



COUNTY OF HUMBOLDT
PLANNING AND BUILDING DEPARTMENT
CURRENT PLANNING DIVISION

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Phone: (707)445-7541 Fax: (707) 268-3792

Hearing Date: August 20, 2020
To: Humboldt County Planning Commission
From: John H. Ford, Director of Planning and Building Department
Subject: **Crisp Farms, LLC, Conditional Use Permit**
Application Number 11019
Record Number CUP16-129
Assessor's Parcel Number (APN) 315-093-006
Grouse Creek Road, Dinsmore area

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Please contact Misael Ramos C., Planner, at 707-445-7541 or by email at mramos1@co.humboldt.ca.us if you have any questions about the scheduled public hearing item.

AGENDA ITEM TRANSMITTAL

Hearing Date August 20, 2020	Subject Conditional Use Permit	Contact Misael Ramos C.
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Project Description: A Conditional Use Permit for an existing 43,560 SF of outdoor medical cannabis cultivation operation. Processing occurs in the 640 SF on-site commercial processing building which will be retrofitted to meet ADA standards. Water for irrigation is sourced from an existing 280,000-gallon rainwater catchment pond on adjacent parcel under common ownership APN 315-092-007 and a permitted groundwater well which is not currently operational and it subject to forbearance requirements. Water storage consists of fourteen hard-sided water storage tanks a totaling 26,975 gallons for cannabis cultivation. Applicant estimates approximately 280,000 gallons of water is required for the annual operations (6.3 gallons per square foot). The power source comes from noise-attenuated generators.

Project Location: The project is located in Humboldt County, in the Dinsmore area, on the South side of the terminus of Rottis Craft Road, approximately 1-mile East from the intersection of Rottis Craft Road and a Private Drive. On the property known to be in Section 13 of Township 04 North, Range 04 East, Humboldt Base & Meridian.

Present Plan Land Use Designations: Timberland (T), Density: 40-160 acres per dwelling unit: High Instability (3).

Present Zoning: Agriculture Exclusive (AE-B-5(160)) and Timber Production Zone (TPZ).

Application Number: 11019

Case Number: CUP16-129 and PLN-11019-CUP

Assessor Parcel Numbers: 315-093-006

Applicant	Owner	Agent
Crisp Farms, LLC Dean Crisp 4270 Lentell Rd. Eureka, CA 95503	Dean Crisp 4270 Lentell Rd. Eureka, CA 95503	NONE

Environmental Review: An Addendum to a previously adopted Mitigated Negative Declaration has been prepared for consideration per §15164 of CEQA Guidelines.

State Appeal Status: Project is NOT appealable to the California Coastal Commission.

Major Issues: None.

CRISP FARMS, LLC

Case Numbers: CUP16-129 and PLN-11019-CUP

Assessor's Parcel Number: 315-093-006

Recommended Commission Action

1. Describe the application as part of the Consent Agenda.
2. Survey the audience for any person who would like to discuss the application.
3. If no one requests discussion, make the following motion to approve the application as a part of the consent agenda:

Find that the Commission has considered the Addendum to the adopted Mitigated Negative Declaration for the Commercial Medical Land Use Ordinance (CMMLUO) as described by Section §15164 of the State CEQA Guidelines, make all of the required findings for approval of the Conditional Use based on evidence in the staff report and adopt the Resolution approving the Hwy 36 Farms, LLC, Conditional Use Permit and Special Permit as recommended by staff subject to the recommended conditions.

Executive Summary: Crisp Farms, LLC seeks approval of a Conditional Use Permit (CUP) for an existing outdoor medical cannabis cultivation operation located on one legal parcel comprised of Assessor's Parcel Number (APN) 315-093-006 which is approximately 125 acres in size.

The project consists of an existing 43,560 SF of outdoor medical cannabis cultivation on APN 315-093-006. The outdoor cultivation is carried out within seven (7) full sun areas varying in size and in three hoop houses: one 2,100 SF hoop house, one 1,760 SF hoop house and one 672 SF hoop house.

The project includes other ancillary structures and uses including two storage containers, a chemical storage building, an existing 2,400 SF processing building and ADA compliant portable restroom facilities and a 640 SF drying shed. Propagation occurs in a 495 SF hoop house with supplementary artificial lighting.

Irrigation water is sourced from an existing 280,000-gallon pond on adjacent parcel under common ownership APN 315-092-007 and a permitted well (Humboldt County Division of Environmental Health Permit # 17/18-1785) is available for backup irrigation water and is subject to the May 15th through October 31st forbearance period. Water is gravity fed from the pond to the existing hard storage tanks at lower elevation. Water storage currently consists of one 2,500-gallon tanks, four 1,550-gallon tanks, four 3,000-gallon tanks, one 1,250-gallon tank, one 4,200-gallon tank, and three 275-gallon tank totaling 26,975 gallons. The Applicant estimates approximately 280,000 gallons of water is required for the annual operations. Cultivation areas will be watered at an agronomic rate and both by hand and using a drip system on timers to decrease runoff.

Cultivation activities will consist of one cycle for the outdoor cultivation. Once harvested, plants will be dried on-site and in the existing 640 SF ancillary processing building. Plants are inspected and then processed in the building. Cut flowers will be de-leafed and be prepared for drying. Once the proper moisture is achieved flowers will be bucked and placed into bins then placed in the curing room. Cured flowers will be bagged until being hand trimmed and finishing. Finished product is packaged and sealed to await transport. Trimmed waste material will be recycled for secondary markets.

The Applicant has enrolled in the North Coast Regional Water Quality Control Board (NCRWQCB) Cannabis Waste Discharge Regulatory Program as a Tier 2 discharger (WDID 1B171682CHUM). A Water Resource Protection Plan (WRPP) was prepared by Timberland Resource Consultants (TRC).

No timber conversion has occurred after the adoption of the Commercial Medical Marijuana Land Use Ordinance and associated Mitigated Negative Declaration. Apparent timber removal has involved removal of individual trees to promote defensible space and to remove dead trees and hazardous branches.

All garbage and cannabis related waste is stored in a secure 8'x20 cannabis waste storage containers.

The Applicant will self-haul waste regularly to a fully permitted and manned waste transfer facility (Willow Creek). As part of the soil management plan, the Applicant will compost plant related waste to use as soil amendments in secure bins to prevent nutrient transport. Fertilizers and pesticides are currently stored in a storage shed with secondary containment to prevent contamination with runoff.

Employees will travel to the site daily as no on-site housing is proposed. Access to the site is via USFS 1 Road which is paved and striped and meets Category 4 standards. The interior of the site is accessed by traveling .2 miles down unpaved Grouse Creek Rd. and then via the private road which is approximately 2 miles in length. Adequate parking for up to twenty-five employees is provided on site near the lower cultivation site and at the end of the private road. There are locked gates on the private access road. All interior structures have lockable doors and windows and all finished cannabis is stored in locked shipping containers. The main entrance, as well as along the property lines, are posted with "No Trespassing" signs.

Two known activity centers for Northern Spotted Owl (NSO) are located 0.3 miles southwest of the project site. The project includes generators, and construction activities could disturb NSO should they be on the project site. The site is understood to be habitat for Northern Spotted Owls, or in the vicinity of NSO habitat. As such, the applicant will attenuate all project related noise to 50dB or less at 100 feet from the source or at the edge of habitat, whichever is nearest. The applicant will shield lighting used in the ancillary nursery 30 minutes before dusk and 30 minutes after dawn to avoid disturbance of crepuscular life. All vegetative cultivation is full sun outdoor. Generators are used to power the ancillary processing facility and an artificially illuminated ancillary nursery.

The applicant submitted an R-2 Geologic Soils Report completed in December of 2015 for APN 315-093-006 by Trinity Valley Consulting Engineers, Inc. The Report concluded that there was no evidence of imminent geologic or seismic instability. The Report recommends that all earth moving involved in ADA retrofitting and septic system installation be carried out between mid-April and mid-October, that all top soil and vegetation be removed from project areas and for a minimum of three feet outside the project area, and that all fill soils, fine grained residual soils and other debris be removed from sites receiving fill. Proposed earth moving consists of installation of a septic system.

The applicant submitted an On-site Wastewater Treatment System Design Report completed in December of 2015 for APN 315-093-006 by Trinity Valley Consulting Engineers, Inc. The Report found that the proposed septic system site was suitable given the limitations put forth by the North Coast Regional Water Quality Control Board regarding separation of leachate from the water table.

Per the applicant and based on the Site Plan, all cultivation areas are setback at least 30-feet or more from property lines. No portions of any cultivation related appurtenant structures are located within the setback. All structures are one story or less. The only cannabis project related permanent structures are the existing 2,400 SF processing facility, the existing 640 SF drying, and bucking shed and three existing 200 SF fertilizer, chemical and secure cannabis storage containers. The structures conform to firesafe setback regulations required under Section 3115-2. All structures conform with the regulations.

There are no schools, school bus stops, churches, public parks, public lands, or known tribal cultural resources within 600-feet of the nearest cultivation area.

Environmental review for the proposed project as proposed was conducted, and based on the results of that analysis, staff determined the existing cultivation and processing aspects of the project were previously analyzed in the Final Mitigated Negative Declaration prepared for the Commercial Medical Land Use Ordinance (CMMLUO) adopted by the Humboldt County Board of Supervisors on January 26, 2016. Permitting the existing cultivation areas and bringing them into compliance with County and State regulations would not present substantial changes that would require major revisions to the previous mitigated negative declaration. An addendum to the MND has been prepared for this staff recommendation of permitting the existing cultivation areas. The addendum is included as Attachment 3.

Based on a review of Planning Division reference sources and comments from all involved referral agencies, planning staff believes that the Applicant has submitted evidence in support of making all of the required

findings for approving the Conditional Use Permit.

ALTERNATIVES: The Planning Commission could elect not to approve the project, or to require the Applicant to submit further evidence, or modify the project. Modifications may cause potentially significant impacts, additional CEQA analysis and findings may be required. These alternatives could be implemented if the Commission is unable to make all of the required findings. Planning Division staff has stated that the required findings in support of the proposal have been made. Consequently, Planning staff does not recommend further consideration of either alternative.

The Commission could also decide that the project may have environmental impacts that would require further environmental review pursuant to CEQA. Staff did not identify any potentially significant impacts. As Lead Agency, the Department has determined that the Project is consistent with the Mitigated Negative Declaration adopted for the Commercial Medical Marijuana Land Use ordinance (CMMLUO). However, the Commission may reach a different conclusion. In that case, the Commission should continue the item to a future date at least two months later to give staff the time to complete further environmental review.

**RESOLUTION OF THE PLANNING COMMISSION
OF THE COUNTY OF HUMBOLDT
Resolution Number 20-**

**Case Numbers: CUP16-129, PLN-11019-CUP
Assessor Parcel Number: 315-093-006**

Makes the required findings for certifying compliance with the California Environmental Quality Act and conditionally approves the Crisp Farms, LLC Conditional Use Permit request.

WHEREAS,

Crisp Farms, LLC submitted an application and evidence in support of approving one Conditional Use Permit for the existing 43,560 square foot (SF) outdoor medical cannabis cultivation. The project includes ancillary propagation in a 495 SF hoop house, ancillary drying in an existing 640 SF facility and ancillary processing in an existing 2,400 SF facility which is to be retrofitted to commercial and ADA standards.

WHEREAS, the County Planning Division has reviewed the submitted application and evidence and has referred the application and evidence to involved reviewing agencies for site inspections, comments and recommendations; and

WHEREAS, the County Planning Division, the lead agency, prepared an Addendum to the Final Mitigated Negative Declaration prepared for the Commercial Medical Land Use Ordinance (CMMLUO) adopted by the Humboldt County Board of Supervisors on January 26, 2016. The proposed project does not present substantial changes that would require major revisions to the previous mitigated negative declaration. No new information of substantial importance that was not known and could not be known at the time was presented as described by §15162(c) of CEQA Guidelines; and

WHEREAS, Attachment 2 in the Planning Division staff report includes evidence in support of making all of the required findings for approving the proposed Conditional Use Permit; and

WHEREAS, a public hearing was held on the matter before the Humboldt County Planning Commission on August 20, 2020.

NOW, THEREFORE, be it resolved, determined, and ordered by the Humboldt County Planning Commission that:

1. The Planning Commission considered the Addendum to the MND adopted for the Commercial Medical Marijuana Land Use Ordinance; and
2. The Planning Commission makes all of the required findings in Attachment 2 of the Planning Commission staff report for Case Numbers CUP16-154 and PLN-11122-CUP, based on the submitted substantial evidence; and
3. Conditional Use Permit CUP16-129 and PLN-11019-CUP is approved as recommended and conditioned in Attachment 1.

Adopted after review and consideration of all the evidence on August 20, 2020

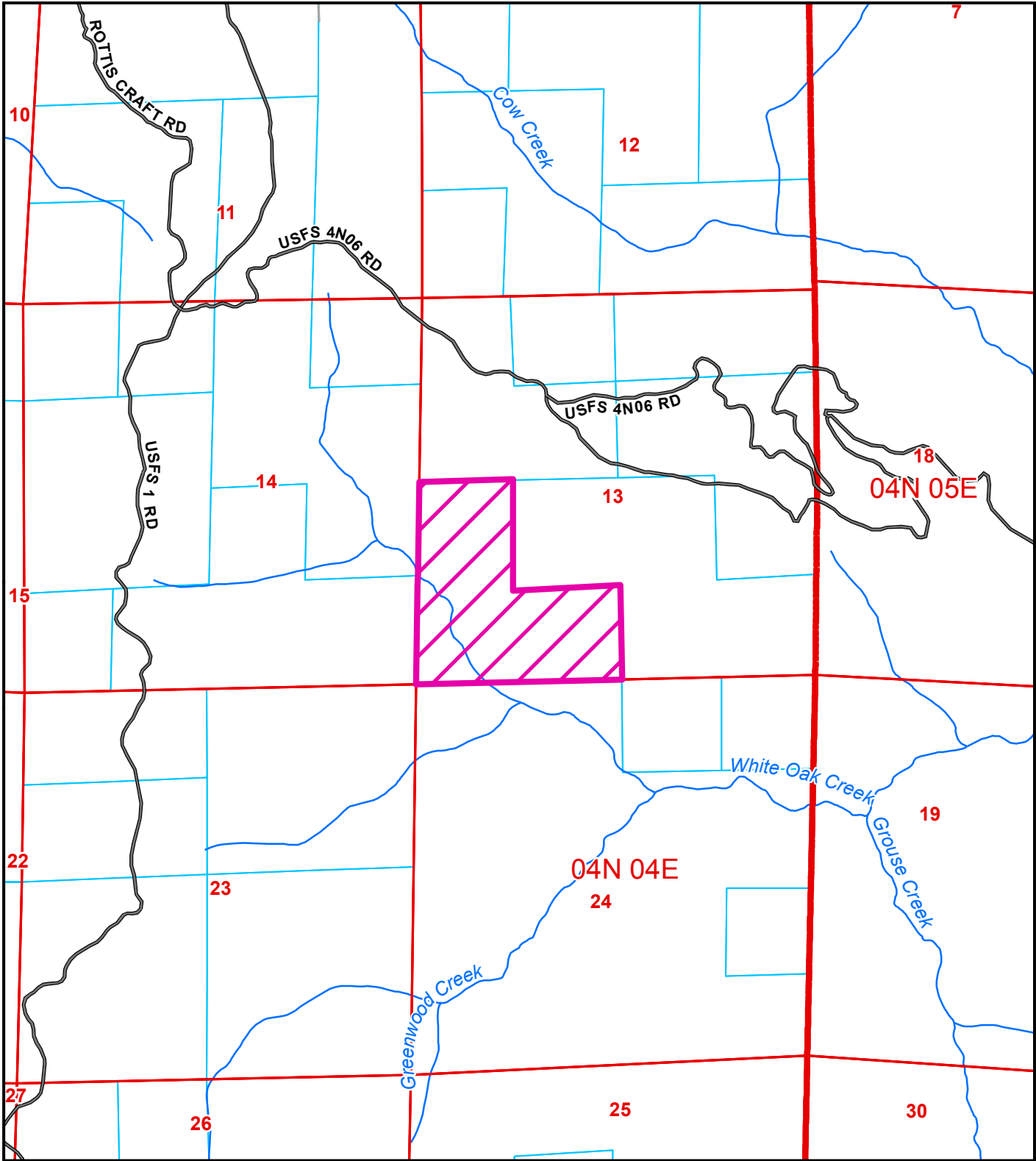
The motion was made by Commissioner ____ and seconded by Commissioner ____.

AYES: Commissioners:
NOES: Commissioners:
ABSTAIN: Commissioners:
ABSENT: Commissioners:


DECISION:


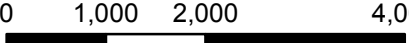
I, John Ford, Secretary to the Planning Commission of the County of Humboldt, do hereby certify the foregoing to be a true and correct record of the action taken on the above entitled matter by said Commission at a meeting held on the date noted above.

John Ford, Director
Planning and Building Department

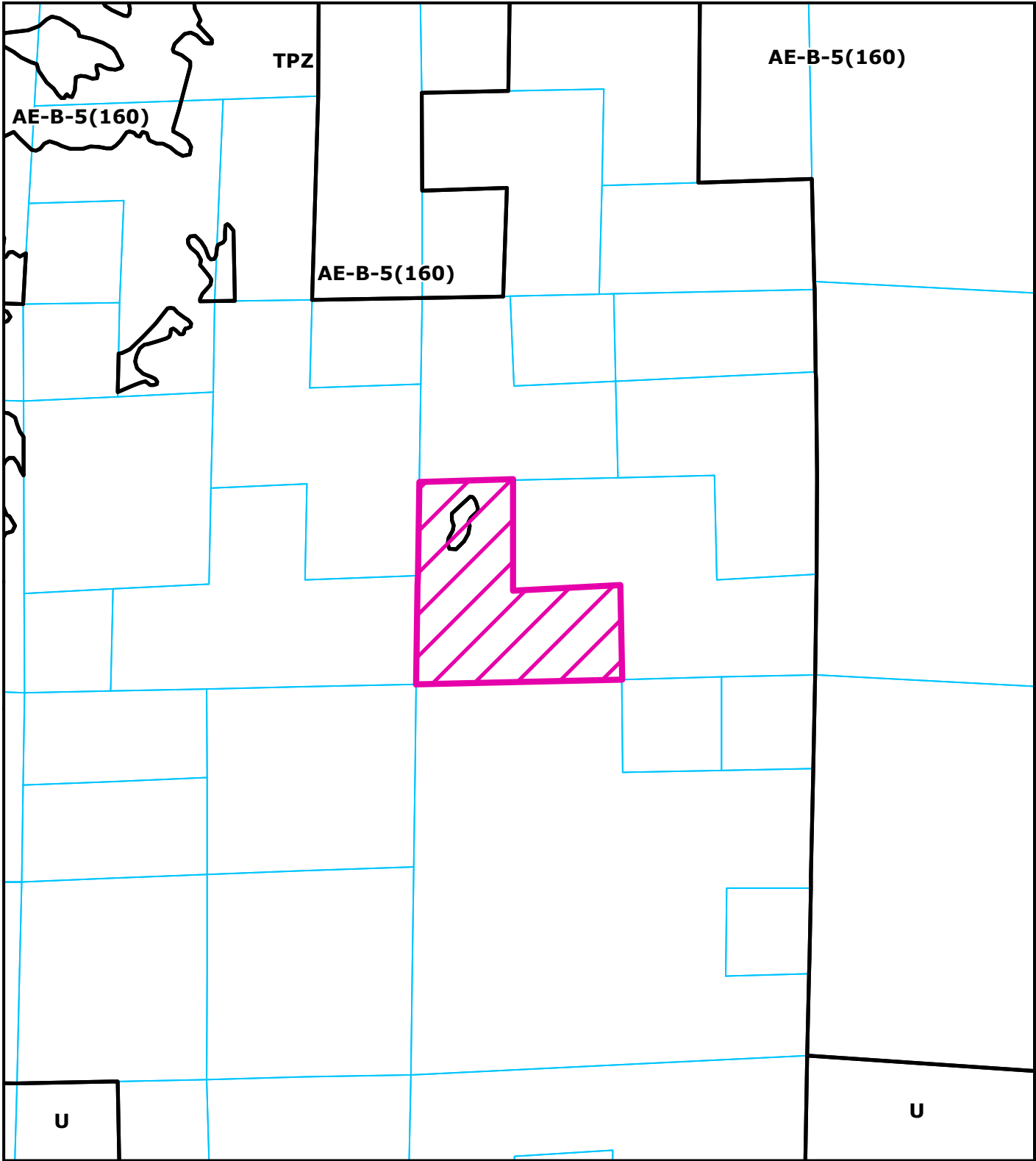


**TOPO MAP
PROPOSED DEAN CRISP
KORBEL AREA
CUP-16-129
APN: 315-093-006-000
T04N R04E S13 HB&M (BOARD CAMP MTN)**

Project Area = 


 0 1,000 2,000 4,000 Feet


This map is intended for display purposes and should not be used for precise measurement or navigation. Data has not been completely checked for accuracy.



