including non-attainment of ambient air quality standards. In order to address potential effects to air quality the District recommends:

- Prohibition of open fireplaces.
 - Heating should be provided using clean fuels (electricity or natural gas), when feasible.
 - If wood heating must be used, only US Environmental Protection Agency (EPA) certified heating appliances should be permitted in new construction.”
- 3) “Development allowed within the Wetland Buffer shall be consistent with the Justification for Development within Wetland Buffer Areas prepared by GHD dated February 18, 2026 and is limited to the following:
- A stormwater bioretention and detention basin
 - An earthen berm separating the mitigation wetland from the stormwater features
 - A paved walking trail along the top of the earthen berm to provide pedestrian access for residents to view wetland habitat
 - A utility pole located approximately 45 feet from the mitigation wetland boundary”
- 4) “No wood burning fireplaces are permitted within future residential units. If wood burning heaters/stoves are planned, these shall comply with EPA’s list of certified wood heaters as identified in the 2020 New Source Performance Standard for New Residential Wood Heaters.”
- 5) “Idling of construction equipment and heavy-duty diesel trucks will be avoided where feasible, and if idling is necessary, it will not exceed three minutes. All construction equipment will be maintained and properly tuned in accordance with manufacturer’s specifications and will be checked by a certified visible emissions evaluator

The construction permits will not be issued until these requirements are shown on the construction plans. The inspector for this area shall conduct periodic review of the site (at least three times per week) to ensure these requirements are being complied with.”

- 6) “No more than one week prior to commencement of tree removal, vegetation clearance, grading, or the initiation of any construction activity, the developer shall retain a qualified wildlife biologist to

conduct surveys for the presence of northern red-legged frog within 50 feet of suitable habitat (habitat suitability will be determined by a qualified biologist). If the survey results are negative, a letter report confirming absence will be prepared and submitted to the Humboldt County Planning and Building Department and no further mitigation is required. If the survey is positive, a qualified biological monitor shall be retained to be present during initial grading to monitor activities. The monitor shall be authorized to move individual northern redlegged frogs out of harm's way if individual frogs do not move in a sufficient time as determined by the biologist."

- 7) "No more than 24 hours prior to commencement of ground disturbing activities, a qualified biologist shall conduct an environmental awareness training session for all construction personnel. At a minimum, the training shall include a description of special-status species potentially occurring in the project vicinity, including, but not limited to, special-status plant species, northern red-legged frog, western bumble bee, roosting bats, and nesting birds and raptors. Their habitats, general measures that are being implemented to conserve species as they relate to the project, and the boundaries within which construction activities will occur will be explained. Informational handouts with photographs clearly illustrating the species' appearances shall be used in the training session. All new construction personnel shall undergo this mandatory environmental awareness training. The qualified biologist will train biological monitors selected from the construction crew by the construction contractor (typically the project foreman). Before the start of work each day, the monitor will check for animals under any equipment such as vehicles and stored pipes within active construction zones. The monitor will also check all excavated steep-walled holes or trenches greater than one foot deep for trapped animals. If a special-status species is observed within an active construction zone, the qualified biologist will be notified immediately and all work within 50 feet of the individual will be halted and all equipment turned off until the individual has left the construction area. Individual future project applicant(s) shall be responsible for submitting evidence of completion of this training to the Humboldt County Planning and Building Department, where it will be kept on file, prior to initiation of any ground disturbing activities."
- 8) "Suitable foraging and nesting habitat for Western bumble bee is present within the project boundary. One of the following options shall be implemented prior to vegetation removal:

- **Seasonal Avoidance:** Clear vegetation and conduct ground-disturbing activities outside of the colony active period (March through August) to avoid peak flight season and discourage bumble bees from nesting in the project area. Section 3.0 Changes to the Draft EIR 3-4 EMC Planning Group McKinleyville Town Center Zoning Amendment Final EIR August 22, 2025.
- **Assume presence of Western bumble bee:** Assume presence and obtain Incidental Take Authorization from the California Department of Fish and Game (Section 2081 of the Fish and Game Code. Avoidance measures identified in the permit will be implemented. Compensatory mitigation, such as land acquisition and habitat restoration or enhancement would be required.
- **Conduct focused surveys for Western bumble bee:** If seasonal avoidance is not possible, consultation with the California Department of Fish and Wildlife shall occur at least one year prior to ground disturbance to evaluate potential impacts and other feasible avoidance measures, including habitat assessments and/or surveys.

Surveys shall occur during the colony active period for the western bumblebee (March through August) prior to tree removal, vegetation clearance, grading, or the initiation of any construction activity in any undeveloped area of the project site, developers of future individual projects shall hire a qualified biologist to conduct a pre-construction survey of small mammal burrows and thatched/bunch grasses. If the survey results are negative (i.e., no bumble bee activity observed), a letter/report confirming absence shall be prepared and submitted to the Humboldt County Planning and Building Department, where it will be kept on file, and no further mitigation is required.

If bumble bee nests are detected and the area can be avoided, a qualified biologist shall supervise the installation of protective fencing/flagging a minimum of 50 feet around the nest area prior to construction and phase vegetation removal, to retain patches of floral resources during construction. The fencing/flagging will be checked at least once per week by a biological monitor until construction is complete to ensure that the protective fencing/flagging remains intact. The qualified biologist can conduct the weekly checks or train a biological monitor selected from the construction crew by the

construction contractor (typically the project foreman) to check the fencing/flagging and provide weekly updates. Documentation of the fencing/flagging installation shall be provided to the County prior to the start of ground disturbance activities. Documentation of the weekly checks and timely maintenance of fencing/flagging (if needed) shall be provided to the Humboldt County Planning and Building Department quarterly during construction.

If bumble bee nests are detected and the area cannot be avoided, the qualified biologist shall coordinate with the California Department of Fish and Wildlife to obtain Incidental Take Authorization. Compensatory mitigation, such as land acquisition and habitat restoration or enhancement would be required. After it has been confirmed that the habitat area is no longer occupied, a letter report will be prepared and submitted to the Humboldt County Planning and Building Department. Individual project applicants shall be responsible for implementation of this mitigation measure with oversight by the Humboldt County Planning and Building Department.”

- 9) “Approximately 15 days prior to tree removal, vegetation clearance, building demolition, grading, or the initiation of any construction activity in any area of the project site with potentially suitable habitat for special status bats, developers shall retain a qualified wildlife biologist to conduct a habitat assessment for bats and potential roosting sites in trees to be removed, in buildings and trees within 50 feet of the construction footprint, and surrounding structures situated within 50 feet of disturbance activities by the project. Bats potentially roosting on the exteriors of buildings on the project site may be disturbed by construction activities. In the event that construction activities are suspended for 15 consecutive days or longer, including the time period between development activities at each respective lot or parcel, these surveys shall be repeated if disturbance is occurring in an area with potentially suitable habitat for special status bats. These surveys shall include a visual inspection of potential roosting features (bats need not be present) and a search for presence of guano within the project site, construction access routes, and 50 feet around these areas. Cavities, crevices, exfoliating bark, and bark fissures that could provide suitable potential nest or roost habitat for bats shall be surveyed. Potential roosting features found during the survey shall be flagged or marked. Locations off the site to which access is not available may be surveyed from within the site or from public areas. If no roosting sites or bats are found, a letter report confirming absence

shall be submitted by the biologist to the Humboldt County Planning and Building Department, where it will be kept on file, and no further mitigation is required. If bats or roosting sites are found, a letter report and supplemental photos and documents detailing the location and species shall be provided by the biologist to the Humboldt County Planning and Building Department prior to ground disturbance activities and the following monitoring, exclusion, and habitat replacement measures shall be implemented:

- If bats are found roosting outside of the nursery season (May 1 through October 1), they shall be evicted as described under (b) below. If bats are found roosting during the nursery season, they shall be monitored to determine if the roost site is a maternal roost. This could occur by either visual inspection of the roost bat pups, if possible, or by monitoring the roost after the adults leave for the night to listen for bat pups. If the roost is determined to not be a maternal roost, then the bats shall be evicted as described under (b) below. Because bat pups cannot leave the roost until they are mature enough, eviction of a maternal roost cannot occur during the nursery season. Therefore, if a maternal roost is present, a 50-foot buffer zone (or different size if determined in consultation with the California Department of Fish and Wildlife) shall be established around the roosting site within which no construction activities including tree removal or structure disturbance shall occur until after the nursery season.
- If a non-breeding bat hibernaculum is found in a tree or snag scheduled for removal or on any structures within 50 feet of project disturbance activities, the individuals shall be safely evicted, under the direction of a qualified bat biologist. If preconstruction surveys determine that there are bats present in any trees or structures to be removed, exclusion structures (e.g., oneway doors or similar methods) shall be installed by a qualified biologist. The exclusion structures shall not be placed until the time of year in which young are able to fly, outside of the nursery season. Information on placement of exclusion structures shall be provided to the CDFW prior to construction. If needed, other removal methods could include: carefully opening the roosting area in a tree or snag by hand to expose the cavity and opening doors/windows on structures, or creating openings in walls to allow light into the structures. Removal of any trees or snags and disturbance within 50 feet of any structures shall be conducted no earlier than the following day (i.e., at least one night shall be provided between initial roost eviction

disturbance and tree removal/disturbance activities). This action will allow bats to leave during dark hours, which increases their chance of finding new roosts with a minimum of potential predation.”

- 10) “To avoid impacts to nesting birds during the nesting season (March 15 through August 15), construction activities that include any tree removal, vegetation clearance, or ground disturbance (such as grading or grubbing), shall be conducted between August 16 and March 14, which is outside of the bird nesting season. If construction activities must commence during the bird nesting season, then a qualified biologist shall conduct a pre-construction survey for nesting birds to ensure that no nests would be disturbed during project construction.
 - A survey for active nests of such birds shall occur within 10 days prior to start of construction. Appropriate minimum survey radius surrounding the work area is typically 250 feet for passerines, 500 feet for smaller raptors, and 1,000 feet for larger raptors. Surveys shall be conducted at the appropriate times of day to observe nesting activities. Individual project developers shall submit evidence of completion of the preconstruction survey to the Humboldt County Planning and Building Department prior to initiation of ground disturbing activities.
 - If the qualified biologist documents active nests at the project site, an appropriate buffer between each nest and active construction shall be established in coordination with CDFW. The buffer shall be clearly marked and maintained until the young have fledged and are foraging independently. Prior to construction, the qualified biologist shall conduct baseline monitoring of each nest to characterize “normal” bird behavior and establish a buffer distance, which allows the birds to exhibit normal behavior. The qualified biologist shall monitor the nesting birds daily during construction activities and increase the buffer if birds show signs of unusual or distressed behavior (e.g., defensive flights and vocalizations, standing up from a brooding position, and/or flying away from the nest). If buffer establishment is not possible, the qualified biologist shall have the authority to cease all construction work in the area until the young have fledged and the nest is no longer active. This measure shall be implemented by the project developer prior to initiation of ground disturbing activities.”

- 11) "Prior to ground disturbance activities in addition to the requirements of the Q-Zone, the project developer shall demonstrate permits or clearances have been issued by U.S. Army Corps of Engineers, and the Regional Water Quality Control Board. If impacts to a federally jurisdictional features may occur, a Clean Water Act Section 404 Nationwide Permit may be needed. If the proposed activity would not otherwise qualify for a Nationwide Permit, individual project developers shall proceed with obtaining an Individual Permit from the USACE. If impacts to a wetland not subject to federal jurisdiction, but subject to state jurisdiction may occur, fill authorization shall be sought from the North Coast Regional Water Quality Control Board.

A Water Quality Certification (Section 401 of the Clean Water Act) from the North Coast Regional Water Quality Control Board must also be obtained if determined necessary through the wetland assessment and subsequent regulatory agency consultation."

- 12) "Sensitive Natural Communities identified on site shall be protected through the following mitigation measures:

Option 1. Avoid disturbance to the sensitive natural community found on the site.

Option 2. If avoidance cannot be accommodated within project plans, on-site and/or off-site mitigation for the loss of sensitive natural communities is recommended. If off-site mitigation is preferred, similar habitat as that lost as a result of the project shall be protected in perpetuity through a conservation easement or similar instrument for conservation at a minimum 1:1 preserved to impacted acreage ratio. If on-site mitigation is preferred, then applicants shall implement the following mitigation prior to the issuance of any grading permit. A habitat mitigation plan shall be designed by a qualified biologist and shall include the following:

- (a) A qualified biologist shall oversee selection of an appropriate on-site mitigation area that shall be protected in perpetuity through a conservation easement. To mitigate impacts to sensitive natural communities, the mitigation area after restoration shall contain acreage at a minimum 1:1 replacement ratio for the habitat lost due to project implementation.

(b) A maintenance and monitoring program shall be established for a minimum of five years to implement restoration and verify that activities have been successful. Maintenance activities performed by a qualified restoration or native landscaping company may include irrigation, planting, and removal of non-native plants. Monitoring shall include quarterly reports for the first year and annual reports for the remaining four years.

(c) If site performance requirements are not met within five years, then remedial restoration measures and contingency planning shall be necessary along with additional maintenance and monitoring.

Compliance with this measure shall be documented and submitted to the Planning Department Director prior to ground disturbance for any subject individual project.”

13) “Future development shall be constructed as all-electric. Construction/installation of permanent natural gas plumbing/infrastructure is prohibited. Future Development shall include EV support infrastructure consistent with the Tier 2 standards contained in the CALGreen code in effect at the time individual project applications are deemed complete by the County. Plans for all future individual projects shall be reviewed by the County of Humboldt Chief Building Official or Chief Building Official’s designee prior to approval of individual project entitlements to ensure that the performance standards are incorporated into project plans. Verification of development consistent with the performance standards shall be assured prior to approval of occupancy permits.”

14) The following best management practices shall be applied during periods of project construction for all future individual projects and other activities within the site needed to support future development. The management practices shall be included in all construction documents, subject to review and approval by Planning and Building Director prior to issuance of a demolition or grading permit:

- a) Construction activities shall not occur outside the hours of 8:00 am to 5:00 pm and shall be prohibited on Sundays and holidays;
- b) All construction equipment shall be properly maintained and muffled as to minimize noise generation at the source;
- c) Noise-producing equipment shall not be operating, running, or idling while not in immediate use;
- d) All noise-producing construction equipment shall be located and operated, to the extent possible, at the greatest possible distance from noise-sensitive land uses; and
- e) To the extent possible, construction staging areas shall be located at the greatest possible distances from nearby noise-sensitive land uses.”

15) “Applicants proposing commercial uses directly adjacent to existing off-site and/or existing on-site or future constructed on-site noise sensitive uses shall, at the discretion of the Director of Planning and Building, prepare an acoustical analysis based on the Director of Planning and Building’s determination as to whether land use noise compatibility impacts are likely. The acoustical analysis shall define the site-specific potential impacts of associated stationary noise sources. If potentially significant impacts are identified, mitigation measures shall be identified to reduce impacts to less than significant by ensuring compliance with the County noise standards. Mitigation could include, but may not be limited to: site design to separate commercial uses from adjacent sensitive residential uses, building setbacks, noise equipment enclosures, etc. The acoustical analyses shall be subject to review and approval of the Director of Planning and Building prior to approval of entitlements for future commercial projects.”

16) “Please note that the information and requirements described and/or depicted on this Development Plan are current at the time of preparation but may be superseded or modified by changes to the laws and regulations governing development activities. Before

commencing a development project, please contact the Planning Division to verify if any standards or requirements have changed."