Project Area = 

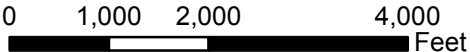
**ZONING MAP
 PROPOSED DEAN CRISP
 KORBEL AREA
 CUP-16-129**

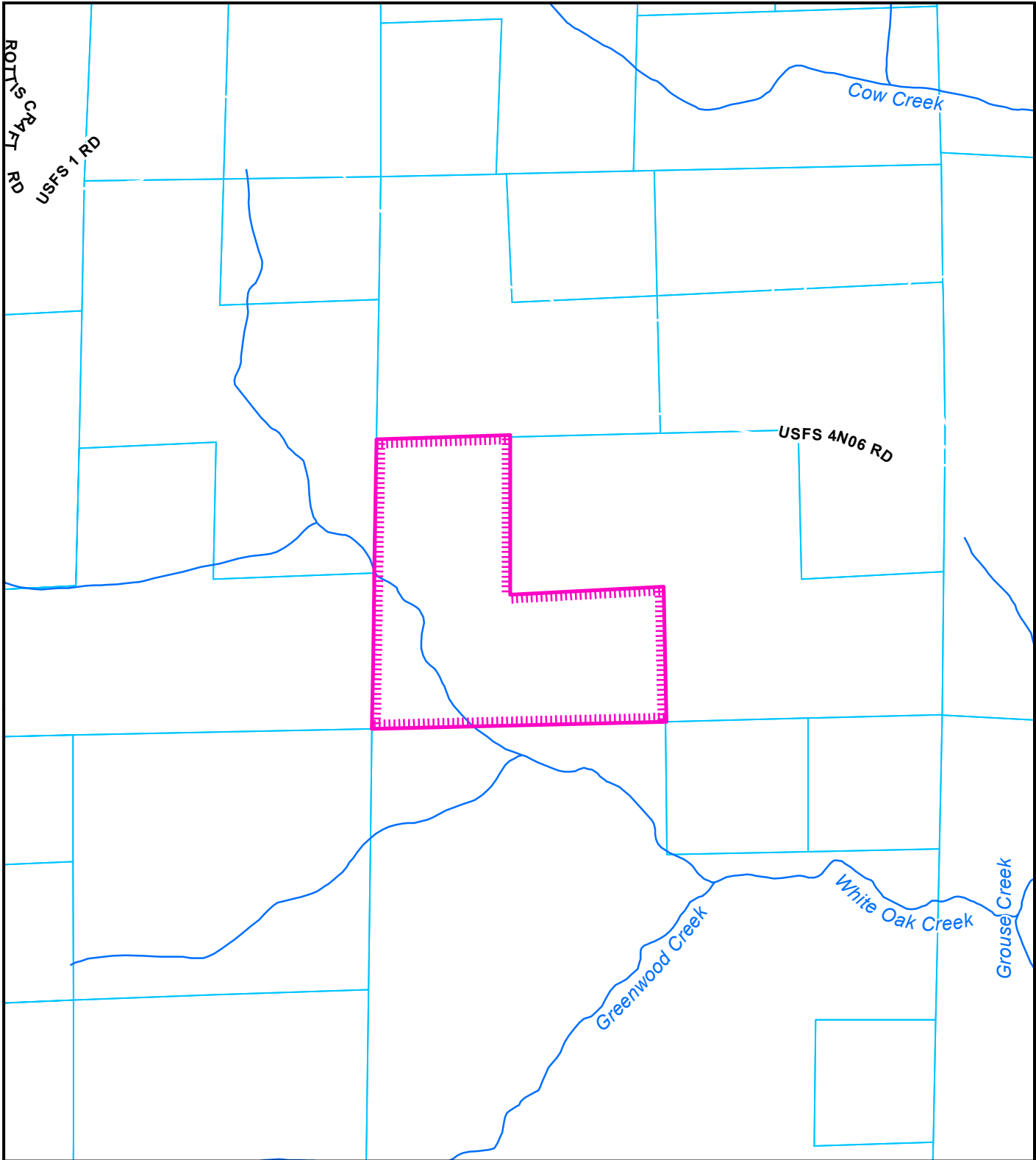
APN: 315-093-006-000

T04N R04E S13 HB&M (BOARD CAMP MTN)



This map is intended for display purposes and should not be used for precise measurement or navigation. Data has not been completely checked for accuracy.





Project Area = 

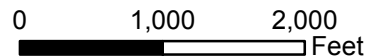
**AERIAL MAP
 PROPOSED DEAN CRISP
 KORBEL AREA
 CUP-16-129**

APN: 315-093-006-000

T04N R04E S13 HB&M (BOARD CAMP MTN)



This map is intended for display purposes and should not be used for precise measurement or navigation. Data has not been completely checked for accuracy.

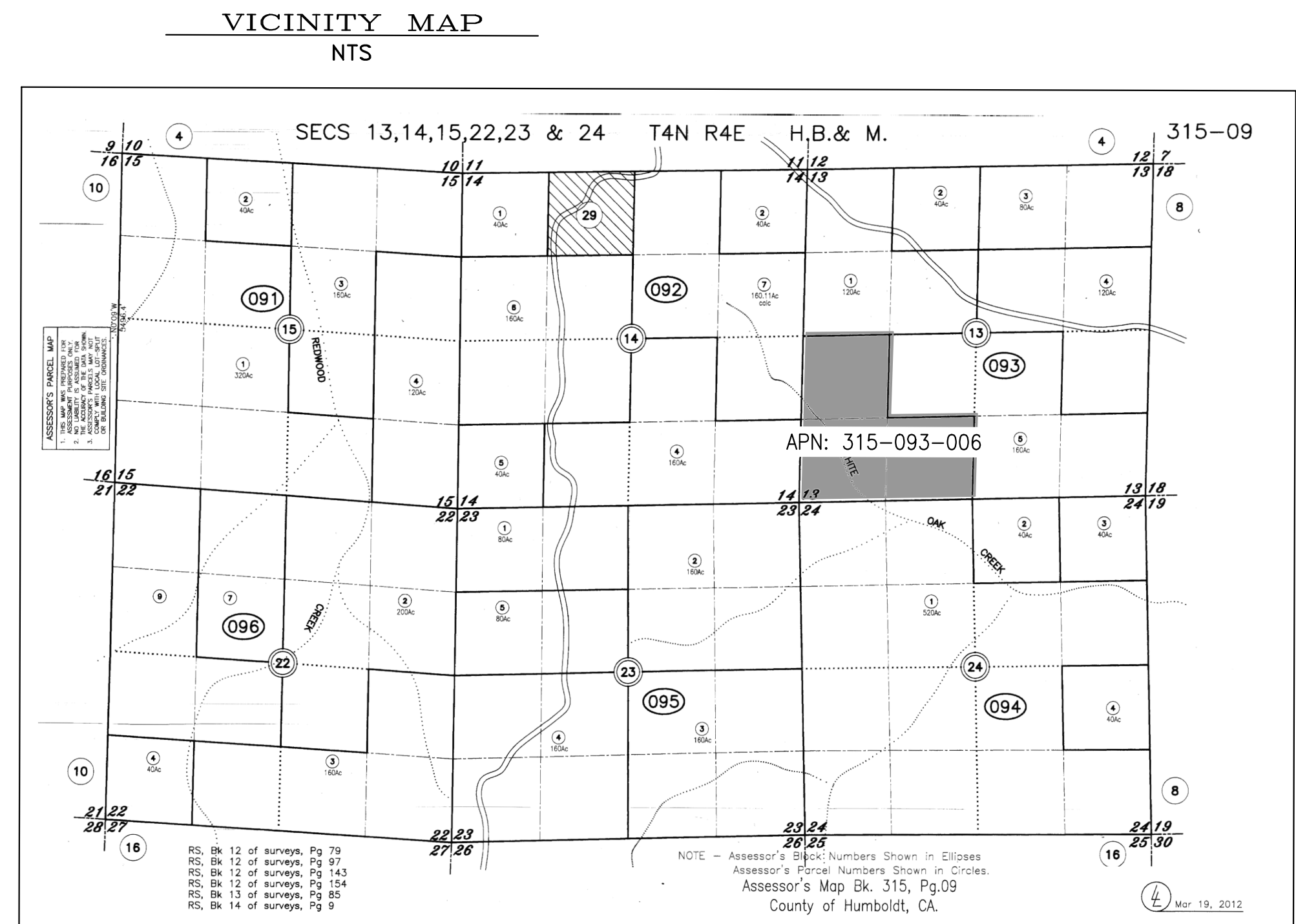
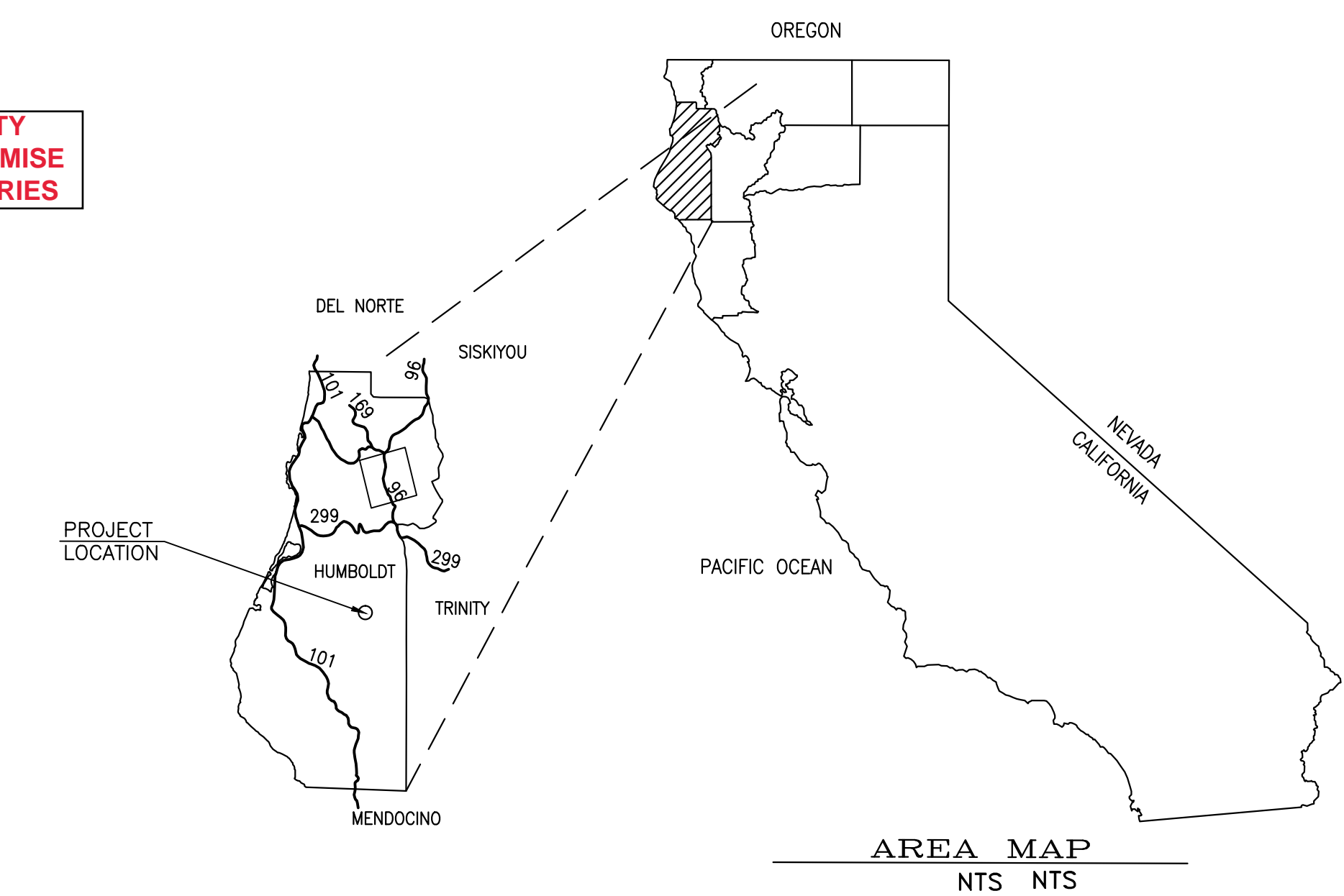
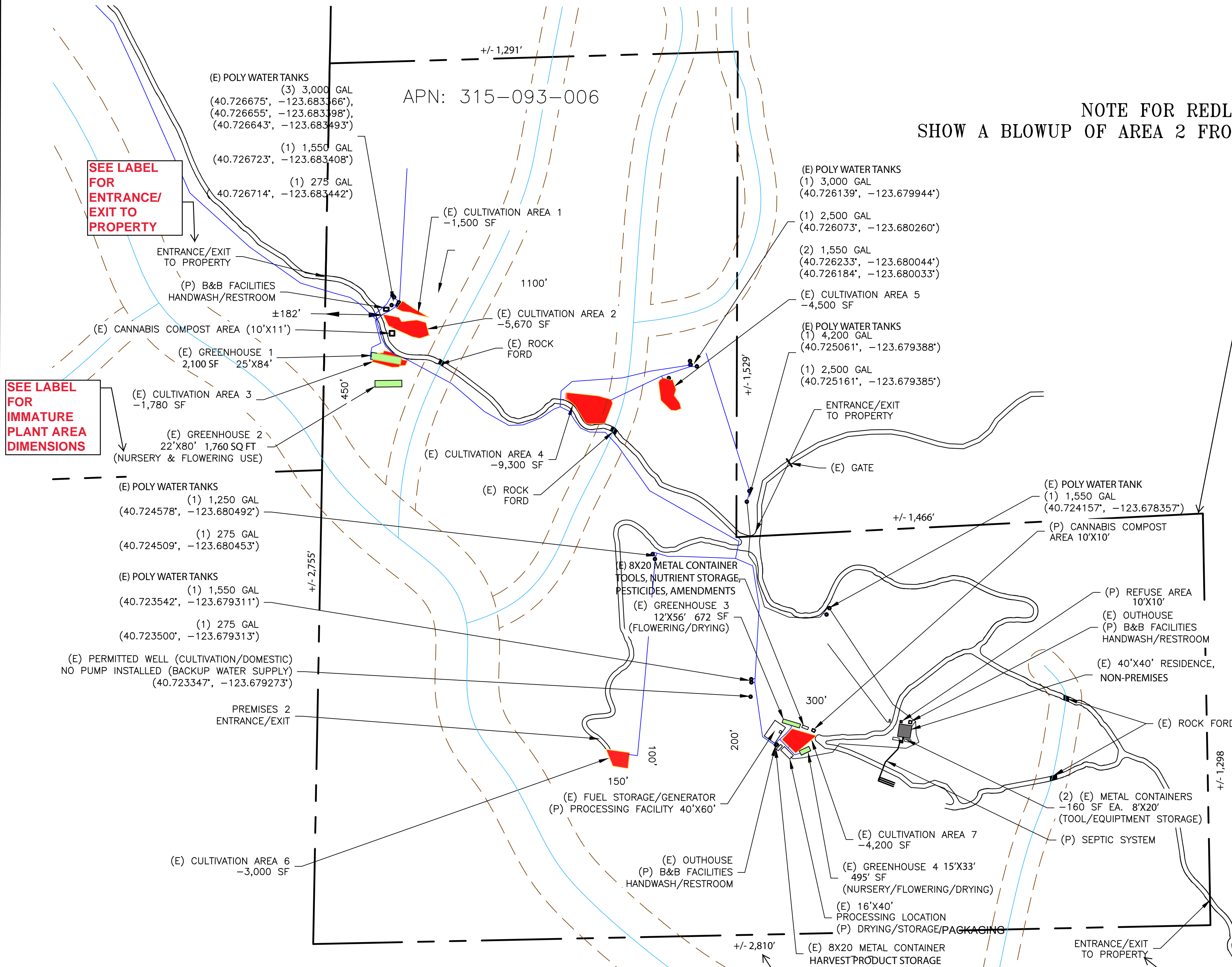


PROPERTY DIAGRAM

APN: 315-093-006

FOR
DEAN CRISP
USFS 4N06 ROAD OFF OF ROUTE 1
WILLOW CREEK, CA 95573

NOTE FOR REDLINE:
SHOW A BLOWUP OF AREA 2 FROM APN 315-092-007



CULTIVATION NOTES

THERE ARE NO SCHOOLS, BUS STOPS, PLACES OF WORSHIP, PUBLIC PARKS, OR TRIBAL CULTURAL RESOURCES WITHIN 600 FEET OF CULTIVATION AREAS.

THERE ARE NO OFFSITE RESIDENCES WITHIN 300 FEET OF CULTIVATION AREAS.

GENERAL NOTES

WATER: ONSITE-NONJURISDICTIONAL SPRING
WASTEWATER: (P) OWTS
POWER: GENERATOR
PHONE: VERIZON
CREEKS/STREAMS: WHITE OAK CREEK
TREES TO BE REMOVED: NONE
GRADING: SEE GRADING PLANS

SRA REQUIREMENTS

PROVIDE ADEQUATE WATER STORAGE AND DELIVERY AS OUTLINED BY SRA ORDINANCE AND CALFIRE REQUIREMENTS

PROVIDE ADEQUATE TURN AROUND AND PULLOUTS AS OUTLINED BY SRA ORDINANCE REQUIREMENTS AND CALFIRE REQUIREMENTS

PLAN VIEW

1"=200'

0 200 400

SCALE IN FEET

CONTRACTOR ALERT!

CONTRACTOR MUST CONTACT USA DIG AT 800-227-2600 AT LEAST 72 HOURS BEFORE ANY EARTHWORK OR ACTIVITIES THAT MAY IMPACT EXISTING UNDERGROUND UTILITIES.

EXISTING UTILITY ALIGNMENTS BOTH HORIZONTALLY AND VERTICALLY MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITIES.

SURVEY NOTES

A FIELD SURVEY FOR TOPOGRAPHIC PURPOSES WAS CONDUCTED BY TRINITY VALLEY CONSULTING ENGINEERS (TVCE) ON MARCH 2016. A BOUNDARY SURVEY WAS NOT CONDUCTED. ALL PROPERTY LINES DEPICTED ON THESE PLANS REFLECT APPROXIMATE LOCATIONS BASED ON COUNTY RECORDS.

LEGEND

APPROXIMATE PROPERTY LINE (NOT SURVEYED)	---
PREMISES BOUNDARY	---
(E) CULTIVATION AREA (PERMIT #1)	[Yellow Box]
(E) CULTIVATION AREA (PERMIT #2), SPANNING APN'S 315-092-007 & 315-093-006	[Red Box]
(E) GREENHOUSE	[Green Box]
STREAM	[Blue Line]
50' OR 100' SMA	[Dashed Blue Line]
(E) ROAD	[Black Line]
(P) ROAD	[Red Line]
WATERLINE	[Blue Line]

LOCATION MAP

NTS

ALL CULTIVATION ACTIVITIES LABELED "CULTIVATION AREA" IN THIS TABLE ARE OUTDOOR

WATER TANK TOTALS

APN: 315-093-006

AMOUNT	SIZE	TOTAL (GALLONS)
(4)	3,000 GAL	12,000 GAL
(3)	1,550 GAL	4,650 GAL
(2)	2,500 GAL	5,000 GAL
(2)	275 GAL	550 GAL
(1)	4,200 GAL	4,200 GAL
(1)	1,550 GAL	1,550 GAL
(1)	1,250 GAL	1,250 GAL
(1)	275 GAL	275 GAL
TOTAL WATER STORAGE :		29,475 GAL

CULTIVATION TOTALS

APN: 315-093-006

AREA 1	1,500 SF
AREA 2	5,670 SF
AREA 3	1,780 SF
AREA 4	9,300 SF
AREA 5	4,500 SF
AREA 6	3,000 SF
AREA 7	4,200 SF
= 29,950 SF	
GREENHOUSE 1	2,100 SF
GREENHOUSE 2	1,760 SF
GREENHOUSE 3	672 SF
GREENHOUSE 4	495 SF
= 5,027 SF	
TOTAL CULTIVATION:	34,977 SF

TVCE
67 WALNUT WAY
WILLOW CREEK, CA 95573
PHONE (530) 629-3000
FAX (530) 629-3011

DATE	REV	DESCRIPTION

DEAN CRISP
APN: 315-093-006
4270 LENTELL ROAD

PROPERTY DIAGRAM
WILLOW CREEK, HUMBOLDT COUNTY, CALIFORNIA

DRAWN BY:	A. DOMINICK
DESIGNED BY:	T. LYNN
CHECKED BY:	J. MCKNIGHT
APPROVED BY:	TVCE

DATE OF ISSUE:
NOVEMBER 2018

SCALE:
AS SHOWN

PROJECT NO:
867

DRAWING NO:
C02

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ATTACHMENT 1

RECOMMENDED CONDITIONS OF APPROVAL

APPROVAL OF THE CONDITIONAL USE PERMIT IS CONDITIONED ON THE FOLLOWING TERMS AND REQUIREMENTS WHICH MUST BE SATISFIED BEFORE THE PROVISIONAL CANNABIS CULTIVATION PERMIT CAN BE FINALIZED.

1. Within 60 days of project approval, the Applicant shall execute a Compliance Agreement with the Humboldt County Planning Department detailing all necessary permits and infrastructure improvements described under Conditions of Approval #2-14. The agreement shall provide a timeline for completing all outstanding items. All activities detailed under the agreement must be completed to the satisfaction of the Planning and Building Department before the permit may be finalized and no longer considered provisional.
2. Photo documentation shall be provided, indicating that proper containment of all hazardous chemicals/materials within thirty-days, following execution of the final Project permit.
3. Processing on-site must be supported by a permitted onsite wastewater treatment system. A system must be installed with DEH approval within the 2-year compliance period. Portable toilets shall be provided to cultivation staff and provide a copy of the receipt to the Planning Department.
4. The Applicant shall secure permits for all unpermitted grading and structures related to the cannabis cultivation and other commercial cannabis activity. The plans submitted for building permit approval shall be consistent with the project description and approved project site plan. A letter or similar communication from the Building Division verifying that all structures related to the cannabis cultivation are permitted will satisfy this condition.
5. The applicant shall secure a contingency easement for the ongoing and continued use of the rainwater catchment pond on APN 315-092-007, a separate legal parcel under common ownership, for irrigation of commercial cannabis on the APN 315-093-006, subject parcel.
6. The approved building plans shall meet all applicable fire codes, including fire suppression infrastructure requirements deemed necessary for the project by the Building Inspection Division. Sign off of the Occupancy Permit by the Building Division shall satisfy this requirement.
7. The Applicant shall be compliant with the County of Humboldt's Certified Unified Program Agency (CUPA) requirements regarding any hazardous materials. A written verification of compliance shall be required before any provisional permits may be finalized. Ongoing proof of compliance with this condition shall be required at each annual inspection in order to keep the permit valid.
8. The applicant shall provide the Planning Department of copy of the Site Management Plan developed for the parcel prepared pursuant to Tier 1 enrollment under the State Water Resources Control Board (SWRCB) Cannabis Cultivation Policy, General Order. The applicant shall provide substantial evidence that all corrective actions detailed within the Site Management Plan have been completed.
9. The Applicant shall secure a final Lake and Streambed Alteration Agreement for the point of diversion as required by the California Department of Fish and Wildlife and comply with all applicable terms.
10. The Applicant shall demonstrate the driveway and emergency vehicle turn around, signing and building numbers, conforming access to the planned 5,000-gallon tank for emergency water, and fuel modification standards conform to the Humboldt County Code Section 3112-12, the Fire Safe Regulations. The Applicant shall be responsible for implementing any necessary improvements to bring the driveway and emergency vehicle turn around into compliance. A letter from a qualified engineer shall satisfy this requirement.