13. The applicant shall cause to be recorded a "Notice of Development " for all parcels on forms provided by the Humboldt County Planning Division. Document review fees as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of Supervisors will be required. The Development Plan shall also be noticed on the Parcel Map.
14. The recorded Parcel Map shall depict the final wetland footprint and associated buffers.
15. Prior to the Parcel Map recordation, the applicant shall submit a letter from the United States Postal Service stating that the project meets their requirements for mailbox units. This condition shall be administered by the Department of Public Works.
16. The applicant is required to pay for permit processing on a time and material basis as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of Supervisors. The Department will provide a bill to the applicant upon file close out after the Planning Commission decision. Any and all outstanding Planning fees to cover the processing of the application to decision by the Hearing Officer shall be paid to the Humboldt County Planning Division, 3015 H Street, Eureka.

Informational Notes:

1. To reduce costs the applicant is encouraged to bring in written evidence* of compliance with all of the items listed as conditions of approval in this Exhibit that are administered by the Planning Division (Namely: Condition(s) 3-12). The applicant should submit the listed item(s) for review as a package as soon as possible before the desired date for final map checking and recordation. Post application assistance by the Planner on Duty, or by the Assigned Planner, with prior appointment, will be subject to a review fee for Conformance with Conditions billed at the County's current burdened hourly rate with an initial deposit as set forth in the Planning Division's schedule of fees and charges. Copies of all required forms and written instructions are included in the final approval packet.

* Each item evidencing compliance should note in the upper right hand corner:

Assessor's Parcel No. _____, *Exhibit "A", Condition* _____.

(Specify)

(Specify)

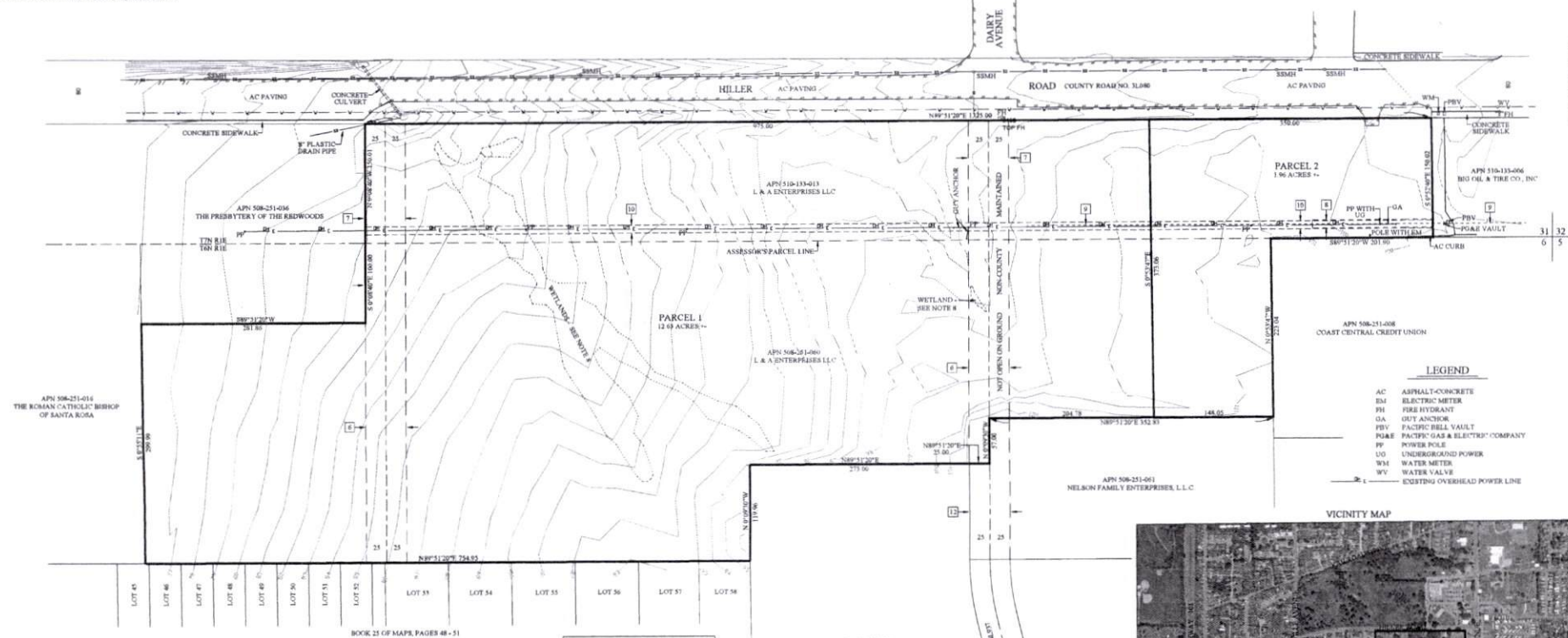
2. If cultural resources are encountered during construction activities, the contractor on site shall cease all work in the immediate area and within a 50-foot buffer of the discovery location. A qualified archaeologist as well as the appropriate Tribal Historic Preservation Officer(s) are to be contacted to evaluate the discovery and, in consultation with the applicant and lead agency, develop a treatment plan in any instance where significant impacts cannot be avoided.

The Native American Heritage Commission (NAHC) can provide information regarding the appropriate Tribal point(s) of contact for a specific area; the NAHC can be reached at 916-653-4082. Prehistoric materials may include obsidian or chert flakes, tools, locally darkened midden soils, groundstone artifacts, shellfish or faunal remains, and human burials. If human remains are found, California Health and Safety Code 7050.5 requires that the County Coroner be contacted immediately at 707-445-7242. If the Coroner determines the remains to be Native American, the NAHC will then be contacted by the Coroner to determine appropriate treatment of the remains pursuant to PRC 5097.98. Violators shall be prosecuted in accordance with PRC Section 5097.99

The applicant is ultimately responsible for ensuring compliance with this condition.

3. Under state planning and zoning law (CGC §66000 *et seq.*), a development project applicant who believes that a fee or other exaction imposed as a condition of project approval is excessive or inappropriately assessed may, within 90 days of the applicable date of the project's approval, file a written statement with the local agency stating the factual basis of their payment dispute. The applicant may then, within 180 days of the effective date of the fee's imposition, file an action against the local agency to set aside or adjust the challenged fee or exaction.
4. The applicant is required to pay for permit processing on a time and material basis as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of Supervisors. The Department will provide a bill to the applicant after the decision. Any and all outstanding Planning fees to cover the processing of the application to decision by the Hearing Officer shall be paid to the Humboldt County Planning Division, 3015 "H" Street, Eureka.
5. The Subdivision Approval shall be effective for 24. Extensions of this term may be requested in conformance with provisions of the Humboldt County Code.
6. The applicant is responsible for obtaining all necessary County and State permits, and for meeting all requirements set forth by other regulatory agencies.

7. Development approved under the Special Permit for wetland relocation and restoration must meet requirements imposed by the Development Plan notes outlined in Condition of Approval 12.B.1-18, as applicable.