11. The operator shall provide information to all employees about the potential health impacts of cannabis use on children. Information shall be provided by posting the brochures from the Department of Health and Human Services titled "Cannabis Palm Card" and "Cannabis Rack Card." This information shall also be provided to all employees as part of the employee orientation.
12. The property owner shall execute and file with the Planning Division the statement titled, "Notice and Acknowledgment regarding Agricultural Activities in Humboldt County," ("Right to Farm" ordinance) as required by the HCC and available at the Planning Division.
13. The applicant shall remove all cultivation related wastes, debris materials and other debris including defunct structures and automobiles on the project site.
14. The applicant shall adhere to the recommendations of the Road Evaluation Report prepared for Crisp Farms by DTN Engineering and Consulting in December 2018 to improve the private roads used to access the property to commercial standards of use.
15. The applicant shall limit all operational noise generated from generators, fans, and dehumidifiers to not exceed 50 db at 100 feet from the source or at the edge of the nearest forest habitat, whichever is closer, as required by Section 314-55.4.11(o) Humboldt County Code. No artificial lighting is authorized for cultivation activities by this permit until a light and noise attenuation plan, developed in consultation with the Planning Department and California Department of Fish and Wildlife, is approved by the Planning Director.
16. A review fee for Conformance with Conditions as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of Supervisors (currently \$750.00) shall be paid to the Humboldt County Planning Division, 3015 "H" Street, Eureka. This fee is a deposit, and if actual review costs exceed this amount, additional fees will be billed at the County's current burdened hourly rate.
17. The Applicant is responsible for obtaining all necessary County and State permits and licenses, and for meeting all of the requirements as set forth by other regulatory agencies.
18. The Applicant is required to pay for permit processing on a time and material basis as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of Supervisors. The Department will provide a bill to the Applicant after the decision. Any and all outstanding Planning fees to cover the processing of the application to decision by the Hearing Officer shall be paid to the Humboldt County Planning Division, 3015 "H" Street, Eureka.
19. A Notice of Determination (NOD) will be prepared and filed with the County Clerk for this project in accordance with the State CEQA Guidelines. **Within three days of the effective date of permit approval**, it is requested that the applicant submit a check or money order for the required filing fee in the amount of \$50 payable to the Humboldt County Clerk/Recorder. If this payment is not received within this time period, the Department will file the NOD and will charge this cost to the project.

Ongoing Requirements/Development Restrictions Which Must be Satisfied for the Life of the Project:

1. All components of the project shall be developed, operated, and maintained in conformance with the Project Description, the approved Site Plan, the Plan of Operations, and these conditions of approval. Changes shall require modification of this permit except where consistent with Humboldt County Code Section 312-11.1, Minor Deviations to Approved Plot Plan.
2. Cannabis cultivation and other commercial cannabis activity shall be conducted in compliance with all laws and regulations as set forth in the CMMLUO and MCRSA, as applicable to the permit type.

3. If operating pursuant to a written approved compliance agreement, permittee shall abate or cure violations at the earliest feasible date, but in no event no more than two (2) years from the date of issuance of a provisional clearance or permit. Permittee shall provide plans for curing such violations to the Planning & Building Department within one (1) year of issuance of the provisional clearance or permit. If good faith effort towards compliance can be shown within the two years following the issuance of the provisional clearance or permit, The Planning Department may, at the discretion of the Director, provide for extensions of the provisional permit to allow for additional time to meet the outstanding requirements.
4. Prohibition on use of synthetic netting. To minimize the risk of wildlife entrapment, Permittee shall not use any erosion control and/or cultivation materials that contain synthetic (e.g., plastic or nylon) netting, including photo- or biodegradable plastic netting. Geotextiles, fiber rolls, and other erosion control measures shall be made of loose-weave mesh, such as jute, hemp, coconut (coir) fiber, or other products without welded weaves.
5. All refuse is to be contained in wildlife proof storage containers, at all times, and disposed of at an authorized waste management facility.
6. That all imported soil located onsite be fully contained and setback a minimum of 150ft from watercourses and/or wet areas; and that all discarded soil and trash present onsite be removed and properly disposed of at a waste management facility.
7. Possession of a current, valid required license, or licenses, issued by any agency of the State of California in accordance with the MCRSA, and regulations promulgated thereunder, as soon as such licenses become available.
8. Confinement of the area of cannabis cultivation, processing, manufacture or distribution to the locations depicted on the approved site plan. The commercial cannabis activity shall be set back at least 30 feet from any property line, and 600 feet from any School, School Bus Stop, Church or other Place of Religious Worship, or Tribal Cultural Resources, except where a reduction to this setback has been approved pursuant to Section 55.4.11(d).
9. Maintain enrollment in Tier 1, 2 or 3, certification with the North Coast Regional Water Quality Control Board (NCRWQCB) Order No. R1-2015-0023, if applicable, or any substantially equivalent rule that may be subsequently adopted by the County of Humboldt or other responsible agency.
10. Comply with the terms of any applicable Streambed Alteration (1600) Permit obtained from the California Department of Fish & Wildlife.
11. Consent to an annual on-site compliance inspection, with at least 24 hours prior notice, to be conducted by appropriate County officials during regular business hours (Monday – Friday, 9:00 am – 5:00 pm, excluding holidays).
12. Refrain from the improper storage or use of any fuels, fertilizer, pesticide, fungicide, rodenticide, or herbicide.
13. The applicant shall not use any erosion control measures that contain synthetic (e.g. plastic or nylon) monofilament netting, including photo- or biodegradable plastic netting. Geotextiles, fiber rolls, and other erosion control measures shall be made of loose-weave mesh, such as jute, hemp, coconut (coir) fiber, or other products without weaves.
14. If any wildlife is encountered during the authorized activity, the Applicant shall not disturb the wildlife and shall allow wildlife to leave the work site unharmed.
15. Pay all applicable application and annual inspection fees.

16. The noise produced by any generator used on an emergency-only basis for cannabis drying, curing, and processing shall not be audible by humans from neighboring residences. The decibel level for generators measured at the property line shall be no more than 60 decibels. Where applicable, sound levels must also show that they will not result in the harassment of Marbled Murrelet or Spotted Owl species. Conformance will be evaluated using current auditory disturbance guidance prepared by the United State Fish and Wildlife Service, and further consultation where necessary. Under these guidelines, generator noise may not exceed 50dB as measured at 100 feet from the generator or at the edge of the nearest Marbled Murrelet or Spotted Owl habitat, whichever is closer
17. Storage of Fuel - Fuel shall be stored and handled in compliance with applicable state and local laws and regulations, including the County of Humboldt's CUPA program, and in such a way that no spillage occurs.
18. The Master Log Books maintained by the Applicant to track production and sales shall be maintained for inspection by the County.
19. Pay all applicable taxes as required by the Humboldt County Commercial Marijuana Cultivation Tax Ordinance (Humboldt County Code Section 719-1 et seq.).
20. The operation shall participate in the Medical Cannabis Track and Trace Program administered by the Humboldt County Agricultural Commissioner, when available.

Performance Standards for Cultivation and Processing Operations

21. Pursuant to the MCRSA, Health and Safety Code section 19322(a)(9), an Applicant seeking a cultivation license shall "provide a statement declaring the Applicant is an 'agricultural employer,' as defined in the Alatorre-Zenovich-Dunlap-Berman Agricultural Labor Relations Act of 1975 (Part 3.5 commencing with Section 1140) of Division 2 of the Labor Code), to the extent not prohibited by law."
22. Cultivators shall comply with all applicable federal, state, and local laws and regulations governing California Agricultural Employers, which may include: federal and state wage and hour laws, CAL/OSHA, OSHA, California Agricultural Labor Relations Act, and the Humboldt County Code (including the Building Code).
23. All persons hiring employees to engage in commercial cannabis cultivation and processing shall comply with the following Employee Safety Practices:
 - I. Cultivation operations and processing operations must implement safety protocols and provide all employees with adequate safety training relevant to their specific job functions, which may include:
 - (a) Emergency action response planning as necessary;
 - (b) Employee accident reporting and investigation policies;
 - (c) Fire prevention;
 - (d) Hazard communication policies, including maintenance of material safety data sheets (MSDS);
 - (e) Materials handling policies;
 - (f) Job hazard analyses; and
 - (g) Personal protective equipment policies, including respiratory protection.
 - II. Cultivation operations and processing operations must visibly post and maintain an emergency contact list which includes at a minimum:
 - (a) Operation manager contacts;
 - (b) Emergency responder contacts;
 - (c) Poison control contacts.
 - III. At all times, employees shall have access to safe drinking water and toilets and handwashing facilities that comply with applicable federal, state, and local laws and

regulations. Plumbing facilities and water source must be capable of handling increased usage without adverse consequences to neighboring properties or the environment.

- IV. On site-housing provided to employees shall comply with all applicable federal, state, and local laws and regulations.

24. Term of Commercial Cannabis Activity Conditional Use Permit. Any Commercial Cannabis Cultivation CUP issued pursuant to the CMMLUO shall expire one (1) year after date of issuance, and on the anniversary date of such issuance each year thereafter, unless an annual compliance inspection has been conducted and the permittees and the permitted site have been found to comply with all conditions of approval.
25. If the inspector or other County official determines that the permittees or site do not comply with the conditions of approval, the inspector shall serve the CUP or permit holder with a written statement identifying the items not in compliance, and the action that the permit holder may take to cure the non-compliance, or file an appeal within ten (10) days of the date that the written statement is delivered to the permit holder. Personal delivery or mailing the written statement to the mailing address listed on the application by regular mail, plus three (3) days after date of mailing, shall constitute delivery. The permit holder may request a reinspection to determine whether or not the permit holder has cured all issues of non-compliance. Failure to request reinspection or to cure any items of non-compliance shall terminate the Special Permit, immediately upon the expiration of any appeal period, or final determination of the appeal if an appeal has been timely filed pursuant to section 55.4.13.
26. Permit Renewals to comply with Updated Laws and Regulations. Permit renewal per Ongoing Condition of Approval #18 above is subject to the laws and regulations effective at the time of renewal, which may be substantially different than the regulations currently in place and may require the submittal of additional information to ensure that new standards are met.
27. Acknowledgements to Remain in Full Force and Effect. Permittee Acknowledges that the County reserves the right to reduce the size of the area allowed for cultivation under any clearance or permit issued in accordance with this Section in the event that environmental conditions, such as a sustained drought or low flows in the watershed in which the cultivation area is located will not support diversions for irrigation.
28. Permittee further acknowledges and declares that:
- I. All commercial cannabis activity that I, my agents, or employees conduct pursuant to a permit from the County of Humboldt shall be solely for medical purposes and all commercial cannabis products produced by me, my agents, or employees are intended to be consumed solely by qualified patients entitled to the protections of the Compassionate Use Act of 1996 (codified at Health and Safety Code section 11362.5); and
 - II. All cannabis or cannabis products under my control, or the control of my agents or employees, and cultivated or manufactured pursuant to local Ordinance and the California Medical Marijuana Regulation and Safety Act will be distributed within the State of California; and
 - III. All commercial cannabis activity conducted by me, or my agents or employees pursuant to a permit from the County of Humboldt will be conducted in compliance with the California Medical Marijuana Regulation and Safety Act.
29. Transfers. Transfer of any leases or permits approved by this project is subject to the review and approval of the Planning Director for conformance with CMMLUO eligibility requirements, and agreement to permit terms and acknowledgments. The fee for required permit transfer review shall accompany the request. The request shall include the following information:

- a. Identifying information for the new Owner(s) and management as required in an initial permit application;
 - b. A written acknowledgment by the new Owner in accordance as required for the initial Permit application;
 - c. The specific date on which the transfer is to occur; and
 - d. Acknowledgement of full responsibility for complying with the existing Permit; and
 - e. Execution of an Affidavit of Non-diversion of Medical Cannabis.
30. Inspections. The permit holder and subject property owner are to permit the County or representative(s) or designee(s) to make inspections at any reasonable time deemed necessary to assure that the activities being performed under the authority of this permit are in accordance with the terms and conditions prescribed herein.

Informational Notes:

1. This provisional permit approval shall expire and become null and void at the expiration of one (1) year after all appeal periods have lapsed (see "Effective Date"); except where the Compliance Agreement per Condition of Approval #1 has been executed and the corrective actions pursuant to the agreement are being undertaken. Once building permits have been secured and/or the use initiated pursuant to the terms of the agreement, the use is subject to the Permit Duration and Renewal provisions set forth in Conditions of Approval #19 of the On-Going Requirements /Development Restrictions, above.
2. If cultural resources are encountered during construction activities, the contractor on site shall cease all work in the immediate area and within a 50-foot buffer of the discovery location. A qualified archaeologist as well as the appropriate Tribal Historic Preservation Officer(s) are to be contacted to evaluate the discovery and, in consultation with the Applicant and lead agency, develop a treatment plan in any instance where significant impacts cannot be avoided.

Prehistoric materials may include obsidian or chert flakes, tools, locally darkened midden soils, groundstone artifacts, shellfish or faunal remains, and human burials. If human remains are found, California Health and Safety Code Section 7050.5 requires that the County Coroner be contacted immediately at 707-445-7242. If the Coroner determines the remains to be Native American, the Native American Heritage Commission will then be contacted by the Coroner to determine appropriate treatment of the remains pursuant to Public Resources Code Section 5097.98. Violators shall be prosecuted in accordance with Public Resources Code Section 5097.99.

ATTACHMENT 2

REQUIRED FINDINGS FOR APPROVAL

Required Findings: To approve this project, the Hearing Officer must determine that the Applicant has submitted evidence in support of making **all** of the following required findings.

The County Zoning Ordinance, Sections 312-1.1.2 and 312-17.1 of the Humboldt County Code (Required Findings for All Discretionary Permits) specify the findings that are required to grant a Conditional Use Permit and Special Permit:

1. The proposed development is in conformance with the County General Plan, Open Space Plan, and Open Space Action Program;
2. The proposed development is consistent with the purposes of the existing zone in which the site is located;
3. The proposed development conforms with all applicable standards and requirements of these regulations;
4. The proposed development and conditions under which it may be operated or maintained will not be detrimental to the public health, safety, or welfare; or materially injurious to property or improvements in the vicinity;
5. The proposed development does not reduce the residential density for any parcel below that utilized by the Department of Housing and Community Development in determining compliance with housing element law (the midpoint of the density range specified in the plan designation) unless the following written findings are made supported by substantial evidence: 1) the reduction is consistent with the adopted general plan including the housing element; and 2) the remaining sites identified in the housing element are adequate to accommodate the County share of the regional housing need; and 3) the property contains insurmountable physical or environmental limitations and clustering of residential units on the developable portions of the site has been maximized; and
6. In addition, the California Environmental Quality Act (CEQA) states that one of the following findings must be made prior to approval of any development which is subject to the regulations of CEQA. The project either:
 - a. Is categorically or statutorily exempt; or
 - b. Has no substantial evidence that the project will have a significant effect on the environment and a negative declaration has been prepared; or
 - c. Has had an environmental impact report (EIR) prepared and all significant environmental effects have been eliminated or substantially lessened, or the required findings in Section 15091 of the CEQA Guidelines have been made.

To approve this project, the Hearing Officer must determine that the applicant has submitted evidence in support of making **all** of the following required findings.

1. The proposed development must be consistent with the General Plan, Open Space Plan, and Open Space Action Program. The following table documents the substantial evidence which supports finding that the proposed development is in conformance with all applicable policies and standards of the Humboldt County General Plan.

Plan Section	Summary of Applicable Goal, Policy or Standard	Evidence Which Supports Making the General Plan Conformance Finding
<p>Land Use Chapter 4</p> <p>Land Use Designations Section 4.8</p>	<p>Timberland (T):</p> <p>This designation is utilized to classify land that is primarily suitable for the growing, harvesting and production of timber. Prairie and grazing lands may be intermixed.</p> <p>Density range is 40 -160 acres/unit.</p>	<p>The Applicant is proposing to permit an existing commercial cannabis cultivation operation consisting of 43,560 SF of existing outdoor medical cannabis cultivation on lands designated as Timberland. General is an allowable use type for this designation.</p> <p>The MAUCRSA, Health and Safety Code section 11362.777(a) provides that medical cannabis is an agricultural product, subject to extensive state and local regulation. The existing cultivation is considered an agricultural use, and the processing facility and supportive infrastructure may be considered accessory to the agricultural use.</p>
<p>Circulation Chapter 7</p>	<p>Goals and policies contained in this Chapter relate to a balanced, safe, efficient, accessible and convenient circulation system that is appropriate for each type of unincorporated community (C-G1,CT-G2); coordinated planning design, development, operations, and maintenance between the County and other transportation system service providers (C-G3); and access for all transportation mode types with improved opportunities to move goods within, into and out of Humboldt County. (C-G4, C-G5)</p> <p>Related policies: C-P3. Consideration of Transportation Impacts in Land Use Decision Making.</p>	<p>Access to the site is off a 2.2-mile portion of unnamed road and private driveway which comes off of USFS 1. The interior of the site is accessed via an approximate 1.52-mile private driveway. A Road Evaluation Report was prepared for the Applicant by David Nicoletti in December 2018. Both the Unnamed road, which appears to be Grouse Creek Road when cross referenced with Humboldt County WebGIS, and the private drive were evaluated.</p> <p>The Report states that the roads are not developed to a category 4 equivalent standard, but that with adherence to the Report's recommendations the road will be serviceable for the proposed use. The Report found that the Average Daily Traffic (ADT) observed during the completion of the report did not warrant significant improvements involving cutting further into hillsides to widen the road. The engineer put forth milder suggested measures to bring the road closer category 4 equivalence. These recommendations for road maintenance include repair and of drainage ditches, adding and fortifying riprap, and clearing brush and grass from the roadside to make turnouts more evident. These recommendations are conditions of approval.</p> <p>Per comment by Humboldt County Department of Public Works on July 1, 2020, the project is accessed on a road not managed by the County of Humboldt. The project has been referred to the US Forest Service.</p>

Plan Section	Summary of Applicable Goal, Policy or Standard	Evidence Which Supports Making the General Plan Conformance Finding
Housing Chapter 8	<p>Goals and policies contained in this Element seek to identify existing and projected housing needs and establish goals, policies, standards and measures for the preservation, improvement, and development of housing.</p> <p>Related policies: H-P3, Development of Parcels in the Residential Land Inventory.</p>	<p>The project does not involve residential development, nor is the project site part of the Housing Element Residential Land Inventory. However, the project will not preclude any future residential development. The project will not reduce the residential density for any parcel below that utilized by the Department of Housing and Community Development in determining compliance with housing element law.</p>
<p>Conservation and Open Space Chapter 10</p> <p>Open Space Section 10.2</p>	<p>Goals and policies contained in this Chapter relate to an Open Space and Conservation Program that is complimentary to other agencies' plans and that preserves the county's unique open spaces. (CO-G1, CO-G3)</p> <p>Related policies: CO-P1, Conservation and Open Space Program; CO-P12, Development Review, CO-S1. Identification of Local Open Space Plan, and CO-S2. Identification of the Open Space Action Program.</p>	<p>The project is located within an Open Space Action Program because the project site is planned Timberland (T) and zoned Timber Production Zone (TPZ) and Agriculture Exclusive (AE). The project can be found consistent with the Open Space Plan and Open Space Action Program because the proposed project is consistent with the allowable uses of the Land Use Designations. General agriculture is a use type permitted in the Timberland land use designation. General agriculture is also a principal permitted use in the AE and TPZ zoning districts. The proposed cannabis cultivation, an agricultural product, is within land planned and zoned for agricultural purposes, consistent with the use of Open Space land for managed production of resources. Therefore, the project is consistent with and complimentary to the Open Space Plan and its Open Space Action Program</p>

Plan Section	Summary of Applicable Goal, Policy or Standard	Evidence Which Supports Making the General Plan Conformance Finding
<p>Conservation and Open Space Chapter 10</p> <p>Biological Resources Section 10.3</p>	<p>Goals and policies contained in this Chapter relate to mapped sensitive habitat areas where policies are applied to protect fish and wildlife and facilitate the recovery of endangered species (BR-G1, Threatened and Endangered Species, BR-G2, Sensitive and Critical Habitat, BR-G3, Benefits of Biological Resources)</p> <p>Related policies: BR-P1. Compatible Land Uses, BR-P5. Streamside Management Areas.</p>	<p>A query of the California Natural Diversity Database (CNDDDB) as observable on Humboldt County WebGIS shows there are observations of a sensitive, rare, threatened or endangered species of special concern in the project vicinity. This species, the (summer-run steelhead trout) is located approximately 5,000 feet outside the project boundaries on the in the Mad River. The project site contains a Class II watercourse, but it does not support habitat for this species. The CNDDDB also shows two (2) known Northern Spotted Owl (NSO) activity center within 1.25 miles (6,600 feet) of the project site.</p> <p>The applicant shall assume presence of Northern Spotted Owl and avoid impacts by adhering to the CMMLUO noise standards attenuating all noise to 50 dB at 100 feet from the source or the edge of habitat, whichever is closest. Artificial lighting used in the ancillary nursery shall be shielded 30 minutes before dusk and 30 minutes after dawn so as not to disturb crepuscular life. The above is a condition of approval.</p> <p>Two Class II watercourses traverse the northwestern portion of the project site and flow to a blue line stream, White Oak Creek, approximately 400 feet south of the nearest cultivation area. The Class II watercourses are not shown as Streamside Management Area (SMAs) in the County WebGIS. The Water Resources Protection Plan prepared by Timber land Resource Consultants shows the watercourses and their 50' buffers with all project aspects falling outside of the buffers.</p>
<p>Conservation and Open Space Chapter 10</p> <p>Cultural Resources Section 10.6</p>	<p>Goals and policies contained in this Chapter relate to the protection and enhancement of significant cultural resources, providing heritage, historic, scientific, educational, social and economic values to benefit present and future generations (CU-G1, Protection and Enhancement of Significant Cultural Resources)</p> <p>Related policies: CU-P1. Identification and Protection, CU-P2. Native American Tribal Consultation.</p>	<p>An Archaeological Survey was carried out by Archaeological Research and Supply Company in December 2019. No known significant archaeological or historic period cultural resource are located in the project area. The project was referred to the Bear River of Rohnerville Rancheria who responded on July 9, 2020 and recommended inadvertent discovery protocols as a condition of approval. Ongoing conditions of approval are incorporated regarding the inadvertent discovery protocol.</p>