LEGEND

- AC ASPHALT/CONCRETE
- EM ELECTRIC METER
- PH FIRE HYDRANT
- GA GIRT ANCHOR
- FBV PACIFIC BILL VAULT
- PQAE PACIFIC GAS & ELECTRIC COMPANY
- PP POWER POLE
- UG UNDERGROUND POWER
- WM WATER METER
- WV WATER VALVE
- OWB EXISTING OVERHEAD POWER LINE



-NOT TO SCALE-

NOTES

- 1 THIS TENTATIVE MAP PROPOSES THE SUBDIVISION OF AN EXISTING 14.59 ACRE PARCEL INTO TWO PARCELS
 - 2 WATER AND SEWER SERVICES: PARCEL 1 - AVAILABLE FROM MCSD; PARCEL 2 - AVAILABLE FROM MCSD
 - 3 TOPOGRAPIHC INFORMATION SHOWN ON SHEET 2 IS PER A FIELD SURVEY BY GUTIERREZ LAND SURVEYING IN THE 2016 DATUM OF SAID SURVEY IS ASSUMED. ONE FOOT CONTOURS ARE SHOWN ON SHEET 2
 - 4 PROPERTY LINE INFORMATION: PROPERTY LINES ARE SHOWN PER BOOK 77 OF SURVEYS, PAGES 17 AND 18
 - 5 ADDRESSES NO ADDRESSES HAS BEEN ASSIGNED AT THIS TIME
 - 6 UNDERGROUND DISCLAIMER: NO RESEARCH OR INVESTIGATION REGARDING UNDERGROUND PIPES, ELECTRIC LINES, OR OTHER SUBSURFACE FEATURES WAS PERFORMED BY THIS SURVEY. NO LIABILITY IS ASSIGNED FOR ANY UNDERGROUND INFORMATION
 - 7 BEFORE ANY EARTHWORK IS PERFORMED ON SUBJECT PROPERTY, PROPERTY OWNER IS ADVISED TO CONTACT UNDERGROUND SERVICES ALERT (USA) FOR ACCURATE LOCATION OF UNDERGROUND UTILITIES (811)
 - 8 WETLAND AREAS SHOWN HEREON ARE PER A WETLAND STUDY BY GHD
 - 9 THIS PROPERTY MAY BE ENCUMBERED BY THE FOLLOWING RECORDED INSTRUMENTS: NUMBERS ARE FROM A PRELIMINARY REPORT FOR THIS PROPERTY:
 - 6 BOOK 1182 O.R., PAGE 13 - NON-RESTRICTIVE, NON-EXCLUSIVE COMMERCIAL RIGHTS OF WAY FOR ROADWAY AND PUBLIC UTILITY PURPOSES - SHOWN HEREON
 - 7 BOOK 1182 O.R., PAGE 17 - A TRANSFERABLE, NON-RESTRICTIVE, NON-EXCLUSIVE COMMERCIAL RIGHTS OF WAY FOR ROADWAY AND PUBLIC UTILITY PURPOSES GRANTED TO THE MILLER FARM, A CO-PARTNERSHIP - SHOWN HEREON
 - 8 BOOK 1550 O.R., PAGE 654 - EASEMENT FOR INGRESS, EGRESS AND PUBLIC UTILITIES GRANTED TO PACIFIC GAS AND ELECTRIC COMPANY - SHOWN HEREON
 - 9 BOOK 1598 O.R., PAGE 032 - EASEMENT FOR INGRESS, EGRESS AND PUBLIC UTILITIES GRANTED TO PACIFIC GAS AND ELECTRIC COMPANY - SHOWN HEREON
 - 10 INSTRUMENT NO. 1996-229752 - 10 FOOT WIDE EASEMENT FOR INGRESS, EGRESS AND PUBLIC UTILITIES GRANTED TO PACIFIC GAS AND ELECTRIC COMPANY - SHOWN HEREON
 - 11 INSTRUMENT NO. 1996-297567 AND INSTRUMENT NO. 1996-297671 - MATTERS CONTAINED IN THESE CERTAIN DOCUMENTS - BLANKET IN NATURE - AFFECTS THE PROPERTY BUT UNPLOTTABLE. THESE LEASES ARE FOR THE OROCKOBY STORE THAT IS NORTH OF HILLER ROAD BUT THE LEGAL DESCRIPTION INCLUDES PARCELS A OF THIS MAP
 - 12 INSTRUMENT NO. 2007-289711 - EASEMENT FOR INGRESS, EGRESS AND PUBLIC UTILITIES, INCLUDING THE RIGHT TO DEDICATE THE EASEMENT TO THE COUNTY OF HUMBOLDT, IN FAVOR OF TIMBER RIDGE AT MCKINLEYVILLE LLC - SHOWN HEREON
 - 13 INSTRUMENT NO. 2007-289724 - NOTICE OF LOT LINE ADJUSTMENT - BLANKET IN NATURE - AFFECTS THE PROPERTY BUT IS UNPLOTTABLE
 - 14 BOOK 14 OF PARCEL MAPS, PAGES 146-147 - RECTALLA NOTES AND LEGEND, AS SHOWN THEREON - BLANKET IN NATURE - AFFECTS THE PROPERTY BUT IS UNPLOTTABLE
 - 15 INSTRUMENT NO. 2020-009916 - MATTERS CONTAINED IN SAID DOCUMENT - BLANKET IN NATURE - REFERS TO A DEVELOPMENT PLAN FOR THE SUBJECT PROPERTY ON FILE WITH THE HUMBOLDT COUNTY PLANNING AND BUILDING DEPARTMENT
- ALL EASEMENTS OF RECORD ARE SHOWN ON THE TENTATIVE MAP AND WILL APPEAR ON THE RECORDED SUBDIVISION MAP

APPROVED
 MAR 19 2026
 Humboldt County
 PLANNING

SURVEYOR/AGENT: MICHAEL J OYHERN, KELLY OYHERN ASSOCIATES, 1240 BUCKORE AVENUE, EUREKA, CA 95501, 707-442-2821

APPLICANT: LIFE PLAN HUMBOLDT, ATTN: ANN LINDSAY, 1581 HEARTWOOD DRIVE, MCKINLEYVILLE, CA 95519, 707-264-7471

OWNER: L.A.A ENTERPRISES LLC, ATTN: GREG TIERSON, 3114 HARRISON AVENUE, EUREKA, CA 95502, 707-268-1850



Michael J. Oyhern
 MICHAEL J OYHERN, L.S. 4829
 DATED: APRIL 28, 2025

APN 508-251-060
 APN 510-133-013
TENTATIVE PARCEL MAP
 FOR
LIFE PLAN HUMBOLDT
 IN
 N 10 NE 14 SECTION 10N, R.1E, HUMBOLDT MERIDIAN
 & 9 12 SE 14 SECTION 11 TN, R.1E, HUMBOLDT MERIDIAN
 IN THE UNINCORPORATED AREA OF HUMBOLDT COUNTY
 APRIL 2025 SCALE 1" = 60'

HUMBOLDT COUNTY
 STATE OF CALIFORNIA
 KELLY OYHERN ASSOCIATES
 EUREKA, CALIFORNIA



EXHIBIT A



DEPARTMENT OF PUBLIC WORKS
C O U N T Y O F H U M B O L D T
MAILING ADDRESS: 1106 SECOND STREET, EUREKA, CA 95501-0579
AREA CODE 707

ON-LINE
WEB: CO.HUMBOLDT.CA.US

	PUBLIC WORKS BUILDING SECOND & L ST., EUREKA FAX 445-7409		
ADMINISTRATION	445-7491	NATURAL RESOURCES	445-7741
BUSINESS	445-7652	NATURAL RESOURCES PLANNING	267-9540
ENGINEERING	445-7377	PARKS	445-7651
FACILITY MANAGEMENT	445-7493	ROADS	445-7421

CLARK COMPLEX
HARRIS & H ST., EUREKA
FAX 445-7388
LAND USE 445-7205

LAND USE DIVISION INTEROFFICE MEMORANDUM

TO: Michael Holtermann, Associate Planner

FROM: Erin Cearley, Senior Engineering Technician

RE: SUBDIVISION REQUIREMENTS - IN THE MATTER OF THE LIFE PLAN HUMBOLDT SUBDIVISION, APPLICATION # PLN-2025-19246 PMS, APN 508-251-060 and 510-133-013, FOR APPROVAL OF A TENTATIVE MAP, CONSISTING OF 14.59 ACRES INTO 2 PARCELS

DATE: 08/11/2025
02/23/2026 REVISION
03/05/2026 REVISION
03/19/2026 REVISED BY PC

The following requirements and standards are applicable to this project and must be completed to the specifications and satisfaction of the Department of Public Works (Department) before the subdivision map may be filed with the County Recorder. If there has been a substantial change in the project since the last date shown above, an amended report must be obtained and used in lieu of this report. Prior to commencing the improvements indicated below, please contact the Subdivision Inspector at 445-7205 to schedule a pre-construction conference.

These recommendations are based on the tentative map prepared by Kelly-O’Hern dated April 2025 and dated as received by the Humboldt County Planning Division on May 2, 2025.

NOTE: All correspondence (letters, memos, faxes, construction drawings, reports, studies, etc.) with this Department must include the Assessor Parcel Number (APN) shown above.

READ THE ENTIRE REPORT BEFORE COMMENCING WORK ON THE PROJECT

1.0 MAPPING

1.1 EXPIRATION OF TENTATIVE MAP

Applicant is advised to contact the Planning & Building Department to determine the expiration date of the tentative map and what time extension(s), if any, are applicable to the project.

Applicant is responsible for the timely filing of time extension requests to the Planning & Building Department.

Applicant is responsible for completing all of the subdivision requirements prior to expiration of the tentative map. Applicant is advised to promptly address all of the subdivision requirements in order to avoid the tentative map expiring prior to completion of the subdivision requirements. Applicants are encouraged to contact a land development professional for advice on developing a realistic schedule for the processing of the project.

1.2 MAP TYPE

Applicant must cause to be filed a subdivision map showing monumentation of all property corners to the satisfaction of this Department in compliance with County Code §326-31. Subdivision map checking fees shall be paid in full at the time the subdivision map is submitted for checking. County Recorder fees shall be paid prior to submittal of the map to the County Recorder for filing. The subdivision map must be prepared by a Land Surveyor licensed by the State of California -or- by a Civil Engineer registered by the State of California who is authorized to practice land surveying.

All Department charges associated with this project must be paid in full prior to the subdivision map being submitted to the County Recorder for filing.

Applicant shall submit to this Department an electronic copy of the subdivision map, in pdf format, as filed by the County Recorder. [Reference: Government Code §66466(f)]

Prior to submitting the subdivision map to the County Surveyor for map check, applicant shall submit the subdivision map to the utility providers to provide input on necessary public utility easements. Copies of the responses from the utility providers shall be included with the first submittal of the subdivision map to the County Surveyor.

1.3 DEPOSIT

Applicant shall be required to place a security deposit with this Department for inspection and administration fees as per County Code §326-13 prior to review of the improvement plans, review of the subdivision map, or the construction of improvements, whichever occurs first.

1.4 EASEMENTS

All easements that encumber or are appurtenant to the subdivision shall be shown graphically on the subdivision map. Those easements that do not have a metes and bounds description shall be noted on the subdivision map and shown as to their approximate location.

1.5 EASEMENT COORDINATION AND SIGN-OFF

Provide sign-off from all utility companies that existing and proposed public utility easements shown on the subdivision map are adequate for their needs.

1.6 FURTHER SUBDIVISION

At least some of the parcels may be further divided; therefore, the applicant shall conform to Humboldt County Code §323-6(a)(5), Statements to Accompany a Tentative Subdivision Map.

1.7 DEDICATIONS

The following shall be dedicated on the subdivision map, or other document as approved by this Department:

(a) PUBLIC ROAD: HILLER ROAD (COUNTY ROAD #3L080)

Public Road: Applicant shall cause to be dedicated on the subdivision map to the County of Humboldt an easement for public road purposes lying within 40 feet of the center line of the County road. The applicant is only responsible to cause to be dedicated lands that are included within the boundary of the proposed subdivision.

Sidewalks: Applicant shall cause to be dedicated on the subdivision map to the County of Humboldt a 10 foot wide easement for public sidewalk purposes lying adjacent to the right of way of the County road. The applicant is only responsible to cause to be dedicated lands that are included within the boundary of the proposed subdivision. This easement may overlap a public utility easement.

PUE: Applicant shall cause to be dedicated to the County of Humboldt on the subdivision map a 10 foot wide public utility easement (PUE) adjacent to the right of way for the road or as otherwise approved by this Department. Additional PUEs shall be dedicated in a manner, width, and location approved by this Department. **The need for a PUE as well as its limits will be determined by Public Works when the improvement plans are finalized. (Rev 2/23/26)**

(b) PUBLIC ROAD: NURSERY WAY

Public Road: Applicant shall cause to be dedicated on the subdivision map to the County of Humboldt an easement for public road purposes lying within 25 feet of the center line of the County road. The applicant is only responsible to cause to be dedicated lands that are included within the boundary of the proposed subdivision.

Sidewalks: Applicant shall cause to be dedicated on the subdivision map to the County of Humboldt a 10 foot wide easement for public sidewalk purposes lying adjacent to the right of way of the County road. The applicant is only responsible to cause to be dedicated lands that are included within the boundary of the proposed subdivision. This easement may overlap a public utility easement.

PUE: Applicant shall cause to be dedicated to the County of Humboldt on the subdivision map a 10 foot wide public utility easement (PUE) adjacent to the right of way for the road or as otherwise approved by this Department. Additional PUEs shall be dedicated in a manner, width, and location approved by this Department.

(c) NON-VEHICULAR ACCESS (HILLER)

Applicant shall cause to be dedicated to the County of Humboldt on the subdivision map a 1-foot wide non-vehicular access strip adjacent to Parcel 1 on Hiller Road. Said easement shall be dedicated in manner and location as approved by this Department.

(d) NON-VEHICULAR ACCESS (NURSERY)

Applicant shall cause to be dedicated to the County of Humboldt on the subdivision map a 1-foot wide non-vehicular access strip adjacent to Parcel 1 on the northerly 50 feet of Nursery Way. Said easement shall be dedicated in manner and location as approved by this Department.

(e) MIDTOWN TRAIL

Either on the subdivision map (or by separate document prior to issuance of a building permit) a 20 foot wide easement for the Midtown Trail shall be dedicated to the County of Humboldt. The location of the easement shall connect between the existing stub **on** the south to an appropriate end point at Hiller Road that will allow the trail to continue across Hiller Road and through APN 510-132-031. The alignment of trail is flexible within the subdivision; it does not have to be a straight projection of the trail on the south.

(f) CLUSTER BOX UNIT (CBU) MAILBOXES

Prior to submittal of the subdivision map, provide a sign-off from the Post Office on the location of the neighborhood box unit. Applicant shall cause to be dedicated on the subdivision map additional sidewalk easements as necessary to accommodate the CBU.

1.8 LINES OF OCCUPATION

Applicant shall provide prospective buyers with notice of any fences that are not on the property lines.

2.0 IMPROVEMENTS

2.1 CONSTRUCTION PLANS

Pursuant to County Code §326-3, construction plans shall be submitted for any required road, drainage, landscaping, and pedestrian improvements. Construction plans must be prepared by a Civil Engineer registered by the State of California. Construction plans shall be on a sheet size of 22" x 34", unless approved otherwise by this Department. Construction of the improvements shall not commence until authorized by this Department. This Department will require the submittal of 1 full size (22" x 34") set and 1 reduced (11" x 17") set of the approved construction plans prior to start of work. (See County code §326-3)

The construction plans shall show the location of all sensitive areas and required mitigation measures.

The construction plans shall show the location of all proposed new utilities and any existing utilities within 10 feet of the improvements. The plans shall be signed as approved by the local fire response agency and public utility companies having any facilities within the subdivision prior to construction authorization by this Department.

Construction plans shall be tied into elevation datum approved by this Department. Projects located within McKinleyville Community Services District (MCSD) area shall be tied to MCSD elevation datum unless waived by this Department.