Plan Section	Summary of Applicable Goal, Policy or Standard	Evidence Which Supports Making the General Plan Conformance Finding
<p>Conservation and Open Space Chapter 10</p> <p>Scenic Resources Section 10.6</p>	<p>Goals and policies contained in this Chapter relate to the protection of scenic areas that contribute to the enjoyment of Humboldt County's beauty and abundant natural resources (SR-G1); and a system of scenic highways roadways that increase the enjoyment of, and opportunities for, recreational and cultural pursuits and tourism in the County. (SR-G2)</p> <p>Related policies: SR-S4. Light and Glare</p>	<p>The proposed project includes the continued use of outdoor cannabis cultivation in greenhouses and full-sun outdoor cultivation. The CMMLUO requires that cultivation sites comply with International Dark Sky Association standards for Lighting Zone 0 and Lighting Zone 1 and be designed to regulate light spillage onto neighboring properties resulting from backlight, uplight, or glare (BUG). International Dark Sky Association Standards exceed the requirements of Scenic Resources Standard SR-S4, Light and Glare, that lighting be fully shielded, and designed and installed to minimize off-site lighting and direct light within the property boundaries. The proposed project is not located in proximity to any scenic highway or roadway.</p>
<p>Water Resources Chapter 11</p> <p>Stormwater Drainage</p>	<p>Goals and policies contained in this Chapter relate to coordinated watershed planning and land use decision making to advance management priorities (WR-G3, WR-G4, WR-G5); watershed conservation and restoration efforts aimed at de-listing water bodies and watersheds which are restored to meet all beneficial uses, including water use, salmon and steelhead recovery plans, recreational activities, and the economy. (WR-G1, WR-G2, WR-G7, WR-G8, WR-G9)</p> <p>Related policies: WR-P10. Erosion and Sediment Discharge; WR-42 Erosion and Sediment Control Measures.</p>	<p>The Project site falls within Tier 2 of the North Coast Regional Water Quality Control Board's (NCRWQCB) Order No. 2015-0023 (Order), which requires preparation of a Water Resources Protection Plan (WRPP) to protect water quality from cannabis cultivation and related activities. The applicant has submitted a WRPP prepared by Timberland Resource Consultants. The as a condition of approval, the applicant will follow all recommendations laid out in the WRPP.</p> <p>The Applicant has filed an LSAA with CDFW. Once the final LSAA is received, the Applicant will implement all requirements specified by CDFW to protect adjacent biological resources, and water quality for the site and downstream areas. Conditions of approval related to preparation of these documents and conformance to permit requirements have been added to the project making the project consistent with this policy.</p>

Plan Section	Summary of Applicable Goal, Policy or Standard	Evidence Which Supports Making the General Plan Conformance Finding
<p>Water Resources Chapter 11</p> <p>Onsite Wastewater Systems</p>	<p>Goals and policies contained in this Chapter relate to adequate public water supply as well as onsite wastewater systems and natural and developed storm drainage systems that minimize interference with surface and groundwater flows and storm water pollution. (WR-G6, WR-G9, WR G10)</p> <p>Related policies: WR-IM7. Basin Plan Septic Requirements; and IS-P20. On-Site Sewage Disposal Requirements.</p>	<p>The processing building will be retrofitted to include one ADA compliant restroom. A septic tank destruction permit will be required for removal of the existing cabin. Processing on-site must be supported by a permitted onsite wastewater treatment system. A system must be installed with DEH approval within the 2-year compliance period. These requirements have been incorporated as conditions of approval.</p>
<p>Noise Chapter 13</p>	<p>Goals and policies contained in this Chapter discourage incompatible uses within communities and reduce excessive noise through the application of standards. (N-G1, N-G2)</p> <p>Related policies: N-P1, Minimize Noise from Stationary and Mobile Sources; N-P4, Protection from Excessive Noise.</p>	<p>The subject parcel is located in an area that requires special noise attenuation measures. The existing cultivation areas are outdoor, and the project does rely on generator use, but there will be minimal noise generated by the project. Noise is required to be attenuated to 50 dB at 100 feet from the source or at the edge of habitat such as a tree line, whichever is closest. The artificially illuminated nursery shall be shielded 30 minutes before dusk and 30 minutes after dawn to avoid disturbance of crepuscular organisms. This is a condition of approval.</p> <p>As a condition of approval, noise generated from any generator use shall comply with the standards set forth in Section 55.4.11(o) of the CMMLUO which limits the combined decibel level for all noise sources to 60 decibels at the property line.</p>

Plan Section	Summary of Applicable Goal, Policy or Standard	Evidence Which Supports Making the General Plan Conformance Finding
<p>Safety Element Chapter 14</p> <p>Geologic & Seismic</p>	<p>Goals and policies contained in this Chapter relate to communities that are designed and built to minimize the potential for loss of life and property resulting from natural and manmade hazards; and to prevent unnecessary exposure to areas of geologic instability, floodplains, tsunami run-up areas, high risk wildland fire areas, and airport areas planned and conditioned to prevent unnecessary exposure of people and property to risks of damage or injury. (S-G1, S-G2)</p> <p>Related policies: S-P11. Site Suitability, S-P7. Structural Hazards.</p>	<p>The project site is not located in a mapped Alquist-Priolo fault zone nor is it subject to liquefaction. The site is seismically classified as high instability. The existing cultivation uses in the western portions of the project site, which are proposed to continue, are not expected to be affected by geologic instability nor will the uses create or exacerbate any existing geologic condition. The project does not pose a threat to public safety related from exposure to natural or manmade hazards. The project is not located in an airport regulation area or military training route.</p>
<p>Safety Element Chapter 14</p> <p>Flooding</p>	<p>Goals and policies contained in this Chapter relate to the use of natural drainage channels and watersheds that are managed to minimize peak flows in order to reduce the severity and frequency of flooding. (S-G3)</p> <p>Related policies include: S-P10, Federal Flood Insurance Program; S-P11, Flood Plains; S-PX3, Construction Within Special Flood Hazard Areas</p>	<p>The subject site is outside any mapped flood hazard areas. The project site is not within a mapped dam or levee inundation area and, at over 30 miles distance from the coast and elevation ranges from approximately 2,640 to 3,440 feet above mean sea level, is outside the areas subject to tsunami run-up.</p>
<p>Safety Element Chapter 14</p> <p>Fire Hazards</p>	<p>Goals and policies of this Chapter encourage development designed to reduce the risk of structural and wildland fires supported by fire protection services that minimize the potential.</p> <p>Related policies: S-P15, Conformance with State Responsibility Areas (SRA) Fire Safe Regulations.</p>	<p>The subject parcel is located within an area with a high to a very high fire severity rating. The subject property is located nearest to the Kneeland Fire Response Area and in an SRA where the State of California has the primary financial responsibility for the prevention and suppression of wildland fires. CAL FIRE comments recommended turnarounds for emergency access, signing and building numbers, designated water storage for fire as part of emergency water standards, and fuel modification standards.</p>

Plan Section	Summary of Applicable Goal, Policy or Standard	Evidence Which Supports Making the General Plan Conformance Finding
		The Humboldt County Fire Safe Ordinance (Section 3111-1 <i>et seq.</i>) establishes development standards for minimizing wildfire danger in state responsibility designated areas. The Applicant shall divert all on-site hard-sided water storage which is up to 30,000-gallons in the event of necessary fire suppression. This, as well as continued conformance to all other fire safe requirements are added as conditions of approval to the project.
Community Infrastructure and Services Element, Chapter 5 Implementation Action Plan	IS-S5 requires new industrial, commercial and residential development located outside of fire district boundaries to obtain written acknowledgment of available emergency response and fire suppression services from the local fire agency, including any recommended mitigation.	The project is located nearest to the Kneeland Fire Response Area jurisdiction.
Air Quality Chapter 15	Goals and policies contained in this Chapter relate to improved air quality to meet current and future state and federal standards, including attainment of particulate matter requirements (AQ-G1, AQ-G2, AQ-G3) and the successful reduction of greenhouse gas emissions to levels consistent with state and federal requirements. (AQ-G3) Related policies: AQ-P4, Construction and Grading Dust Control, AQ-S1. Construction and Grading Dust Control, AQ-P7. Interagency Coordination.	Applications for grading and/or building permits shall be referred to the North Coast Air Quality Management District (NCAQMD) for review and consultation. Dust control practices during construction and grading shall achieve compliance with NCAQMD fugitive dust emission standards.

2. Zoning Compliance and 3. Conforms with applicable standards and requirements of these regulations:
The following table documents the evidence which supports finding that the proposed development is in conformance with all applicable policies and standards in the Humboldt County Zoning Regulations.

Zoning Section	Summary of Applicable Requirement	Evidence That Supports the Zoning Finding
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§312-1.1.2 Legal Lot Requirement	Development permits shall be issued only for a lot that was created in compliance with all applicable state and local subdivision regulations.	The parcel known as APN 315-093-006 comprised of one legal parcel being that land patent issued under Certificate No. 954782 to Edward L. Pullen for 360 acres on March 9, 1925.
§314-8.1 Timber Production Zone (TPZ) Agriculture Exclusive (AE) Combining Zone "B-5"	<p>Timber Production Zone (TPZ): The Timberland Production or TPZ Zone is intended to provide standards and restrictions for the preservation of timberlands for growing and harvesting timber.</p> <p>Agriculture Exclusive (AE) The Agriculture Exclusive or AE Zone is intended to be applied in fertile areas in which agriculture is and should be the desirable predominant use and in which the protection of this use from encroachment from incompatible uses is essential to the general welfare. The following regulations shall apply in all Agriculture Exclusive or AE Zones.</p> <p>Combining Zone (B-5) As specified on the zoning maps designating any such zone, except that in no case shall these requirements be less than those required under the B-4 requirements.</p>	The project consists of an existing 43,560 SF of outdoor medical cannabis cultivation operation on Assessor's Parcel Number (APN) 315-093-006 on a property zoned TPZ and AE. The proposed use is specifically allowed with Conditional Use Permit in this zoning district and under Section 314-55.4.8.2.2 of the CMMLUO.
Minimum Lot Size:	40 acres	125 Acres
Maximum Ground Coverage:	None specified	Below 10%
Minimum Lot Width:	As determined during subdivision review and approval	2,765 feet
Maximum Lot Depth:	None specified	2,767 feet
Minimum Yard Setbacks:	Front: 20 feet Rear: 30 feet Side: 30 feet SRA setback from all property lines: 30 feet	Front: 500 feet Rear: 800 feet Side: 182 feet
Max. Building Height:	35 feet	Single story

<p>§314-109.1.2.9 Off-Street Parking</p> <p>Parking Spaces for the Uses Not Specified</p>	<p>Off Street Parking for Agricultural use*: One parking space per employee at peak shift. A minimum of two parking spaces are required.</p> <p>*Use for this activity is not specified. Per Section 314- 109.1.2.9, the Director may fix the required number of parking spaces based on standards for most comparable use.</p>	<p>The cultivation is operated by up to 25 seasonal staff, who drive to the site daily. The site plan does indicate twenty-five (25) designated parking areas, sufficient space is available for fifteen vehicles.</p>
<p>§314-61.1 Streamside Management Area (SMA)</p>	<p>Purpose: To provide minimum standards pertaining to the use and development of land located within Streamside Management Areas (SMAs) and other wet areas (OWA) to implement the County's Open Space Element of the General Plan.</p>	<p>No work is proposed to be carried out within a Streamside Management Area that goes beyond existing road maintenance.</p>

314-55.4 et seq. HCC: Commercial Cultivation, Processing, Manufacturing and Distribution of Cannabis for Medical Use Inland Land Use Regulation (CMMLUO)

<p>§314-55.4.8.2</p>	<p>In zoning district TPZ and AE, existing outdoor cultivation may be permitted with a Conditional Use Permit.</p>	<p>The project site is a forested site zoned TPZ and AE. The Applicant has applied for the necessary CUP to bring the existing 43,560 square foot (SF) outdoor medical cannabis cultivation into compliance.</p>
<p>§314-55.4.8.2.2 Existing Outdoor and Mixed-Light Cultivation Areas</p>	<p>On parcels 5 acres or larger in size, a Zoning Clearance Certificate, Special Permit or Conditional Use Permit may be issued for existing outdoor and mixed light cultivation for some or all of the cultivation area in existence prior to January 1, 2016. The total cultivation area allowed on a single parcel shall not exceed one acre for outdoor cultivation or 22,000 square feet for mixed-light cultivation. A Conditional Use Permit is appropriate for existing outdoor and/or mixed-light cultivation >10,000 - 43,560 sf on parcels over 1-acre, zoned FR.</p>	<p>The application is for an existing 43,560 SF outdoor medical cannabis cultivation on APN 315-093-006, which comprise a single 125-acre parcel zoned TPZ and AE. Aerial imagery on Google Earth indicates that existing cultivation operations on the property began between 2010 and 2012. The cultivation area, type, status, and zoning of the parcel are consistent with the requirements for a Conditional Use Permit. The Applicant will comply with all conditions of the CMMLUO, as specified in the recommended conditions of approval.</p>

§314-55.4.8.10 Permit Limit	No more than four commercial cannabis activity permits may be issued to a single person, as defined in the referenced section.	According to records maintained by the Department, Applicant, holds no other cannabis activity permits, and is entitled to four. This application is for one permit. The applicant has two more applications awaiting decision on adjacent and nearby parcels.
§314-55.4.9.1 Accessory Processing	Processing for cultivation requiring a Special Permit or Use Permit will be considered in the Use Permit application.	The Applicant proposes to process the cannabis at an on-site facility. Once harvested, cannabis plants will be inspected and then processed. All cannabis processing shall occur within the 640 SF processing building. Cut flowers will be de-leafed and prepared for drying. Once the proper moisture is achieved flowers will be bucked and placed into bins in the curing room. Once cured flowers will be bagged until they are hand trimmed and finishing. Finished product will then be packaged and sealed and await transport.
§314-55.4.9.4 Pre-Application Registration	Existing cultivation sites shall register with the County within 180 days of the effective date of this ordinance.	The Applicant submitted the required Commercial Cannabis Registration Form for the existing cultivation on APN 315-093-006, with the Planning Division on August 21, 2016, and within the specified window.
§314-55.4.10 Application Requirements	Identifies the Information Required for All Applications	Attachment 4 identifies the information submitted with the application and shows all the required information was received.
§314-55.4.11 Performance Standards	Identifies the Performance Standards for Cannabis Cultivation Activities	All the applicable performance standards are included as Conditions of project approval. They are required to be met throughout the timeframe of the permit.
§314-55.4.11.c Performance Standards-Water	Compliance with all statutes, regulations and requirements of the California State Water Resources Control Board, Division of Water Rights, at a minimum to include a statement of diversion of surface water from a stream, river, underground stream, or other watercourse required by Water Code Section 5101, or other applicable permit, license, or registration.	Irrigation water will be sourced from a 280,000-gallon rainwater catchment pond on adjacent parcel under common ownership APN 315-092-007. The subject parcel also has a permitted groundwater well which does not currently have a pump but is ready for backup irrigation water. The well is permitted (Humboldt County Division of Environmental Health Permit # 17/18-1785). Due to 3D Drilling going out of business, a well log is not available. If the well is used, it will be subject to the forbearance period of May 15 to October 31. The rainwater catchment pond is to be the primary source of irrigation water. Based on the submitted evidence, the project complies with the referenced section and is not defined as a surface water diversion. The conditions indicate that the Planning Department reserves the right to require additional water storage if necessary.

<p>§314-55.4.11.d Performance Standards- Setbacks</p>	<p>The area of cannabis cultivation and on-site processing shall be setback at least 30 feet from any property line, and 600 feet from any school, school bus stop, church or other place of religious worship, public park, or tribal cultural resources (TCRs).</p>	<p>There are no schools or school bus stops within 600 feet of the cultivation operation. There are no parks as defined HCC Section 314- 55.4.7 within 600 feet of the cultivation site based on a review of aerial imagery. Nor is there a place of religious worship within 600 feet. The site plan shows the project complies with property line setback. Conditions of approval have been included related to inadvertent discovery protocol based on the recommendation of the Bear River Band of the Rohnerville Rancheria.</p>
<p>§314-55.4.11.o Performance Standards- Generator Noise</p>	<p>The noise produced by a generator used for cannabis cultivation shall not be audible by humans from neighboring residences. The combined decibel level for all noise sources, including generators, at the property line shall be no more than 60 decibels. Where applicable, sound levels must also show that they will not result in the harassment of Marbled Murrelet or Spotted Owl species, when generator use is to occur in the vicinity of potential habitat. Conformance will be evaluated using current auditory disturbance guidance prepared by the United State Fish and Wildlife Service</p>	<p>The site obtains electricity from generators and the site is understood to be habitat for Northern Spotted Owls or in the vicinity of NSO habitat. The applicant will attenuate all noise sources to 50dB or less at 100 feet from the noise source or at the edge of habitat such as a tree line, whichever is closest. This is a condition of approval.</p>
<p>§314-55.4.17 Sunset Date</p>	<p>No application for any Use Permit pursuant to the CMMLUO shall be processed for issuance or approval that is received after December 31, 2016.</p>	<p>The Applicant filed the application on August 21, 2016.</p>

4. Public Health, Safety and Welfare: The following table identifies the evidence which documents the finding that the proposed development will not be detrimental to the public health, safety and welfare or materially injurious to properties or improvements in the vicinity.

Code Section	Summary of Applicable Requirements	Evidence that Supports the Required Finding
§312-17.1.4	The proposed development will not be detrimental to the public health, safety and welfare, and will not be materially injurious to properties or improvements in the vicinity.	The Department finds that the project will not be detrimental to the public health, safety and welfare since all reviewing referral agencies have approved the project design. The project as proposed and conditioned is consistent with the general plan and zoning ordinances; and the project is not expected to cause significant environmental damage.

5. Residential Density Target: The following table documents the evidence which supports finding that the proposed project will not reduce the residential density for any parcel below that utilized by the Department of Housing and Community Development in determining compliance with housing element law.

Code Section	Summary of Applicable Requirement	Evidence that Supports the Required Finding
17.1.5 Housing Element Densities	The proposed development shall not reduce the residential density for any parcel below that utilized by the Department of Housing and Community Development in determining compliance with housing element law (the midpoint of the density range specified in the plan designation), except where: 1) the reduction is consistent with the adopted general plan including the housing element; and 2) the remaining sites identified in the housing element are adequate to accommodate the County share of the regional housing need; and 3) the property contains insurmountable physical or environmental limitations and clustering of residential units on the developable portions of the site has been maximized.	The property was not included in the 2019 Housing Inventory and is not in a Housing Opportunity Zone. The site does not have an existing residence but would not disallow future residential use. The project does not involve housing but does not limit the ability of the parcel to be developed for residential uses if in conformance with the General Plan and Zoning designations. The project is in conformance with the standards in the Housing Element.

6. Environmental Impact: The following documents the evidence which supports finding that the proposed development will not adversely impact the environment.

As lead agency, the Department prepared an Addendum to the previously adopted Mitigated Negative Declaration (MND) (State Clearinghouse # 2015102005) prepared for the Commercial Medical Marijuana Land Use Ordinance (CMMLUO) and adopted by the County Board of Supervisors January 26, 2016. The MND prepared for the CMMLUO established that the environmental effects of existing cultivation operations would be reduced from the baseline impacts through the regulations applied by the CMMLUO. The proposed project is consistent with all regulations within the CMMLUO and all mitigation measures of the MND. The project is for the approval of an existing cultivation and on-site processing. The environmental document on file include detailed discussions of all the relevant environmental issues.

ATTACHMENT 3

CEQA ADDENDUM TO THE MITIGATED NEGATIVE DECLARATION
FOR THE COMMERCIAL MEDICAL MARIJUANA LAND USE ORDINANCE

Commercial Medical Marijuana Land Use Ordinance Mitigated Negative Declaration (MND)
(State Clearinghouse # 2015102005), January 2016

APN 315-093-006, Grouse Creek Road, Dinsmore area, County of Humboldt

Prepared By
Humboldt County Planning and Building Department
3015 H Street, Eureka, CA 95501

August 2020

Background

Modified Project Description and Project History - The original project reviewed under the Mitigated Negative Declaration (MND) for the Commercial Medical Marijuana Land Use Ordinance (CMMLUO) addressed the broad environmental impacts that could be expected to occur from the adoption and implementation of the ordinance. The MND specified that the regulations established in the CMMLUO would mitigate the impacts of existing cannabis operations by establishing regulations for an existing unregulated land use to help prevent and reduce environmental impacts that are known to result from unpermitted baseline cultivation operations. The MND states that "Bringing existing operations into compliance will help to attenuate potential environmental effects from existing cultivation activities, including aesthetic impacts resulting from improper operation or poor siting."

The modified project involves a Conditional Use Permit for an existing 43,560 SF outdoor medical cannabis, and 495 square feet of propagation. All cannabis processing shall be conducted on-site in the existing 640 SF drying shed and the 2,400 SF processing building to be retrofitting to commercial and ADA standards.

Water for irrigation is sourced from a 280,000-gallon rainwater catchment pond on adjacent parcel under common ownership APN 315-092-007. The subject parcel also has a drilled, non-functional well for emergency back-up irrigation water which is subject to forbearance requirements. The site contains a total of 26,925 gallons of hard tank storage. The applicant estimates, 280,000 gallons of water is required for the annual operations. Plants are harvested and dried on-site in a proposed 2,400 square-foot ancillary processing building and 640 SF processing shed. Propagation occurs in the on-site 495 SF nursery hoop house. All processing and operations associated with cannabis for Crisp Farms, LLC will be conducted by the owners of Crisp Farms, LLC with the assistance of up to 25 planned employees.

Power to the site is provided by a noise attenuated generator. The modified project will also comply with provisions of the CMMLUO intended to eliminate impacts to sensitive species from noise and from light through the requirement to develop a light and noise attenuation plan. Compliance with these and other measures of the CMMLUO ensure consistency with the MND.

Purpose - Section 15164 of the California Environmental Quality Act (CEQA) provides that the lead agency shall prepare an addendum to a previously certified Mitigated Negative Declaration (MND) if some changes or additions are necessary but none of the conditions described in Section 15162 calling for a subsequent EIR or Negative Declaration have occurred. Section 15162 states that when an EIR has been certified for a project, no subsequent EIR shall be prepared for that project unless the lead agency determines, on the basis of substantial evidence in the light of the whole record, one or more of the following:

1. Substantial changes are proposed in the project which require major revisions of the previous MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;
or
2. Substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;
or
3. New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous MND was certified as complete, shows any of the following: A) the project will have one or more significant effects not discussed in the previous MND; B) significant effect previously examined will be substantially more severe than shown in the previous MND; C) mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative; or D) mitigation measures or alternatives which are considerably different from those analyzed in the previous MND would

substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.

Summary of Significant Project Effects and Mitigation Recommended

No changes are proposed for the original MND recommended mitigations. The proposal is to authorize an existing 11,000 SF outdoor and 21,500 SF of mixed-light medical cannabis cultivation commercial operation, and minor improvements necessary to bring the operation into compliance with the CMMLUO is fully consistent with the impacts identified and adequately mitigated in the original MND. The project as conditioned to implement responsible agency recommendations, results in no significantly adverse environmental effects beyond those identified in the MND.

In reviewing the application for consistency with the adopted MND, the County Considered the following information and studies among other documents:

- On-site Wastewater Treatment Report prepared December of 2015 by Trinity Valley Consulting Engineers, Inc.
- R-2 Geologic Soils Report prepared December of 2015 by Trinity Valley Consulting Engineers, Inc.
- Archaeological Study performed by Archaeological Research and Supply in December of 2019.
- Engineered Road Evaluation Report completed by David Nicoletti in December of 2019.
- Lake and Streambed Alteration Agreement finalized
- Grading and Erosion Control Plan prepared in June 2016 by Trinity Valley Consulting Engineers, Inc.

Other CEQA Considerations

Staff suggests no changes for the revised project.

EXPLANATION OF DECISION NOT TO PREPARE A SUPPLEMENTAL MITIGATED NEGATIVE DECLARATION OR ENVIRONMENTAL IMPACT REPORT

See Purpose statement above.

In every impact category analyzed in this review, the projected consequences of the current project proposal are either the same or less than significantly increased than the initial project for which the MND was adopted. Based upon this review, the following findings are supported:

FINDINGS

1. The proposed project will permit an existing cannabis operation and bring the operation into compliance with county and state requirements intended to adequately mitigate environmental impacts.
2. The circumstances under which the project was approved have not changed substantially. There are no new significant environmental effects and no substantial increases in the severity of previously identified effects.
3. For the current proposed project, there has been no new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous MND was adopted as complete.

CONCLUSION

Based on these findings it is concluded that an Addendum to the certified MND is appropriate to address the requirements under CEQA for the current project proposal. All of the findings, mitigation requirements, and mitigation and monitoring program of the MND, remain in full force and effect on the original project.

ATTACHMENT 4

Applicant's Evidence In Support of the Required Findings

Attachment 4 includes a listing of all written evidence which has been submitted by the Applicant in support of making the required findings. The following materials are on file with the Planning Division:

1. The name, contact address and phone number(s) of the Applicant. (Application form on file)
2. If the Applicant is not the record title owner of parcel, written consent of the owner for the application with original signature and notary acknowledgement. (On File)
3. Site plan showing the entire parcel, including easements, streams, springs, ponds and other surface water features, and the location and area for cultivation on the parcel with dimensions of the area for cultivation and setbacks from property lines. The site plan shall also include all areas of ground disturbance or surface water disturbance associated with cultivation activities, including: access roads, water diversions, culverts, ponds, dams, graded flats, and other related features. If the area for cultivation is within $\frac{1}{4}$ mile (1,320 ft.) of a school, school bus stop, church or other place of religious worship, public park, or Tribal Cultural Resource, the site plan shall include dimensions showing that the distance from the location of such features to the nearest point of the cultivation area is at least 600 feet. (Attached)
4. A cultivation and operations plan that meets or exceeds minimum legal standards for water storage, conservation and use; drainage, runoff and erosion control; watershed and habitat protection; and proper storage of fertilizers, pesticides, and other regulated products to be used on the parcel, and a description of cultivation activities (outdoor, indoor, mixed light), the approximate date(s) cannabis cultivation activities have been conducted on the parcel prior to the effective date of this ordinance, if applicable, and schedule of activities during each month of the growing and harvesting season. (See Attachment 4.A)
5. Copy of the statement of water diversion, or other permit, license or registration filed with the State Water Resources Control Board, Division of Water Rights, if applicable. (Well Permit Application for Well Permit No. 17/18-1785 On file)
6. Description of water source, storage, irrigation plan, and projected water usage. (Attached within Operations Plan)
7. Copy of Notice of Intent and Monitoring Self-Certification and other documents filed with the North Coast Regional Water Quality Control Board demonstrating enrollment in Tier 1, 2 or 3, North Coast Regional Water Quality Control Board Order No. 2015-0023, or any substantially equivalent rule that may be subsequently adopted by the County of Humboldt or other responsible agency. (On file)
8. If any on-site or off-site component of the cultivation facility, including access roads, water supply, grading or terracing impacts the bed or bank of any stream or other watercourse, a copy of the Streambed Alteration Permit obtained from the Department of Fish & Wildlife. (See Attachment 4.B)
9. If the parcel is zoned FR, U or TPZ, or involves the conversion of timberland as defined under section 4526 of the Public Resources Code, a copy of a less-than-3-acre conversion exemption or timberland conversion permit, approved by the California Department of Forestry and Fire Protection (CAL-FIRE). Alternately, for existing operations occupying sites created through prior unauthorized conversion of timberland, evidence may be provided showing that the landowner has completed a civil or criminal process and/or entered into a negotiated settlement with CAL-FIRE. (Not Applicable)

10. Consent for onsite inspection of the parcel by County officials at prearranged date and time in consultation with the Applicant prior to issuance of any clearance or permit, and once annually thereafter. (On file)
11. Acknowledge that the County reserves the right to reduce the size of the area allowed for cultivation under any clearance or permit issued in accordance with this Section in the event that environmental conditions, such as a sustained drought or low flows in the watershed will not support diversions for irrigation. (On file)
12. Acknowledge that the county reserves the right to engage with local Tribes before consenting to the issuance of any clearance or permit, if cultivation operations occur within an Area of Traditional Tribal Cultural Affiliation, as defined herein. This process will follow current departmental referral protocol, including engagement with the Tribe(s) through coordination with their Tribal Historic Preservation Officer (THPO) or other tribal representatives. This procedure shall be conducted similar to the protocols outlined under SB 18 (Burton) and AB 52 (Gatto), which describe "government to government" consultation, through tribal and local government officials and their designees. During this process, the tribe may request that operations associated with the clearance or permit be designed to avoid, minimize or mitigate impacts to Tribal Cultural Resources, as defined herein. Examples include, but are not limited to: conducting a site visit with the THPO or their designee to the existing or proposed cultivation site, requiring that a professional cultural resources survey be performed, or requiring that a tribal cultural monitor be retained during project-related ground disturbance within areas of sensitivity or concern. The county shall request that a records search be performed through the California Historical Resources Information System (CHRIS). (On file)
13. Road Evaluation Report dated December 30, 2019. (See Attachment 4.C)
14. DEH Worksheet (on file)
15. Water Resources Protection Plan prepared by Mother Earth Engineering dated May 2018. (See Attachment 4.D)
16. Grading and Erosion Control Plan prepared by Trinity Valley Consulting Engineers in October of 2015. (Attached)
17. Archaeological Study Prepared by Archaeological Research and Supply Company in December 2019. (On file)

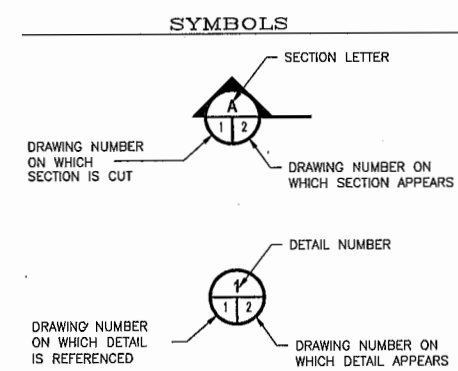
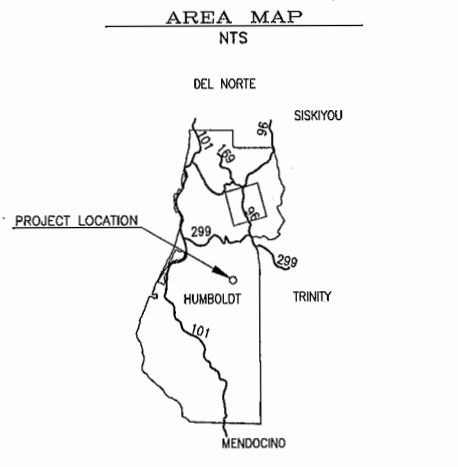
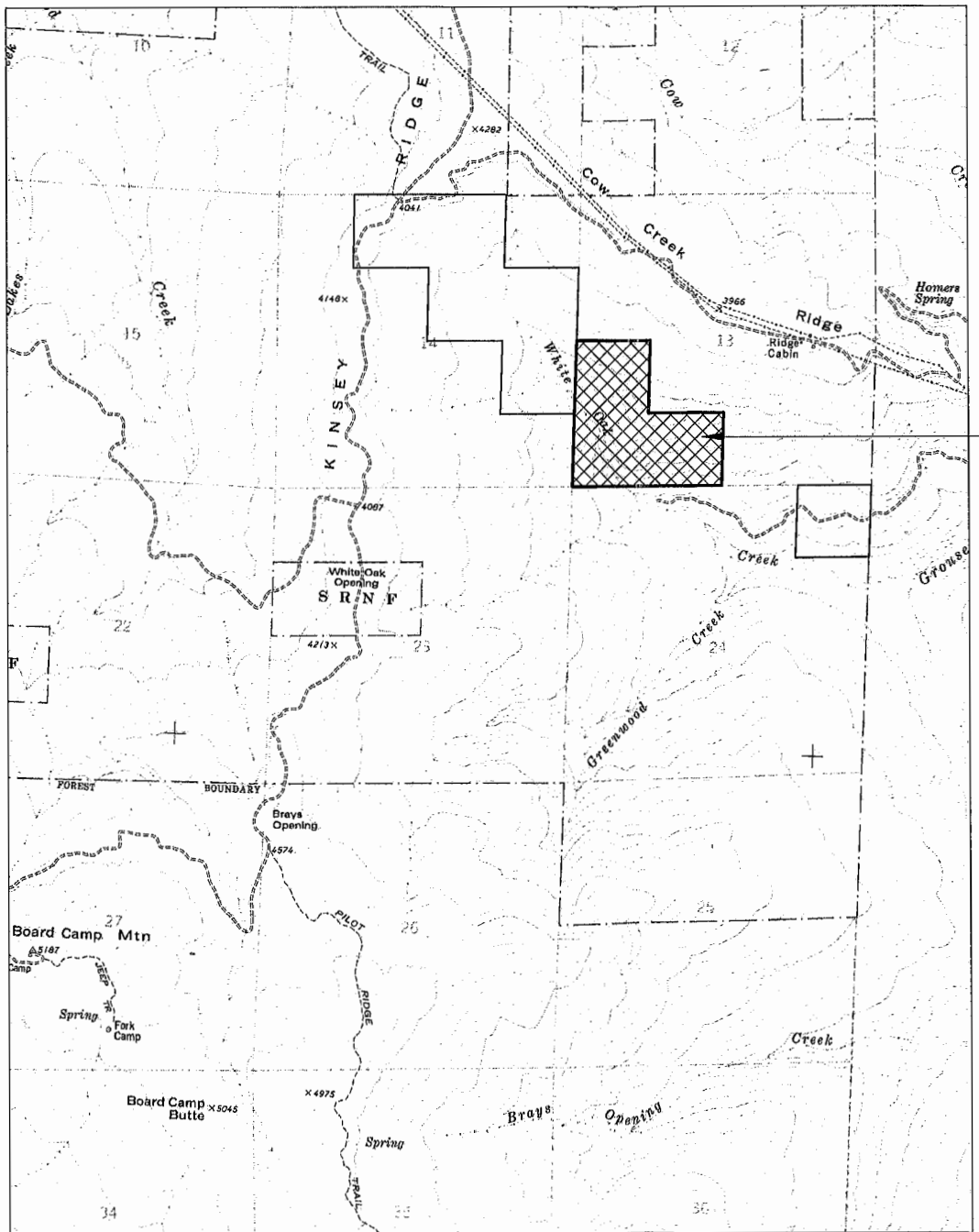
TITLE SHEET

APN; 315-093-006

FOR DEAN CRISP 427 LENTELL ROAD EUREKA, CA 95503

PROPOSED	EXISTING
CABLE TV OVERHEAD	CABLE TV OVERHEAD
POWER OVERHEAD	POWER OVERHEAD
TELEPHONE OVERHEAD	TELEPHONE OVERHEAD
TELEPHONE UG	TELEPHONE UG
POWER (UNDERGROUND) UG	POWER (UNDERGROUND) UG
GAS LINE	GAS LINE
ANCHOR/GUY WIRE	ANCHOR/GUY WIRE
SEWER MANHOLE	SEWER MANHOLE
SEWER LINE	SEWER LINE
FLUSHING BRANCH/CLEANOUT	FLUSHING BRANCH/CLEANOUT
SEWER SERVICE	SEWER SERVICE
STORM DRAIN MANHOLE	STORM DRAIN MANHOLE
STORM DRAIN PIPE	STORM DRAIN PIPE
STORM DRAIN INLET	STORM DRAIN INLET
WATER LINE	WATER LINE
WATER VALVE	WATER VALVE
REDUCER	REDUCER
BLOW OFF ASSEMBLY	BLOW OFF ASSEMBLY
AIR RELIEF VALVE	AIR RELIEF VALVE
FIRE HYDRANT ASSEMBLY	FIRE HYDRANT ASSEMBLY
R.P. BACKFLOW PREVENTER	R.P. BACKFLOW PREVENTER
DRIVE WAY	DRIVE WAY
SIDEWALK RAMP	SIDEWALK RAMP
BARRICADE	BARRICADE
SURVEY MONUMENT	SURVEY MONUMENT
CENTERLINE	CENTERLINE
RIGHT OF WAY LINE	RIGHT OF WAY LINE
PROPERTY LINE	PROPERTY LINE
EASEMENT LINE	EASEMENT LINE
EDGE OF PAVEMENT	EDGE OF PAVEMENT
RIDGE LINE	RIDGE LINE
FENCE LINE	FENCE LINE
CONTOUR LINE	CONTOUR LINE
SIDEWALK	SIDEWALK
STREET LIGHT	STREET LIGHT
STREET NAME SIGN	STREET NAME SIGN
SIGN	SIGN

ABBREVIATIONS	
AC	= ASPHALTIC CONCRETE
AB	= AGGREGATE BASE
A.D.	= ALGEBRAIC DIFFERENCE
BC, PC	= BEGIN CURVE
CO	= CLEAN OUT
CL	= CENTER LINE
CMP	= CORRUGATED METAL PIPE
CPCT.	= COMPACT
D	= DELTA
DET	= DETAIL
DRN	= DRAIN
EX	= EXISTING
EC	= END CURVE
EG	= EXISTING GROUND
EP	= EDGE OF PAVEMENT
FF	= FINISH FLOOR
FG	= FINISH GRADE
FH	= FIRE HYDRENT
FL	= FLOW LINE
GA	= GUY ANCHOR
GV	= GATE VALVE
HC	= HANDICAPPED
HDPE	= HIGH DENSITY POLYETHYLENE PIPE
INV	= INVERT
(INT-X)	= INTERSECTION
K	= SIGHT DISTANCE
LAT	= LATERAL
LD.	= LOCAL DEPRESSION
LF.	= LINEAR FEET
L.F.	= SEWER LEACH FIELD
LT.	= LEFT
M.S.	= MASONRY
MI	= MILES
MSE	= MECHANICALLY STABILIZED EARTH
(N)	= NEW
NTS	= NOT TO SCALE
O.C.	= ON CENTER
PG&E	= PACIFIC GAS & ELECTRIC
(P)	= PROPOSED
PP	= POWER POLE
PRC	= POINT OF REVERSE CURVE
PT	= POINT
PVI	= POINT OF VERTICAL INTERSECTION
PVT	= PRIVATE
RT	= RIGHT
RTN	= RETURN
SB	= SET BACK
SOMH	= STORM DRAIN MAN HOLE
SHT	= SHEET
SD	= STORM DRAIN
STA	= STATION
STD.	= STANDARD
TC	= TOP OF CURB
TBC	= TOP BACK OF CURB
TFC	= TOP FACE OF CURB
TOB	= TOP OF BANK
TEL	= TELEPHONE
TP	= TOP OF PAVEMENT
TVCE	= TRINITY VALLEY CONSULTING ENGINEERS
TW	= TOP OF WALL
(TYP)	= TYPICAL
UG	= UNDERGROUND
W	= WATER
WV	= WATER VALVE



SHEET INDEX			
DRAWING #	TITLE	REVISION	DATE
T01	TITLE SHEET	0	10/31/15
C01	PLOT PLAN	0	10/31/15
C02	GRADING PLAN - SITE #1	0	10/31/15
C03	SECTIONS AND DETAILS - SITE #1	0	10/31/15
C04	GRADING PLAN - SITE #2	0	10/31/15
C05	SECTIONS AND DETAILS - SITE #2	0	10/31/15
C06	EROSION CONTROL DETAILS	0	10/31/15
C07	SOIL REPORT RECOMMENDATIONS	0	10/31/15
1	AS-BUILT PLAN (EXISTING RESIDENCE)	0	10/31/15
2	AS-BUILT PLAN (EXISTING RESIDENCE)	0	10/31/15
2	AS-BUILT PLAN (EXISTING RESIDENCE)	0	10/31/15

CONTRACTOR ALERT!

CONTRACTOR MUST CONTACT USA DIG AT 800-227-2600 AT LEAST 72 HOURS BEFORE ANY EARTHWORK OR ACTIVITIES THAT MAY IMPACT EXISTING UNDERGROUND UTILITIES.

EXISTING UTILITY ALIGNMENTS BOTH HORIZONTALLY AND VERTICALLY MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITIES.



REV	DATE	BY	CHK BY	APP BY	DESCRIPTION

DEAN CRISP
 APN: 315-093-006
 WHITE OAK CREEK
TITLE SHEET
 HUMBOLDT COUNTY, CALIFORNIA

DRAWN BY: E. KEYES	DESIGNED BY: JTM	CHECKED BY: J. MCKNIGHT	APPROVED BY: JTM
DATE OF ISSUE: OCTOBER 2015			
SCALE: AS SHOWN			
PROJECT NO: 867			
DRAWING NO: T01			

1" = 100' 0" 1/2" = 0' 0" 1" = 100' 0" 1/2" = 0' 0"

ROAD STANDARDS

- ROADWAY SURFACE PROVIDES UNOBSTRUCTED ACCESS TO CONVENTIONAL DRIVE VEHICLES INCLUDING SEDANS AND FIRE ENGINES USING COUNTY ROAD CATEGORY 2 STANDARD FOR SURFACING TYPE.
- ROADWAY TURNOUTS (WHERE REQUIRED) ARE 10' WIDE AND 80' LONG AND TAPERED 25 FEET FROM BOTH ENDS.
- ROADWAY STRUCTURES (BRIDGES AND CULVERTS) BUILT TO CARRY MINIMUM LOAD AS REQUIRED IN CALIFORNIA VEHICLE CODE SEC. 36550 (40,000 LBS.) AND COMPLIES WITH THE

MINIMUM 15' VERTICAL CLEARANCES AND DESIGNED IN CONFORMANCE WITH THE COUNTY ROADWAY DESIGN MANUAL.

SIGNING REFLECTS CAPABILITY OF EACH BRIDGE FOR WEIGHT, CLEARANCE, SINGLE LANE ACCESS, OR

OTHER LIMITATIONS, UNLESS SIGNING WAIVED BY THE DIRECTOR OF PUBLIC WORKS PER SECTION 3112-9 OF H.C.C.