Unless otherwise waived by this Department, record drawing ("As-Built") plans shall be submitted for any road, drainage, landscaping, and pedestrian improvements that are constructed as part of this project. Record drawing plans must be prepared by a Civil Engineer registered by the State of California. Once approved by this Department, one (1) set of "wet stamped" record drawings on 22" x 34" mylar sheets shall be filed with this Department.

2.2 CONSTRUCTION PERIOD

Construction of improvements for this project will not be allowed to occur between October 15 and April 15 without permission of this Department.

2.3 ADA FACILITIES

All pedestrian facilities shall be ADA compliant. This includes, but is not limited to, providing curb ramps at intersections and sidewalks behind driveway aprons (or ADA compliant driveway aprons).

Fire hydrants, neighborhood box units for mail, utility poles (including down guys), streetlights, or other obstructions will not be allowed in sidewalks unless approved by this Department.

Applicant shall replace/retrofit to meet current standards any non-ADA compliant pedestrian improvements within the public right of way (or access easements that the subject property has a legal right to use) contiguous to the project.

2.4 TRAFFIC CONTROL DEVICES & SIGNS

Traffic control devices and signs may need to be placed as required and approved by this Department. All signs and striping on County maintained roads shall be installed by the County at the expense of the developer, unless otherwise approved by the Department.

- (a) A stop sign shall be installed on Hiller Road at its intersection with Nursery Way. When the road is paved and has sufficient width, a "stop" pavement marking and limit line shall be installed.
- (b) No parking signs shall be installed along both sides of Nursery Way from Heartwood Drive to Hiller Road.
- (c) Street name signs shall be provided at all road intersections.
- (d) Fire hydrants shall be identified with a retroreflective blue colored raised pavement marker.
- (e) Additional signing and striping may be required by the Department upon review of the improvement plans. This includes, but is not limited to, centerline striping, two way left turn lane striping, bicycle lane striping, edge lines, dead end road signs, no outlet signs, speed limit signs, warning signs, etc....

2.5 ACCESS ROADS

The access road(s) serving the subdivision shall be constructed to the satisfaction of this Department as follows:

- (a) **NURSERY WAY** shall have a curb to curb distance of 34 feet. The road shall be striped with bike lanes and a centerline stripe. The road shall have Caltrans Type A2-6 portland cement concrete (PCC) curb and gutter, 4.5 foot wide landscape strip, and 5 foot sidewalk on each side.

Within the landscape strip, install street trees spaced every 25 feet.

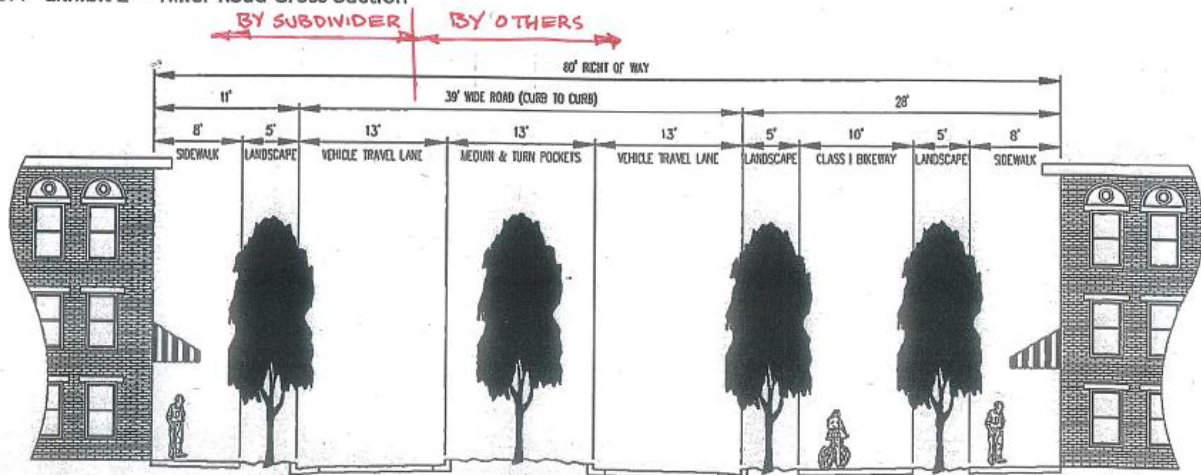
- (b) ~~HILLER ROAD shall have a curb to curb distance of 64 feet. road shall be striped with bike lanes and a centerline stripe. The road shall have Caltrans Type A2-6 portland cement concrete (PCC) curb and gutter, and 8 foot wide curb adjacent sidewalk with tree wells. The existing pavement shall be sawcut and in fill paving constructed from the sawcut to the edge of the new gutter. (REV 02/23/2026)~~

HILLER ROAD shall be widened as shown in the Town Center Ordinance, 4.3.4 Exhibit 2-- Hiller Road Cross Section, shown below. The 8' wide sidewalk, 5' wide landscape strip and Caltrans Type A2-6 curb and gutter shall be constructed from the edge of the right of way. The existing pavement shall be sawcut and in-fill paving constructed from the sawcut to the edge of the new gutter. Note that construction of the medians and other improvements will be done in the future by others. [Revised 03/06/2026]

The ultimate configuration of the Road is subject to review and recommendation by the MMAC and approval by the Board of Supervisors. Flexibility is reserved for possible changes to the Hiller Road cross section but it will go no further south than the current right of way line. [revised by PC 03/19/2026]

Public Works may desire, as an interim measure until the ultimate cross section is built, to construct buffered bike lanes along the southerly frontage of the property. The signing and striping of buffered bike lanes along the frontage of the subject property will be installed by the County and the County's expense. [revised by PC 03/19/2026]

4.3.4 Exhibit 2 — Hiller Road Cross Section



HILLER ROAD PROPOSED TYPICAL SECTION
 -NOT TO SCALE -
 ON STREET PARKING (PARALLEL OR ANGLED) TO BE ADDED AS REQUIRED; ADDITIONAL RIGHT OF WAY REQUIRED
 LANDSCAPING IS DEPENDENT UPON A PERMANENT FUNDING SOURCE BEING PROVIDED TO FUND FOR ONGOING MAINTENANCE

Above: Hiller Road Cross Section from Town Center Ordinance (Ordinance No. 2772).

From Central Avenue to the westerly edge of the subdivision, the road shall be striped with bike lanes on both sides and a continuous two way left turn lane. Left turn pockets shall be provided at Nursery Way/Shopping Center Driveway intersection. A left turn

pocket shall also be provided for the easterly driveway to the shopping center on the north side of Hiller Avenue.

Note that the location of the curb line is to be tied to the McKinleyville Town Center plan; minor adjustments to these conditions may be needed to comply with the street layout for Hiller Road.

- (c) **MIDTOWN TRAIL** shall be constructed as a paved trail 10 feet in width with 5 foot wide landscape strips on each side within a 20 foot wide corridor. The trail shall be constructed prior to issuance of an occupancy permit on Parcel 1.
- (d) All intersections (including driveways) must conform to Humboldt County Code §341 regarding visibility.
- (e) Within the landscape strip, install street trees spaced 25 feet on center.
- (f) The access road shall be signed and striped for no parking.
- (g) Intersection corner radii at the curb face shall be provided at the intersection of roads based upon the following, unless otherwise approved by this Department:

Intersection Corner Radii AASHTO, Chapter 9, “Corner Radii into Local Urban Streets”				
Road Classification Road “B”	Road Classification – Road “A”			
		local roads	collector roads & arterial roads	Collector roads & arterial roads
	local roads	15'	20'	N/A
	collector roads & arterial roads	20'	25'	40'
	industrial use areas & truck routes	N/A	40'	40'

- (h) The widening of Hiller Road may require the reconstruction of the existing road to provide a uniform centerline grade compatible with the proposed curb grade. This is necessary in order to provide an adequate cross slope to the proposed gutter. Engineering plans showing existing and proposed conditions for both the centerline grade and roadway cross sections will be necessary to ensure proper drainage. In addition, existing utilities may need to be adjusted and/or relocated at the expense of the applicant.
- (i) Nothing is intended to prevent the applicant from constructing the improvements to a greater standard.
- (j) Nothing is intended to prevent this Department from approving alternate typical sections, structural sections, drainage systems, and road geometrics based upon sound engineering principals as contained in, but not limited to, the Humboldt County Roadway Design Manual, Caltrans Highway Design Manual, Caltrans Local Programs Manual, Caltrans Traffic Manual, California Manual on Uniform Traffic Control Devices (MUTCD), and AASHTO’s A Policy of Geometric Design of Highways and Streets (AKA “The Green

Book”). Engineering must not be in conflict with Humboldt County Code or County adopted guidelines and policies.

- (k) Applicant shall remove and replace any public curb, gutter, sidewalk, flowline drain, or pavement found by this Department to be broken, uplifted, or damaged that fronts or is within the subdivision.
- (l) The surface of the access road(s) shall conform to the *Structural Section* requirements within this document.

2.6 DRIVEWAYS

The location of existing and proposed driveway aprons (access openings) shall be shown on the construction plans. Existing driveways shall be relocated/ retrofitted/ improved as necessary to meet the following:

- (a) **GEOMETRY:** Existing and proposed driveways shall intersect the road at a 90° angle, unless otherwise approved by this Department.

- (b) **GRADE:** Driveway grades shall conform to the following:

When concrete curb is present, the maximum grade of the driveway shall be 16%.

- (c) **VISIBILITY:** All driveways shall conform to Humboldt County Code § 341 regarding visibility.

- (d) **DRIVEWAY SURFACE:** The surface of the driveway shall conform to the *Structural Section* requirements within this document.

Driveways connecting to paved roads: Existing and proposed driveways shall be paved for the entire width of the driveway. The driveway shall be paved for a minimum length of 25 feet.

When a concrete curb is present, a portland cement concrete driveway apron (Urban Driveway No. 1 Standard Plan) shall be constructed.

- (e) **DRIVEWAY WIDTHS:** The width of the driveway shall be as approved by this Department.

Driveway Widths (W)			
Type	Minimum	Recommended	Maximum
Residential	10'	18'	20'
Non-Residential	12'	24	29'

- (f) **DRAINAGE:** A parkway drain shall be provided so that parking lot drainage does not cross the sidewalk.
- (g) **ENCROACHMENT PERMIT:** Any new driveways (access openings) from the County road will require encroachment permit from this Department.

2.7 STRUCTURAL SECTION

The access road(s) shall be constructed to a structural section recommended in the soils report and as approved by this Department.

- (a) **For paved road surfaces**, the structural section shall include a minimum of 0.2 feet of Caltrans Type A 1/2" hot mix ("asphalt") over 0.67 foot of Caltrans Class 2 aggregate base. If required by this Department, the structural section of all roads shall be determined by Caltrans R-Value method using a Traffic Index (T.I.) approved by this Department. Based upon soil conditions, this Department may also require a geotextile fabric to be placed on top of the sub grade.
- (b) When widening hot mix ("asphalt") roads, the widened road shall be paved with hot mix. A sawcut is required to ensure a uniform joint between the existing and new pavements. The location of the sawcut shall be approved by this Department based upon the condition of the existing road surface.

Access roads and driveways may include decorative accent treatments such as, but not limited to, stamped concrete or decorative brick pavers. Decorative accent treatments must provide appropriate traction for pedestrians, bicycles, and vehicles. **Decorative access treatments are not permitted within the public right of way**, unless approved in writing by this Department.

2.8 UNKNOWN IMPROVEMENTS

Other on-site and/or off-site improvements may be required which cannot be determined from the tentative map and/or preliminary improvement plans at this time. These improvements will be determined after more complete improvement plans and profiles have been submitted to the County for review.

2.9 UTILITIES

The proposed improvements may require the undergrounding or relocation of existing facilities at the expense of the applicant. Undergrounding of existing facilities, relocation of existing facilities, or construction of new facilities shall be completed prior to constructing the structural section for the roadway.

If any utilities are required to be installed as a condition of tentative map, the utility work shall be completed prior to constructing the structural section for the road. All laterals shall be extended onto each lot and marked in a manner that they will be easily located at the time of individual hookups. A letter of completion of all work from each involved utility company shall be submitted prior to constructing the roadway structural section. Any utilities that need to be relocated shall be done solely at the subdivider's expense.

Applicant shall remove any abandoned utilities (natural gas, electrical, cable tv, etc.) within the public right of way fronting the subdivision or within the subdivision as directed by this Department.

2.10 PERMITS

Pursuant to County Code §411-11 (a)&(b), an encroachment permit is required to be obtained prior to construction from this Department for all work within the right of way of a County maintained road.

2.11 CLUSTER BOX UNIT (CBU) MAILBOXES

When clustered mailboxes (neighborhood box units) are required by the Post Office, applicant shall obtain approval for the location of the mailbox unit from the Postmaster. The pad for the mailbox unit shall be constructed as part of the subdivision and shall be encompassed by a sidewalk easement or other easement, as approved by this Department. If the CBUs will not be installed by the Post Office, the subdivider shall install the CBUs as part of the subdivision.

2.12 GATES

Gates are not permitted on County right of way for public roads without authorization of the Board of Supervisors. Gates must not create a traffic hazard and must provide an appropriate turnaround in front of the gate. Existing gates shall be evaluated for conformance.

2.13 COMPLETION OF IMPROVEMENTS ON PARCEL MAP SUBDIVISION

When improvements are not constructed before the subdivision map is filed with the County Recorder, the following apply:

- (a) ***Deferment tied to Parcel Map filing:*** Pursuant to Government Code § 66411.1 (improvement timing), fulfillment of reasonable on-site and off-site construction requirements may be imposed prior to Parcel Map filing with the County Recorder if found necessary for (1) public health and safety, or (2) orderly development of the area. The following improvements are necessary for the public health and safety, or orderly development of the area and shall be completed: (1) within two (2) years after the filing date of the Parcel Map, or (2) prior to issuance of a building permit on any property subject to this notice, or (3) prior to any other grant of approval for any property subject to this notice, whichever occurs first:

<NONE>

- (b) ***Deferment tied to issuance of building permit:*** The following improvements shall be completed: (1) prior to issuance of a building permit on any property subject to this notice, or (2) prior to any other grant of approval for any property subject to this notice, whichever occurs first:

<NONE>

- (c) ***Deferment tied to building final or occupancy:*** The following improvements shall be completed: (1) within two (2) years after the issuance of a Building Permit on any property subject to this notice, or (2) prior to issuance of an Occupancy Permit for any property subject to this notice, whichever occurs first:

Items 2.3 ADA, 2.4 traffic signs, 2.5 (a) Hiller Road, 2.5 (b) Nursery Way, 2.5(c) Midtown Trail; 2.11 CBU, Items 3.5 detention; 3.7 LID

The applicant may defer the improvements to Hiller Avenue, Public Works Item 2.5(b), until 5 years from the date of issuance of the building permit. This option, if elected by the Subdivider, would 1) need to be exercised by the Subdivider before the parcel map is filed; and 2) require that subdivider enter into a bonded subdivision agreement with the County guaranteeing completion of the improvements. [revised by PC 03/19/2026]

- (d) ***Deferment of sidewalk:*** Sidewalk improvements on vacant lots may be deferred until such time as a building permit is pulled. Each building permit pulled will require that an ADA accessible sidewalk be constructed to connect the subject lot to the existing pedestrian network outside of the subdivision. Depending on the lot being built upon, this may include constructing sidewalk in front of numerous vacant lots within the subdivision. Sidewalk improvements must be completed prior to the “final” of the building permit. Any sidewalk damaged during construction will need to be replaced prior to the “final” of the building permit.