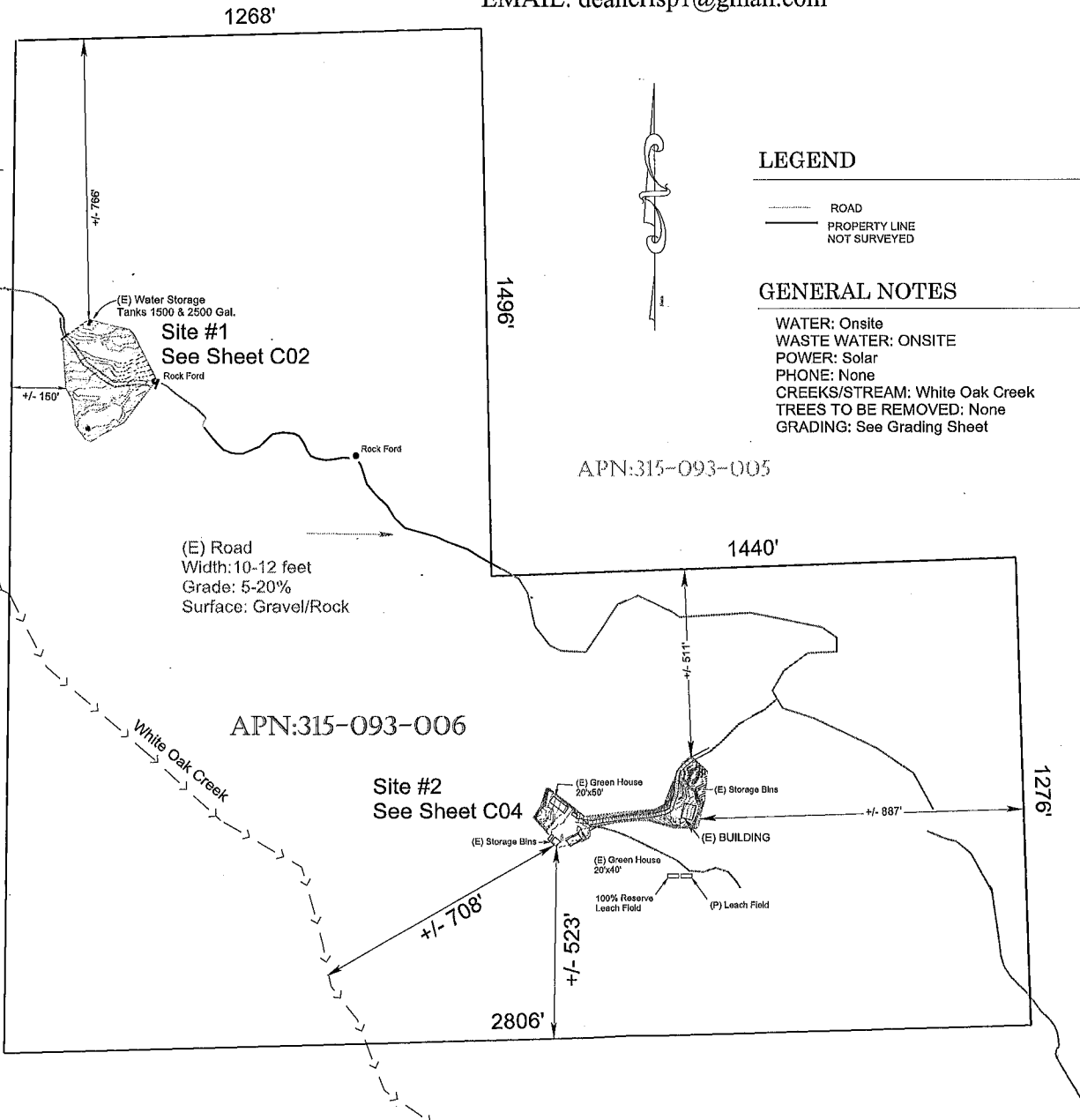
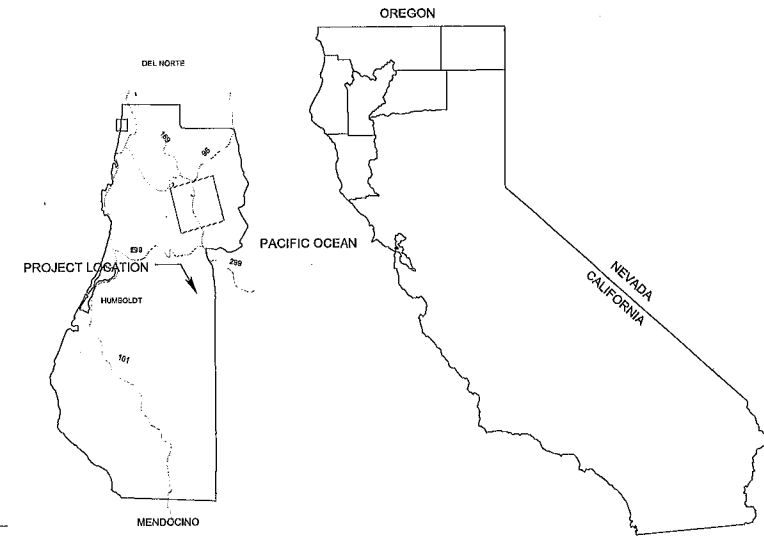
ONE LANE BRIDGE HAS UNOBSTRUCTED VISIBILITY FROM BOTH ENDS AND INTERVISIBLE TURNOUTS AT EACH END.

"FLATCAR" BRIDGE HAS ROADWAY SURFACE OF NOT LESS THAN 9' AND MEETS VISIBILITY REQUIREMENTS OF ONE LAND BRIDGE.

DOMESTIC EMERGENCY WATER SUPPLY SYSTEM

- THE MINIMUM EMERGENCY WATER STORAGE VOLUME OF 2,500 GALLONS EASILY EMERGENCY FOR FIRE USE.
- THE EMERGENCY SUPPLY MAY BE SEPARATE FROM THE DOMESTIC SUPPLY OR IT MAY BE SHARED. WHEN SHARED, AND IF THE REFILLING SUPPLY SOURCE (WELL, ETC.) CANNOT KEEP UP WITH THE DAILY DOMESTIC USE, THE AMOUNT STORED SHOULD BE INCREASED SO THAT 2,500 GALLONS ARE AVAILABLE FOR FIRE USE AT ANY TIME.
- THE WATER HYDRANT OR PLACE FOR WATER SUCTION MUST NOT BE FURTHER THAN 1/2 MILE FROM THE DWELLING, OR CLOSER THAN 50 FEET TO THE DWELLING USING ROAD MEASUREMENTS. PARCELS 10 ACRES OR LESS MUST HAVE THE HYDRANT/SUCTION WITHIN 500 FEET; AND IF THIS IS PHYSICALLY IMPOSSIBLE, WITHIN 1,000 FEET.
- ALL HYDRANT AND WATER SUCTION LOCATIONS MUST PROVIDE A ROAD STANDARD TURNOUT OR TURN AROUND.
- ALL WATER SUPPLY HYDRANTS AND SUCTION LOCATIONS MUST BE IDENTIFIED WITH A 3 INCH FEET OF THE HYDRANT. IF LOCATED OFF A DRIVEWAY, ANOTHER BLUE DOT MUST BE ATTACHED TO THE DRIVEWAY ADDRESS SIGN. ROAD SIGNS STATING "FIRE WATER" ARE AN ACCEPTABLE ALTERNATIVE.
- ALL EXPOSED PLUMBING SHOULD HAVE FREEZE PROTECTION AND CRASH BARRIERS AS NEEDED TO PREVENT DAMAGE.
- ALL PIPES SUPPLYING WATER TO HYDRANTS MUST BE AT LEAST 3 INCHES IN DIAMETER. SMALLER DESIGNS MUST PROVE THEMSELVES ABLE TO PROVIDE A 200 GPM FLOW FROM THE HYDRANT CONNECTION.
- ALL HYDRANTS MUST BE 18 INCHES ABOVE GROUND, AT LEAST 8 FEET FROM FLAMMABLE VEGETATION, AT LEAST FEET FROM THE
- ALL HYDRANTS MUST HAVE A 2-1/2 INCH, MAKE INTERNATIONAL HOSE CONNECTION WITH CAP.
- ALL HYDRANTS/VALVES AND CONNECTIONS MUST BE MADE OF BRASS OR OTHER CORROSION RESISTANT MATERIAL.
- A WET HYDRANT USED WITH A GRAVITY SUPPLY OR PRESSURE SYSTEM MUST HAVE A 2-1/2 INCH VALVE.
- A DRY HYDRANT USED FOR WATER SUCTION DOES NOT NEED A VALVE, BUT DOES REQUIRE A STRAINER (PERFORATED PIPE LENGTH) AT THE END OF THE SUCTION PIPE. THE STRAINER MUST BE AT LEAST 3 FEET LONG.
- WHERE A PUMP IS RELIED UPON TO DELIVER WATER TO THE HYDRANT (NOT GRAVITY AND NOT SUCTION); IT MUST DELIVER 200 GALLONS PER MINUTE TO THE HYDRANT. IF IT IS AN ELECTRICALLY POWERED PUMP, IT MUST HAVE A FUELED ENGINE BACKUP (OR GENERATOR). ALSO, A STRAINER IS REQUIRED.
- WHERE GRAVITY IS USED TO GET THE WATER TO THE HYDRANT, THE SOURCE (TANK) MUST AT LEAST BE HIGHER THAN THE HYDRANT SO THAT ALL 2,500 GALLONS CAN DRAIN OUT WITHOUT SUCTION. ALSO, THE TANKS SHOULD BE NO MORE THAN 800 FEET ABOVE THE HYDRANT; OR HAVE A PRESSURE REDUCER RESTRICTING TO 250 PSI.
- WHERE SUCTION IS NEEDED TO GET THE WATER UP OUT OF A SOURCE (BY HOSE, DRY HYDRANT OR PUMP) FROM A NATURAL POND, UNDERGROUND TANK, SWIMMING POOL, ETC., THE END OF THE HOSE OR DRY HYDRANT PIPE STRAINER MUST HAVE 2 FEET OF WATER ABOVE IS AT ALL TIMES TO PREVENT CAVITATION (A VORTEX FUNNEL THAT ALLOWS AIR TO BE SUCKED IN). ALSO THE END OF THE SUCTION HOSE OR DRY HYDRANT PIPE STRAINER MUST BE HELD 1 FOOT OFF THE BOTTOM OF STORAGE THAT CAN ACCUMULATE DEBRIS. THIS MEANS THAT THE BOTTOM 3 FEET OF STORAGE AT THE SUCTION POINT IS UNUSABLE AND AT LEAST 2,500 GALLONS MUST BE AVAILABLE 3 FEET ABOVE THE BOTTOM WHEN THE WATER IS AT THE LOWEST LEVEL OF THE YEAR.
- WHERE SUCTION THROUGH A DRY HYDRANT PIPE IS USED TO GET WATER UP TO A FIRE ENGINE, THE LEVEL WHERE THE SUCTION PIPE STRAINER IS MUST BE NO MORE THAN 16 FEET LOWER THAN THE HYDRANT CONNECTION.
- WHERE A FIRE ENGINE SUCTION HOSE IS NEEDED TO GET WATER (NO DRY HYDRANT), THE LEVEL WHERE THE STRAINER END OF THE SUCTION HOSE MUST GO CAN BE NO MORE THAN 10 FEET LOWER THAN THE SURFACE WHERE THE ENGINE PARKS. ALSO, THE TOTAL REACH FROM THE EDGE OF THE PARKING SURFACE WHERE TO WHERE THE END OF THE SUCTION HOSE MUST BE CAN REQUIRE NO MORE THAN 15 FEET OF SUCTION HOSE AND NO SHARP BENDS. THIS MEANS THAT A TACK WITH NO DRY HYDRANT WILL HAVE TO BE BELOW THE PARKING AREA, OR HAVE A LOW SIDE WALL, BECAUSE IT COULD TAKE MORE THAN 16 FEET OF HOSE TO REACH UP TO THE TOP OF A TANK AND THEN BACK TO THE BOTTOM; AND COULD REQUIRE A VERY SHARP BEND.

PLOT PLAN
 PORTION OF SECTION 14 TOWNSHIP 4 NORTH, RANGE 4 EAST, H.M
 APN: 315-093-006-000
 FOR
 DEAN CRISP
 4270 LENTELL ROAD
 EUREKA, CA 95503
 EMAIL: deancrisp1@gmail.com

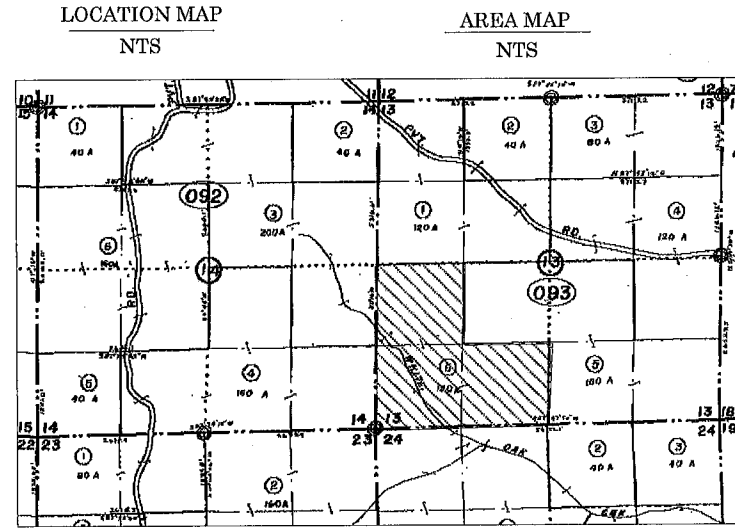


LEGEND

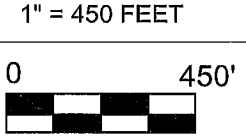
ROAD
 PROPERTY LINE
 NOT SURVEYED

GENERAL NOTES

WATER: Onsite
 WASTE WATER: ONSITE
 POWER: Solar
 PHONE: None
 CREEKS/STREAM: White Oak Creek
 TREES TO BE REMOVED: None
 GRADING: See Grading Sheet



- DRIVEWAY AND GATES**
- DRIVEWAYS MEET MINIMUM ROAD STANDARDS DESCRIBED ABOVE.
 - DRIVEWAYS LESS THAN 1320' LONG ARE 10' WIDE AND HAVE 15' MINIMUM VERTICAL CLEARANCE AND ARE BUILT TO COUNTY ROAD CATEGORY 1 STANDARD.
 - DRIVEWAYS LONGER THAN 1320' ARE 10'-12' WIDE AND HAVE 15' MINIMUM VERTICAL CLEARANCE WITH INTERVISIBLE TURNOUTS AND ARE BUILT TO COUNTY ROAD CATEGORY 2 STANDARD.
 - DRIVEWAYS EXCEEDING 150' IN LENGTH BUT LESS THAN 800' HAVE A TURNOUT NEAR THE MIDPOINT
 - DRIVEWAYS LONGER THAN 800' HAVE TURNOUTS AT INTERVISIBLE LOCATIONS AT APPROXIMATELY 400' INTERVALS.
 - DRIVEWAYS HAVE MAXIMUM GRADE MEETING STANDARD FOR COUNTY ROAD CATEGORY 1: 7%- 12% (NORMAL); 11%- 18% (TOLERABLE). GRADE IN EXCESS OF 18% MUST DEMONSTRATE CONFORMANCE WITH COUNTY ROADWAY DESIGN MANUAL.
 - DRIVEWAYS HAVE MINIMUM CURVE RADIUS MEETING STANDARD FOR COUNTY ROAD CATEGORY 1: 120' (NORMAL); 80' (TOLERABLE). CURVE RADIUS LESS THAN 50' MUST DEMONSTRATE CONFORMANCE WITH COUNTY ROADWAY DESIGN MANUAL.
 - ALL GATES AT LEAST 2' WIDER THAN THE LANES SERVING THE GATE AND ALLOW A VEHICLE TO STOP WITHOUT BLOCKING TRAFFIC.
 - GATES PROVIDING ACCESS FROM A ROAD TO A DRIVEWAY ARE LOCATED AT LEAST 30' FROM THE ROADWAY EXCEPT AS PROVIDED BELOW.
 - GATES LESS THAN 30' FROM THE ROADWAY ARE PERMITTED WHEN TURNOUTS ARE CONSTRUCTED NEXT TO THE TRAVEL LANES WITH SAFE TURNING MOVEMENTS AND VISIBILITY WHEN APPROACHING FROM EITHER DIRECTION OF TRAVEL.
 - ONE-WAY ROADS ACCESSING GATES HAVE TURNAROUND WITH 40' RADIUS MINIMUM.



TVCE
 87 WALNUT WAY
 EUREKA, CALIFORNIA 95503
 PHONE: (830) 829-3000
 FAX: (830) 829-3011

DEAN CRISP
 APN: 315-093-006
 PLOT PLAN
 4270 LENTELL ROAD
 EUREKA, CA 95503 - EMAIL: deancrisp1@gmail.com

DATE OF ISSUE: **October 2015**
 SCALE: **AS SHOWN**
 PROJECT NO: **867**
 DRAWING NO: **C 01**

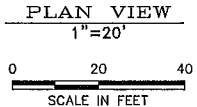
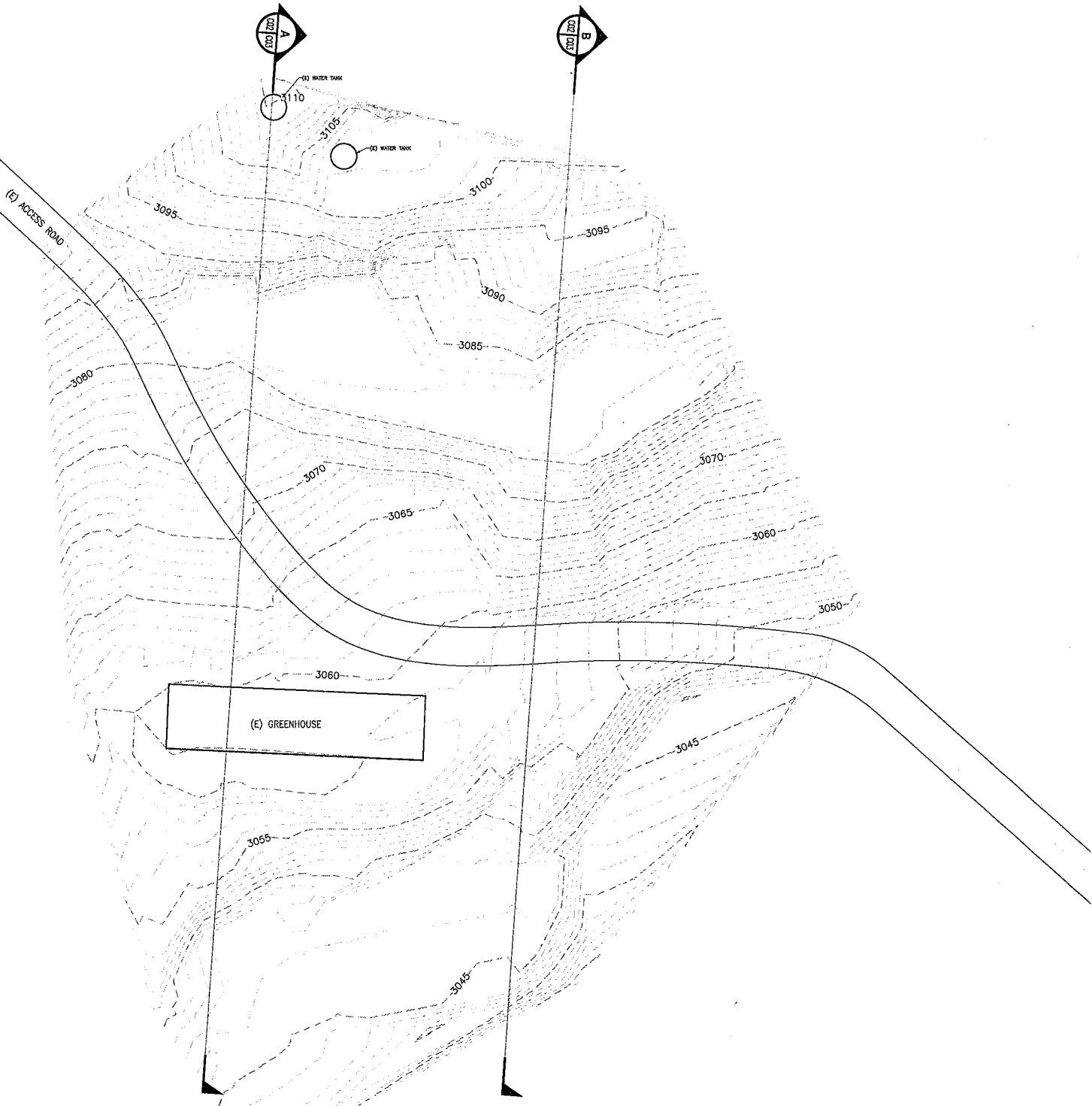
GRADING NOTES:

1. ALL EARTHWORK, INCLUDING BUT NOT LIMITED TO, SITE CLEARING, GRUBBING, STRIPPING, AND GRADING WILL BE CONDUCTED DURING DRY WEATHER CONDITIONS. (TYPICALLY APRIL 15 TO OCTOBER 15)
2. STRIP AND REMOVE ALL TOPSOIL AND VEGETATION FROM THE PROJECT AREA, AND FOR A MINIMUM OF THREE FEET TO THE OUTSIDE OF THE WORKING AREA.
3. ANY UNDOCUMENTED FILL SOILS, FINE-GRAINED RESIDUAL SOILS, AND ANY OTHER DEBRIS ENCOUNTERED AT OR BELOW THE EXISTING GROUND SURFACE SHALL BE REMOVED AT THE LOCATIONS RECEIVING ANY POTENTIAL FILLS.
4. THE SITE SHOULD BE GRADED TO PROVIDE ADEQUATE DRAINAGE SUCH THAT NO WATER IS ALLOWED TO POND ANYWHERE ON THE SITE OR MIGRATE BENEATH FUTURE DEVELOPMENTS.
5. ALL FILL MATERIAL SHALL BE PLACED IN HORIZONTAL LIFTS NOT TO EXCEED EIGHT INCHES (8") IN DEPTH AND SHALL BE COMPACTED MECHANICALLY.
6. ALL FILL MATERIAL SHALL BE FREE OF ORGANICS, ROCKS LARGER THAN 3", WOODY DEBRIS, ROOTS, AND INORGANIC MATERIAL.
7. ALL FILL MATERIAL SHALL HAVE A UNIFORM MOISTURE CONTENT AT OR NEAR OPTIMUM MOISTURE CONTENT AS DETERMINED BY TESTING AND APPROVED BY THE ENGINEER.
8. NON-STRUCTURAL FILL SHALL BE COMPACTED MECHANICALLY TO A FIRM UNYIELDING SURFACE AS APPROVED BY THE ENGINEER.
9. COMPACTION TESTING WILL BE DETERMINED AT THE ENGINEER'S DISCRETION.
10. IT IS RECOMMENDED THAT ANY MATERIAL PROPOSED FOR STRUCTURAL FILL MATERIAL TO SUPPORT ANY FOUNDATIONS OR STRUCTURAL BUILDING ELEMENT AND ASSOCIATED UTILITIES BE COMPACTED AS OUTLINED IN THE SOILS REPORT.
11. ALL FIN SLOPES SHALL BE TO A SMOOTH AND EVEN GRADE, SHALL BE SURFACE TRACKWALKED, AND FINAL GRADES NOT TO EXCEED 1.5:1 (hv).
12. SUFFICIENT TESTING AND INSPECTION SHOULD BE PERFORMED TO MONITOR THE SUITABILITY OF FILL MATERIALS AND ASSURE COMPLIANCE WITH THE RECOMMENDED COMPACTION STANDARDS.
13. ENGINEER TO PROVIDE CERTIFICATION OF EXISTING FILL, BOTH STRUCTURAL AND NON-STRUCTURAL FILL, THAT IT MEETS THE REQUIRED COMPACTION STANDARDS.

CLEARING, GRUBBING, & DEMOLITION NOTES:

1. TREES SCHEDULED TO BE REMOVED SHALL BE REMOVED COMPLETELY INCLUDING STUMPS, ROOTS, BRANCHES, WOODY DEBRIS, BARK, AND FLESH. TREES SHALL BE REMOVED FROM THE SITE AND DEPOSITED IN LOCATIONS DESIGNATED BY THE OWNER.
2. VEGETATION AND WOODY DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A MANNER CONSISTENT WITH APPLICABLE LAWS AND REGULATIONS.
3. ALL GENERATED AND ACCUMULATED CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A MANNER CONSISTENT WITH APPLICABLE LAWS AND REGULATIONS.
4. ALL AREAS WITH GENERATED VOIDS FROM DEMOLITION ACTIVITIES SHALL BE BACKFILLED WITH NATIVE SOIL TO FINISH GRADE IN 1' MAXIMUM VERTICAL LIFTS SUFFICIENTLY COMPACTED TO ELIMINATE SUBSIDENCE.
5. DUST CONTROL SHALL BE MAINTAINED DURING DEMOLITION PRACTICES.
6. TRACKING OF MATERIAL FROM THE SITE ONTO EXISTING ROADWAYS WILL NOT BE TOLERATED. TEMPORARY CONSTRUCTION SITE ENTRANCES SHOULD BE BUILT AT POINTS OF INTERSECTION TO EXISTING ROADWAYS AND PRACTICES SHOULD BE IMPLEMENTED TO REMOVE CONSTRUCTION MATTER FROM VEHICLES AND EQUIPMENT PRIOR TO LEAVING THE CONSTRUCTION SITE.
7. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED FOR THE SITE AS SOON AS PRACTICAL AND SHALL BE IN PLACE PRIOR TO EXECUTION OF MAJOR DEMOLITION OPERATIONS.

EARTHWORK QUANTITIES:	
CUT (CY):	700
FILL (CY):	700
NOTE: CUT AND FILL QUANTITIES ONSITE TO BE PERMANENT	



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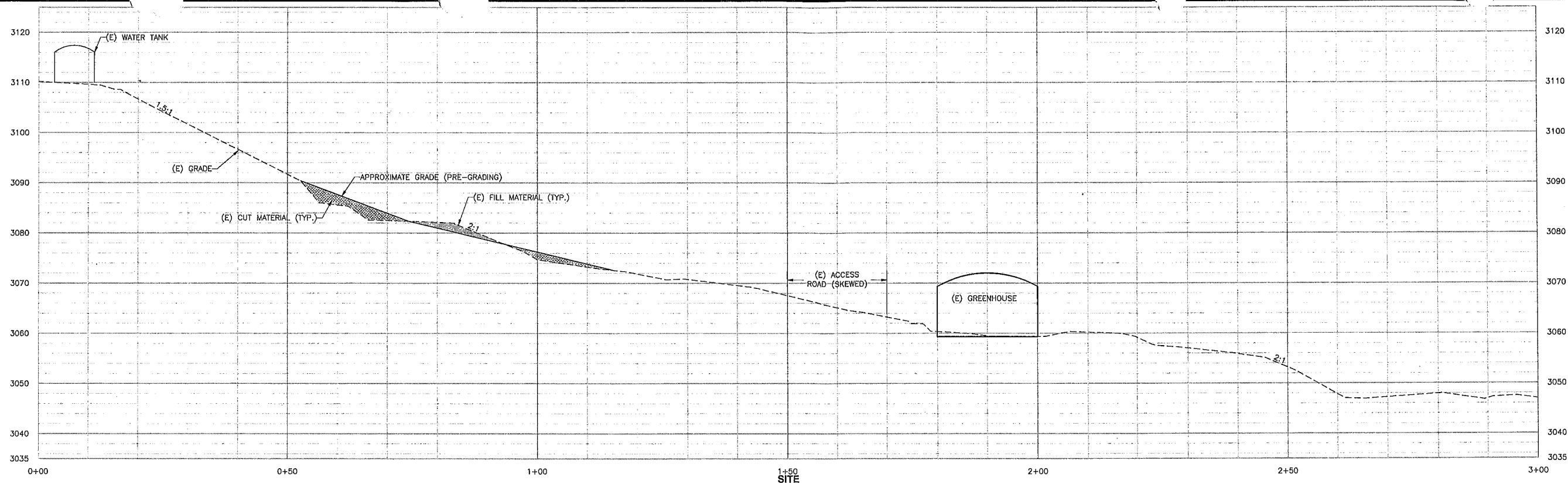
TVCE
 67 WALNUT WAY
 P.O. BOX 1567
 HILLOP, CALIF. 95573
 PH: (530) 536-3000
 FAX: (530) 536-3011

REV	DATE	DESCR	DES BY	CHK BY	APP BY
A	10/21/15	PRELIMINARY DESIGN			

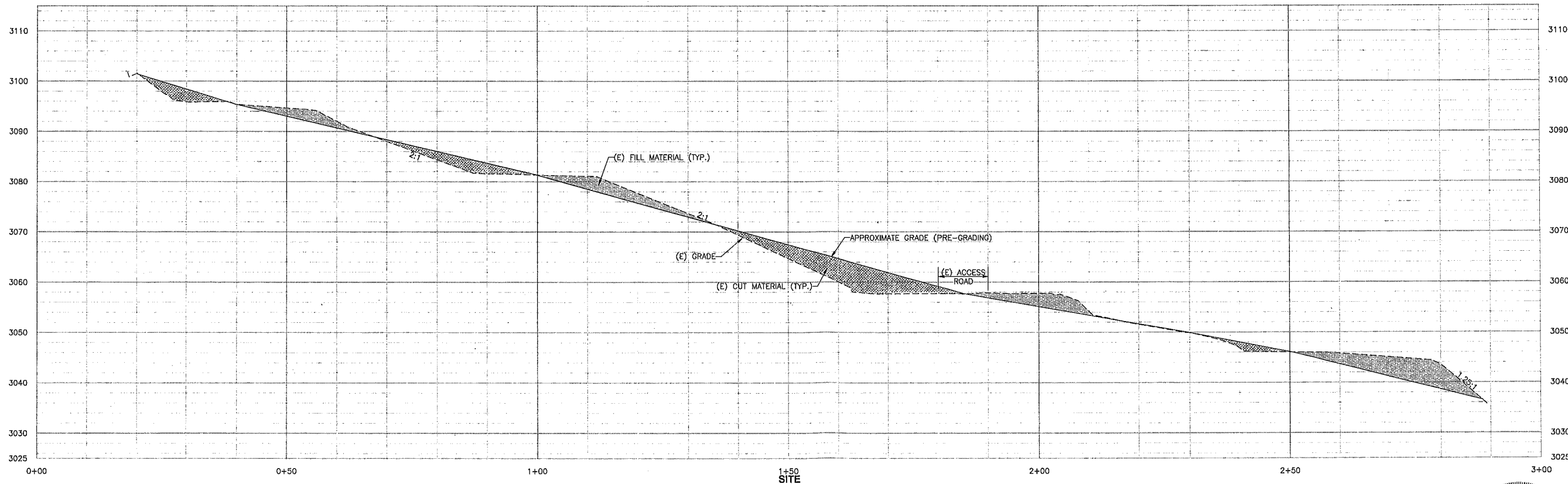
DEAN CRISP
 APN: 315-093-006
 WHITE OAK CREEK
SITE #1 - GRADING PLAN
 HUMBOLDT COUNTY, CALIFORNIA

DRAWN BY: E. KEYES	DATE OF ISSUE: OCTOBER 2015
DESIGNED BY: JTM	SCALE: AS SHOWN
CHECKED BY: J. MCKNIGHT	PROJECT NO: 867
APPROVED BY: TVCE	DRAWING NO: C02

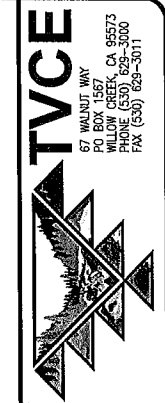
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 1" = 100'



SECTION A
 NTS



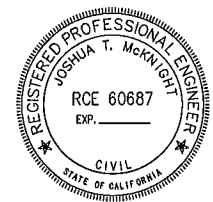
SECTION B
 NTS



REV	DATE	DESCRIPTION	APP BY	CHEK BY	DATE
A	10/25/15	PRELIMINARY DESIGN	JTM	JTM	

SITE #1 SECTIONS AND DETAILS
 HUMBOLDT COUNTY, CALIFORNIA
 DEAN CRISP
 APN: 315-093-006
 WHITE OAK CREEK

DESIGNED BY: JTM	APPROVED BY: J. McKNIGHT
DRAWN BY: E. KEYES	APPROVED BY: TVCE
DATE OF ISSUE: OCTOBER 2015	
SCALE: AS SHOWN	
PROJECT NO: 667	
DRAWING NO: C03	



GRADING NOTES:

- ALL EARTHWORK, INCLUDING BUT NOT LIMITED TO, SITE CLEARING, GRUBBING, STRIPPING, AND GRADING WILL BE CONDUCTED DURING DRY WEATHER CONDITIONS. (TYPICALLY APRIL 15 TO OCTOBER 15)
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- ENGINEER TO PROVIDE CERTIFICATION OF EXISTING FILL, BOTH STRUCTURAL AND NON-STRUCTURAL FILL, THAT IT MEETS THE REQUIRED COMPACTION STANDARDS.

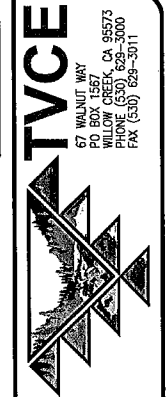
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- EROSION CONTROL MEASURES SHALL BE IMPLEMENTED FOR THE SITE AS SOON AS PRACTICAL AND SHALL BE IN PLACE PRIOR TO EXECUTION OF MAJOR DEMOLITION OPERATIONS.

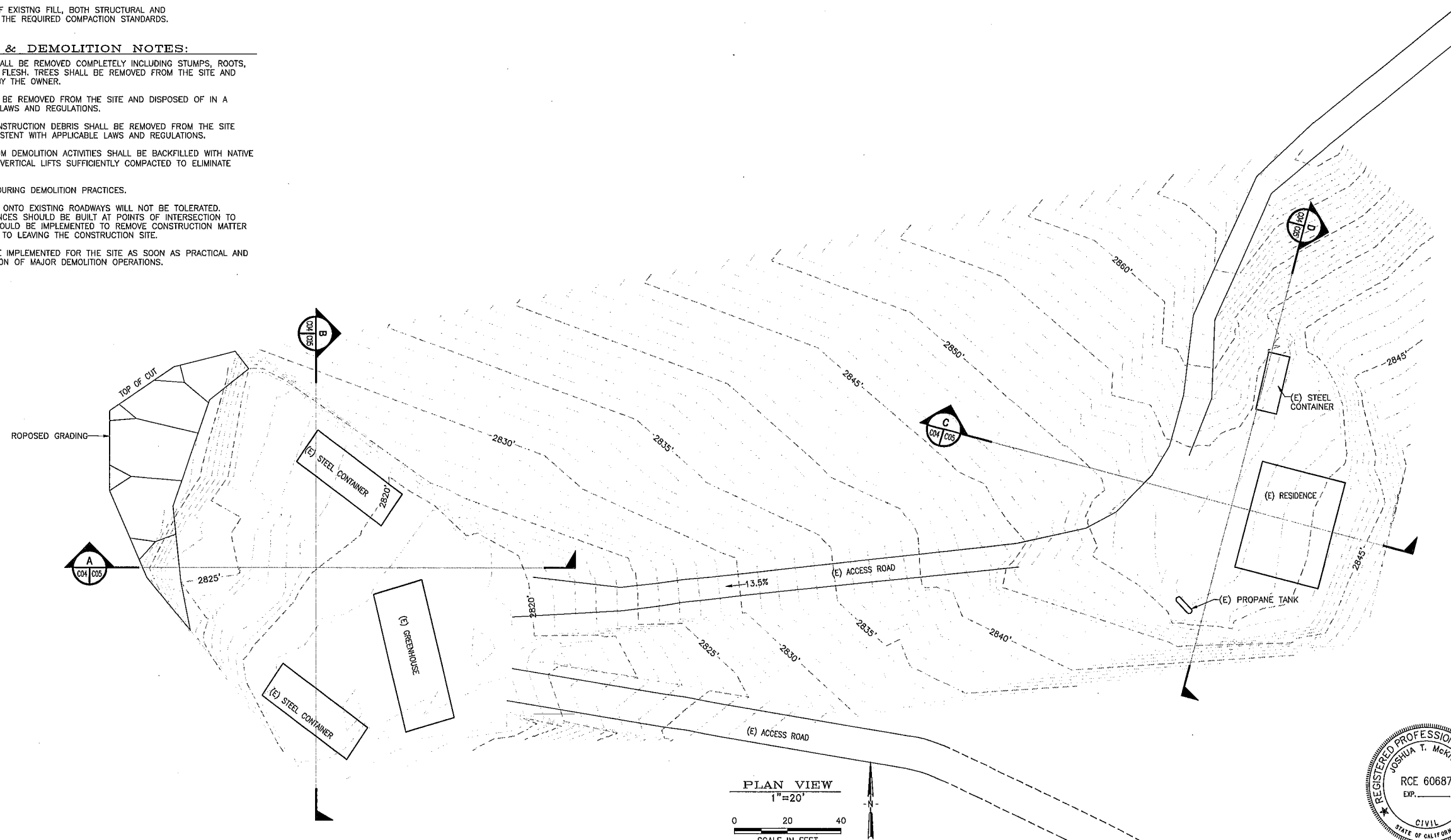
EARTHWORK QUANTITIES:

CUT (CY): 250
FILL (CY): 250

NOTE:
CUT AND FILL QUANTITIES ONSITE TO BE PERMANENT



REV	DATE	DES BY	CHEK BY	APP BY
1	10/21/15	PRELIMINARY DESIGN		



SITE #2 - GRADING PLAN
HUMBOLDT COUNTY, CALIFORNIA

DEAN CRISP
APN: 315-093-006
WHITE OAK CREEK

DRAWN BY: E. KEYES
DESIGNED BY: JTM
CHECKED BY: J. MCKNIGHT
APPROVED BY: TVCE

DATE OF ISSUE: OCTOBER 2015

SCALE: AS SHOWN

PROJECT NO: 867

DRAWING NO: C04



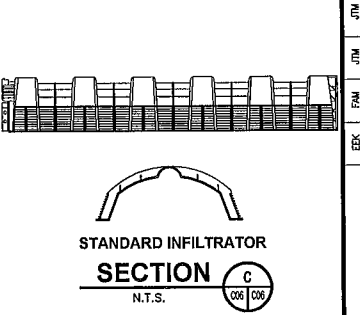
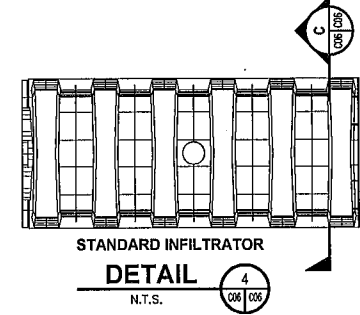
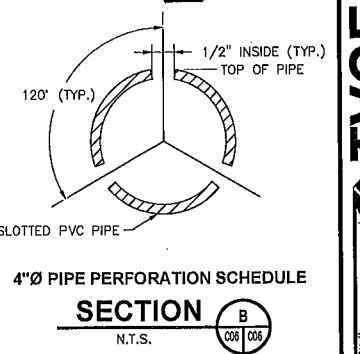
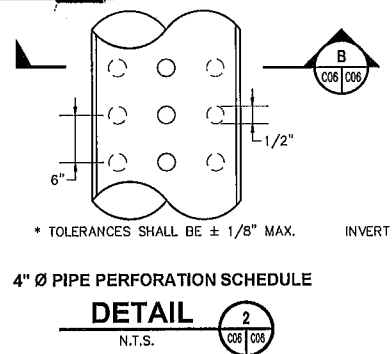
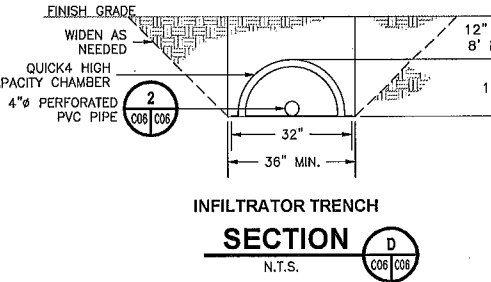
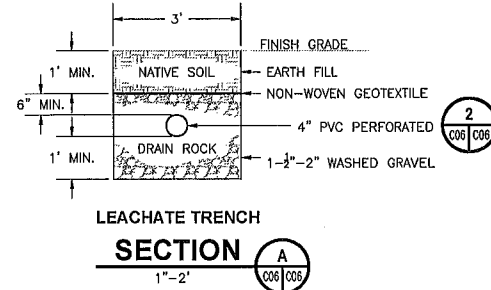
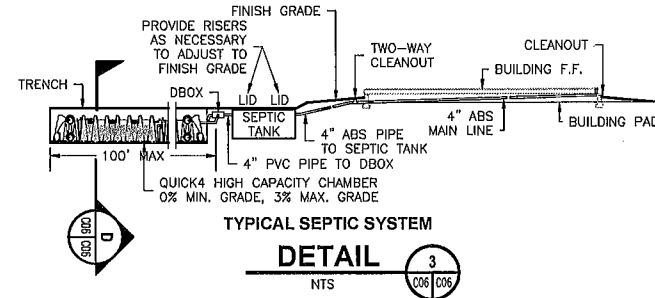
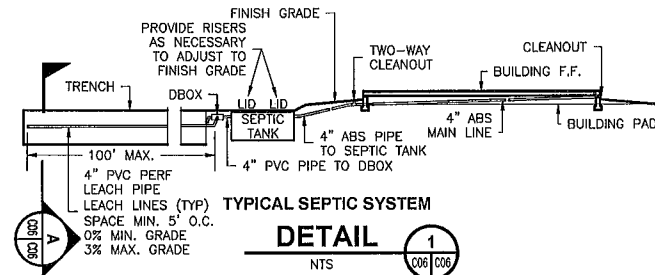
1" = 20' SCALE
 10/21/15 DATE
 PRELIMINARY DESIGN
 DEAN CRISP
 APN: 315-093-006
 WHITE OAK CREEK
 HUMBOLDT COUNTY, CALIFORNIA
 SITE #2 - GRADING PLAN
 DRAWING NO: C04
 PROJECT NO: 867
 SCALE: AS SHOWN
 DATE OF ISSUE: OCTOBER 2015
 APPROVED BY: TVCE
 CHECKED BY: J. MCKNIGHT
 DESIGNED BY: JTM
 DRAWN BY: E. KEYES
 RCE 60687
 JOSHUA T. MCKNIGHT
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF CALIFORNIA
 CIVIL
 EXP. _____
 AS SHOWN
 OCTOBER 2015
 J. MCKNIGHT
 JTM
 E. KEYES
 TVCE

SANITARY SEWER NOTES:

1. THE ONSITE WASTEWATER TREATMENT SYSTEM SHALL BE DESIGNED AND CONSTRUCTED IN STRICT ACCORDANCE WITH THE STANDARDS SET FORTH IN THE ENVIRONMENTAL PROTECTION AGENCY ONSITE WASTEWATER TREATMENT SYSTEM MANUAL AND THE REQUIREMENTS OF THE HVPUD.
2. CONNECTION BETWEEN THE BUILDING AND THE SEPTIC HOLDING TANK SHALL BE OF ABS SCHEDULE 40 ASTM F-828 SEWER PIPE OR APPROVED EQUAL AND BE WITHOUT BENDS IN EXCESS OF 45 DEGREES. A MINIMUM OF ONE TWO-WAY CLEANOUT SHALL BE INSTALLED BETWEEN THE BUILDING AND THE HOLDING TANK. SUBSEQUENT CLEANOUTS SHALL BE INSTALLED FOR EVERY 100 LF OF ADDITIONAL PIPE.
3. THE SEPTIC HOLDING TANK SHALL BE A MINIMUM OF 1,500 GALLON CAPACITY, WITH DUAL CHAMBERS, AND SANITARY BAFFLES FOR EACH PIPE ENTERING/EXISTING THE TANK.
4. ALL DISTRIBUTION BOXES SHALL BE INSTALLED A MINIMUM OF 5 LF AWAY FROM THE SEPTIC HOLDING TANK AND BE ESTABLISHED AT A FLOW LINE ELEVATION 6 INCHES BELOW THE OUTLET FLOW LINE OF THE SEPTIC HOLDING TANK.
5. THE LEACHATE DISPOSAL FIELD SHALL BE ESTABLISHED A MINIMUM OF 5 LF AWAY FROM THE DISTRIBUTION BOX, HAVE A MINIMUM OF 1 FOOT OF 2" SEPARATION BETWEEN EACH LEACH LINE, HAVE A SLOPE OF 0%, RECEIVE A MINIMUM OF 1 FOOT OF 2" DRAIN ROCK UNDER THE LEACH LINES AND A MINIMUM OF 6 INCHES OF 2" DRAIN ROCK COVER OVER THE TOP OF THE LEACH LINES. NATIVE FILL SHALL BE SEPARATED FROM THE DRAIN ROCK USING A NON-WOVEN GEOTEXTILE. LEACH FIELD PIPE SHALL BE 4" PVC WITH PERFORATIONS OF 1/2 INCH DIAMETER OR SMALLER SPACED EVENLY AT 6 INCH INTERVALS.