Sidewalks on lots with multiple road frontages can only defer the sidewalk on the frontage where the driveway is proposed.

- (e) ***Notice of Deferment:*** When improvements are deferred, the Department shall cause to be recorded at the time of filing of the parcel map with the County Recorder a *Notice of Construction Requirements*. In addition, the following note shall be placed on the development plan submitted to the Planning & Building Department:

"This subdivision was approved with requirements to construct improvements. At the time the parcel map was filed, the improvements were not completed. The subdivision improvements must be completed within the timelines specified in the *Notice of Construction Requirements*. Building permits or other development permits cannot be obtained until the required improvements are constructed to the satisfaction of the County. The improvements required in the *Notice of Construction Requirements* are shown on the improvement plans prepared by _____, dated _____, and are signed as approved by the County on _____. Contact the Land Use Division of the Department of Public Works for details."

3.0 DRAINAGE

3.1 PRELIMINARY DRAINAGE REPORTS

Any submitted reports have not been through a thorough engineering review. Detailed review and approval will be provided after the tentative map has been approved. This also applies to low impact development submittals.

3.2 DRAINAGE ISSUES

Applicant shall be responsible to correct any involved drainage problems associated with the subdivision to the satisfaction of this Department.

3.3 DRAINAGE REPORT

Applicant must submit a complete hydraulic report and drainage plan regarding the subdivision for review and approval by this Department. The report and plan must be prepared by a Civil Engineer registered by the State of California. This may require the construction of drainage facilities on-site and/or off-site in a manner and location approved by this Department.

3.4 STORM WATER QUALITY

Applicant shall include within the project site the implementation of Best Management Practices (BMPs) to prevent storm water pollution. BMPs include, but are not limited to, stenciling drainage inlets.

A storm water filtration system shall be constructed to the satisfaction of this Department. A note shall be placed on the development plan indicating this.

3.5 DETENTION FACILITIES

Pursuant to McKinleyville Community Plan Policy 3310 (5) and Humboldt county General Plan Policy WR-P37, the applicant shall construct detention facilities in a manner and location approved by this Department. In general, storm flows from the 100-year (Q_{100}) storm shall be detained so as to release water from the site at a rate no greater than the predevelopment 2-year (Q_2) storm flows. Contact this Department regarding any questions.

In McKinleyville, the drainage report shall address increased runoff from all development that occurred after 12/10/2002.

If the site conditions do not allow for detention, then infiltration may be considered by the Department as an alternative.

3.6 DRAINAGE FEES

Applicant must conform to Humboldt County Code § 328.1-16 regarding McKinleyville Drainage Area Fees.

3.7 LOW IMPACT DEVELOPMENT (LID)

The subdivision is required to comply with County Code § 337-13. The applicant shall submit a Storm Water Information Sheet for review and approval by the County. The improvement plans must incorporate LID strategies for the entire subdivision, including roads, lots, and other areas.

At the time that the subdivision improvements are constructed, the LID elements related to an individual lot may be deferred until such time as the lot is developed. It is intended that any deferred LID strategies shown on the improvement plans for a lot are conceptual in nature and subject to adjustment/refinement at the time that the building permit is applied for. Any deferred LID improvements must be shown and identified on the Development Plan.

When there will be deferred LID improvements, a separate sheet in the improvement plans shall be provided for the LID concepts proposed for the individual lots. It is intended that this sheet will be attached to the development plan to facilitate issuance of a building permit at a later time.

Each lot in the subdivision is considered a regulated project.

4.0 GRADING

<NONE>

5.0 MAINTENANCE

5.1 MAINTENANCE OF IMPROVEMENTS

The improvements to be constructed as part of this subdivision will not be maintained by the County. Pursuant to Humboldt County Code § 324-2 (b) regarding Private Lanes, the Applicant must provide a permanent maintenance plan acceptable to this Department for all improvements

including, but not limited to, the following: roads, drainage systems (pipes, drainage inlets, detention basins), pedestrian facilities, and landscape areas. An engineer's estimate for the cost of yearly maintenance must be approved by this Department. Maintenance shall be provided by a maintenance association, district, or other means as approved by this Department. More than one maintenance plan may be required.

A maintenance plan for projects that contain consolidated detention facilities shall include, but is not limited to, the following:

- (a) A schedule for the periodic monitoring of the detention facilities. At a minimum, the detention facilities shall be monitored at least once each year between April 15 and October 15.
- (b) A system to monitor the basins in a timely manner after significant rain fall events.
- (c) Monitoring shall be done by a qualified professional as approved by this Department.
- (d) Monitoring shall include an annual written report identifying (1) the condition of the facilities; (2) the recommended maintenance needed for the facilities to function as originally constructed or as required by subsequent regulation; and (3) certification that the maintenance was completed to the satisfaction of a qualified professional. The report shall be submitted no later than October 31 of each year to this Department.
- (e) A financially secured procedure that will ensure that maintenance is identified and subsequently performed in a timely manner.
- (f) For infiltration basins, wet weather testing of the percolation rate of the basin consistent with Department of Environmental Health standards for determining the percolation rates for septic systems. Percolation rate testing shall be done every five (5) years.

5.2 MAINTENANCE AGREEMENTS

Any agreements regarding the maintenance of the detention facilities between the applicant and a public entity or Homeowners Association may be required to be approved by County Counsel and the County Risk Manager.

6.0 PUBLIC WORKS SPECIAL REQUIREMENTS FOR DEVELOPMENT PLANS

<NONE>

7.0 LANDSCAPING

7.1 LANDSCAPING PLAN

A landscape plan is required for all landscaping within the public right of way pursuant to Section 13 of the Appendix to Title III, Division 2, Humboldt County Code. The plans must show the proposed irrigation facilities. The plan shall be prepared by a landscape architect or other qualified professional as approved by this Department. Monument signs, if proposed, and landscaping shall be shown on the plan and shall conform with Humboldt County Code Section 341 regarding visibility. All work and materials shall be warranted for a minimum of 1 year from filing of the subdivision map, unless otherwise approved by this Department. The

landscape plan shall be approved by this Department. It must include a minimum of the following:

- (a) List of species to be planted (common name and scientific name).
- (b) An irrigation system. All landscaping that is not drought tolerant shall be maintained by a permanent automatic irrigation system.
- (c) Planting and fertilization method
- (d) Maintenance Manual
- (e) Staking Method for trees
- (f) The plant types must be approved by this Department
- (g) Landscaping within the right of way shall consider appropriate screening for utilities and structures such as gas meters, electrical meters, telephone pedestal-mounted terminal boxes, surface mounted electrical transformers, etc.

7.2 SPECIES

A list of approved trees and shrubs shall be shown on the development plan as the only trees and shrubs permitted in the parkway area, unless otherwise approved by this Department. Utilize native species when appropriate.

7.3 MAINTENANCE

Landscaping along the frontage of public streets is the responsibility of the adjacent lot owner. Landscaping along the frontage of private roads is the responsibility of the road maintenance association for the private road or is the responsibility of the adjacent lot owner.

This Department **may** maintain landscaping along collector or arterial roads when permanent funding source is made available.

7.4 LANDSCAPING GOALS

When on-site landscaping is required, any unimproved county right of way contiguous with the property shall be incorporated into the landscaping plan. Any landscaping shown within the County right of way shall be in addition to any required landscaping areas and shall not be counted towards meeting a landscaping goal.

7.5 WATER EFFICIENT LANDSCAPE GOALS

For projects with an aggregate landscape area equal to or greater than 500 square feet, landscaping design and documentation shall be completed in accordance with County Code §331-11(o).

After approval, the applicant shall submit a copy of the Water Efficient Landscape Worksheet to the local water purveyor.

8.0 MITIGATION MEASURES

<NONE>

// END//