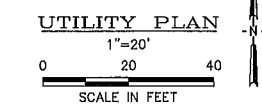
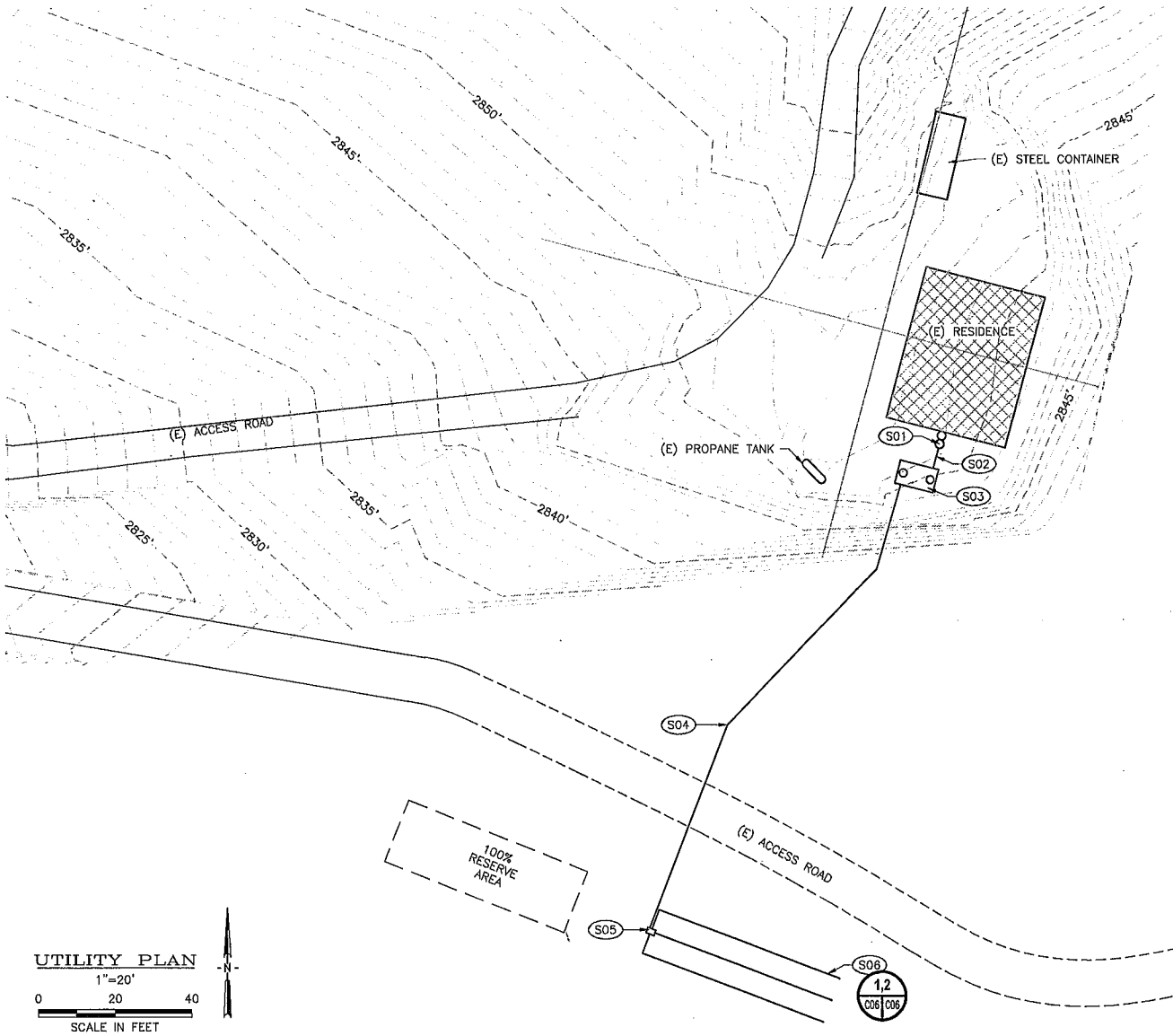
SANITARY SEWER CONSTRUCTION NOTE:

- (S01) INSTALL 4" ABS TWO-WAY CLEANOUT IN CARSON HDPE VALVE BOX WITH LID MARKED "SEWER" WITHIN 5 LF OF OUTSIDE OF THE BUILDING.
- (S02) INSTALL 4" ABS SCHEDULE 40 SEWER PIPE FROM BUILDING STUB OUT OF SEPTIC TANK, S=0.01 FT/FT MIN.
- (S03) INSTALL 1,500 GALLON DUAL CHAMBER SEPTIC TANK WITH RISERS TO FINISH GRADE.
- (S04) INSTALL 4" PVC SDR-35 SEWER PIPE FROM TANK TO D-BOX AND FROM D-BOX TO PERFORATED PVC PIPE.
- (S05) INSTALL D5 DISTRIBUTION BOX.
- (S06) INSTALL LEACHFIELD CONSISTING OF 4" PERFORATED PVC SEWER PIPE OR INFILTRATORS.



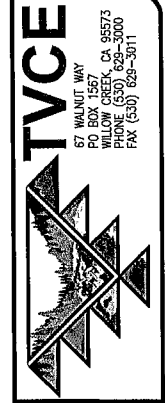
INFILTRATOR NOTES:

1. BACKFILL AROUND CHAMBERS WITH NATIVE MATERIAL.
2. REMOVE ALL DEBRIS AND DELTERIOUS MATERIAL FROM NATIVE FILL.
3. DO NOT ALLOW ROCKS LARGER THAN 2" TO CONTACT CHAMBERS WHEN BACKFILLING.
4. PLACE 4" PERFORATED PVC PIPE AT FLOW LINE OF TRENCH, CONNECT TO INCOMING 4" SOLID PVC PIPE FROM DISTRIBUTION BOX.



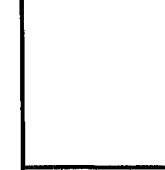
DISPOSAL FIELD REQUIREMENTS		
COMPONENT	MINIMUM	MAXIMUM
NO. DRAIN LINES PER FIELD	1	---
LENGTH OF EACH LINE	---	100 FT
TRENCH BOTTOM WIDTH	18 IN	36 IN
LINE SPACING CENTER TO CENTER	6 FT	---
DEPTH OF EARTH COVER OF LINES	12 IN	---
LINE GRADE	LEVEL	3 IN/100 FT
FILTER MATERIAL UNDER LINE	12 IN	---
FILTER MATERIAL OVER LINE	2 IN	---

*PER UPC



REV	DATE	DESCRIPTION	APP'D BY
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DEAN CRISP
APN: 315-093-006
WHITE OAK CREEK
SEPTIC PLAN
HUMBOLDT COUNTY, CALIFORNIA



DRAWN BY:	E. KEYES
DESIGNED BY:	F. MASTEN
CHECKED BY:	J. MCKNIGHT
APPROVED BY:	JTM
DATE OF ISSUE:	OCTOBER 2015
SCALE:	AS SHOWN
PROJECT NO.:	867
DRAWING NO.:	C06

T:\projects\144010\CUP\Dean_Criep (Crip Farms)_12/18/2015_10:04:27 PM APN 315-093-006.dwg, 12/18/2015 10:04:27 PM APN 315-093-006 (1:1), Desc, Use

Seismic Considerations and Flood Considerations:

The Bald Mountain-Big Lagoon fault passes within 7.8 miles of the project site to the west. The site does not lie within an Alquist-Prilo zone.

The following coefficients shall be used for seismic design (See Attachment 4 for USGS Seismic Hazard Data):

Site Class	D
Mapped Spectral Response Acceleration (short), S _s	1.500 g
Mapped Spectral Response Acceleration (1-sec), S ₁	0.686 g
Site Coefficient, F _s	1.0
Site Coefficient, F _r	1.3
Acceleration Spectral Response (short), S _{0s}	1.000 g
Acceleration Spectral Response (1-sec), S ₀₁	0.594 g
Seismic Design Category	D
Occupancy Category	II
Importance Factor	1.0

The project site is listed to be in an area that is *highly unstable* by the County of Humboldt GIS mapping.

Based on the location and geographical setting, the project site lies outside any flood prone areas.

Due to the site soils, depth to groundwater, and distance to the nearest known quaternary fault, the potential for liquefaction, surface rupture, soil strength loss, or faulting at this site is *Low*, and no special mitigation hazards are necessary.

Conclusion:

No surficial, subsurface or seismic conditions were encountered at the project parcel that would signal immediate action from an engineering standpoint.

Recommendations:

The following recommendations are general recommendations for any future grading activities to be performed:

Site Preparation

- All earthwork, including but not limited to, site clearing, grubbing, and stripping should be conducted during dry weather conditions, generally mid-April through mid-October;

R2 SOILS REPORT
APN 315-093-006

- Strip and remove all topsoil and vegetation from the project area, and for a minimum of three feet to the outside of the working area
- Any undocumented fill soils, fine-grained residual soils, and any other debris encountered at or below the existing ground surface shall be removed at the locations receiving any potential fills

Grading

Grading must meet compliance with the County of Humboldt grading ordinance and ASTM regulations.

Compaction Standards

Fills shall be compacted in 8-inch loose lifts with clean native materials at optimum moisture content as determined by testing and approved by the engineer. Non-structural fills shall be compacted to a firm unyielding surface as approved by engineer.

It is recommended that any materials proposed for structural fill material to support any foundations or structural building elements, and associated utilities be compacted as specified below:

Fill Placement Location	Compaction Recommendations (ASTM D 1557-Modified Proctor)	Moisture Content (Percent Optimum)
Structural fill supporting footings	90%	-1 to +3 percent
Structural fill supporting slabs on-grade	90%	-1 to +3 percent
Structural fill placed within 3 feet beyond the perimeter of the building and	90%	-1 to +3 percent
Utility trenches within building and any pavement areas	95%	-1 to +3 percent
Utility trenches beneath landscape and guest areas	90%	-1 to +3 percent

Fills

- Fills shall be constructed as controlled and compacted engineered fills and fillslopes graded to no steeper than 1.5:1 (h:v).
- Fills should be free of: 1) organics, 2) rocks larger than 3-inches in diameter, and 3) other deleterious materials.
- Fill material should be placed in loose lifts no more than 8-inches thick, at uniform moisture content at or near optimum, and compacted mechanically.
- Sufficient testing and inspection should be performed to monitor the suitability of fill materials and assure compliance with the recommended compaction standards.

R2 SOILS REPORT
APN 315-093-006

- Aggregate base material may be used for pavement subgrade, placed beneath footings or floor slabs, or used as trench backfill. This material should meet the requirements in the Caltrans Standard Specifications for Class 2 Aggregate Base (3/4-inch maximum particle size).

Drainage and Landscaping

The site should be graded to provide drainage such that no water is allowed to: 1) pond anywhere on the site, 2) migrate beneath the proposed developments, or 3) pond at the base of cuts.

Foundational Design Recommendations

No specific foundation plan has been provided to TVCE. All foundations should be constructed of reinforced concrete. The following foundation recommendations assume both a one-story and two-story structure will be constructed on this site. In our opinion, the proposed structure(s) can be supported by a mat slab or a stiffened slab on grade with continuous concrete perimeter footings in combination with isolated interior spread footings. A foundation of this type is suitable for site conditions provided that it is constructed in accordance with our recommendations and specifications, and designed to meet the standards of the 2013 CBC.

Footings:

- A foundation system for this site should be rigid to limit potential structural damage due to differential settlement. Foundations are not anticipated to be located in areas of undocumented fill soils, however there is a possibility that unobserved, undocumented fills could exist on the site;
- If necessary to mitigate undocumented fill soils, excavate and replace with suitable engineered fill, placed and compacted as recommended. Alternatively, footings may be built on controlled low strength material (CLSM, e.g. concrete slurry) backfilled footing trenches, excavated into the bearing soil indicated in this report;
- Foundations should be embedded a minimum of 12 inches into suitably dense, undisturbed native bearing soils. Based on the soil profile observed in the building footprint, the base of footings should therefore be approximately 18 inches below existing grade, at minimum;
- Minimum width of footings should be 18 inches for bearing members, and the minimum thickness should be 8 inches, per CBC Section 1809.7.

Floor Slab Design:

- The stiffened concrete floor slab-on-grade or mat slab should have a minimum thickness as specified by the engineer, and should be reinforced and underlain by at least 8 inches of compacted select fill consisting of Class 1, Type A permeable

R2 SOILS REPORT
APN 315-093-006

material (per Caltrans), or an approved equivalent, to act as a capillary moisture break, 6 mil visqueen and 1 inch of sand as described below;

- To reduce the possibility of moisture migration through any floor slab-on-grade, a minimum 6 mil plastic membrane (vapor retarder) should be placed on the prepared of Class 1, Type A gravel subgrade;
- Care should be taken during construction to protect the plastic membrane against punctures. To protect the membrane during steel and concrete placement, and to provide for a better concrete finish, cover the membrane within at least 1 inch of clean sand.
- The difference, if any, between the 6 inches of select fill and sand under the slab and the depth to firm undisturbed native soil may be made up with additional select fill of engineered fill that is placed as specified in the Structural Fill section of this report.

Erosion Control

Site-specific erosion/sediment control and stabilization recommendations are presented in the bulleted list below. As used herein, *exposed soil areas* and *disturbed areas* include all grading and excavation work performed in connection with the proposed project.

- Storm water erosion and pollution prevention measures should be taken as soon as possible prior to the onset of the winter rains.
- Humboldt County Erosion Control Standards should be viewed as *minimum* standards for erosion and sediment control at this site.
- Revegetate all disturbed areas immediately by seeding with Caltrans erosion control mix (or equivalent).
- To protect against erosion, heavily mulch all exposed soil areas with straw, or an approved alternate material.
- Poke the straw mulch into the upper 2 inches of the soil to limit loss of straw.
- Stake straw wattles parallel to slope contours into any side cast fills.
- Install silt fencing at toes of any new side cast fill slopes.
- Replant the site with trees and shrubs native to the area.
- Cover any soil stockpiles with 6-mil (min) plastic sheeting, securely anchored to prevent wind disturbance.
- Native gravel-surfaced roadways where vehicle traffic may occur, should be maintained in good condition.
- Drive and park vehicles only on gravel-paved areas during wet weather.
- Monitor the site before and after runoff-generating rainfall events to verify suitable and appropriate functioning of all erosion-control measures.
- Promptly repair all erosion-control measures as needed.

R2 SOILS REPORT
APN 315-093-006

Limitations

This report, recommendations, and conclusions are solely intended for the site discussed above. The information contained in this report is only intended for use at the stated site using the stated uses. This report should not be used as justification for any other project or site, and only be used for information purposes if referenced and reviewed for other projects. TVCE recognize that the site is in a dynamically active area and conditions can and will change. TVCE has used the best professional judgment to assess the present and future risks and assist the landowner in proposing development that does not increase the risk to the resources present in the project area or subject the landowner to untenable hazards. If conditions different from those described in this report are encountered during construction, the project engineer/builder/owner should contact this office to review the new conditions and evaluate their bearing on the validity of any recommendations provided herein.

The opinions presented herein have been developed using a degree of care and skill ordinarily exercised, under similar circumstances, by reputable civil engineers and geologists practicing in this or similar localities. No other warranty, expressed or implied, is made as to the professional advice included in this report.

The analyses and recommendations contained in this reports are based on the data obtained from subsurface exploration. The methods used indicate subsurface conditions only at the specific locations where soils were observed, and only to the depths penetrated, and cannot always be relied on to accurately reflect stratigraphic heterogeneity that commonly exist between sampling locations.

Do not apply any of this report's conclusions or recommendations if the nature, design, or location of the project changes. If changes are contemplated, the author of this report should be consulted to review the impact on the applicability of the recommendations in this report. The author of this report is not responsible for any claims, damages, or liability associated with any other party's interpretation or the subsurface data or reuse this report for other projects or at other locations without written consent.

Please contact TVCE at (530) 629-3000 if any questions may arise.

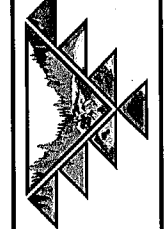
Joshua T. McKnight
 Certified Professional Engineer, P.E. No. 60687

Christian Figueroa
 Project Geologist

R2 SOILS REPORT
APN 315-093-006



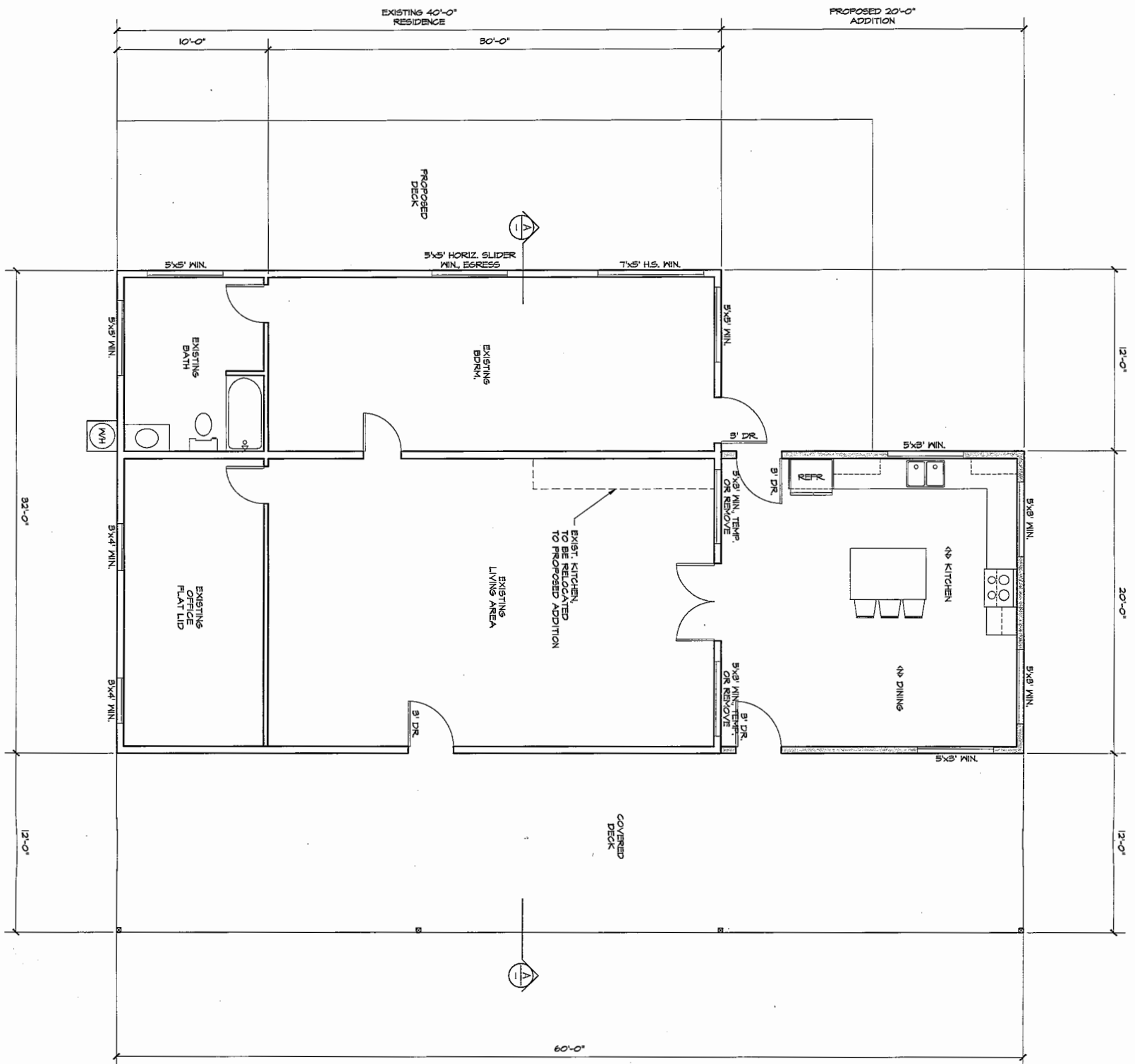
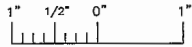
TVCE
 67 WALNUT WAY
 DIXON, CALIFORNIA 95625
 PHONE (530) 629-3000
 FAX (530) 629-3011



REV	DATE	DES BY	CHK BY	APP BY	DESCRIPTION

DEAN CRISP
 APN: 315-093-006
 WHITE OAK CREEK
SOIL REPORT RECOMMENDATIONS
 HUMBOLDT COUNTY, CALIFORNIA

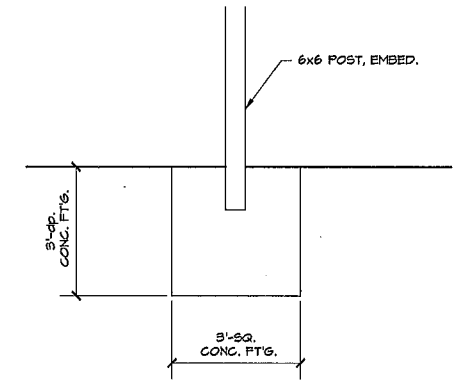
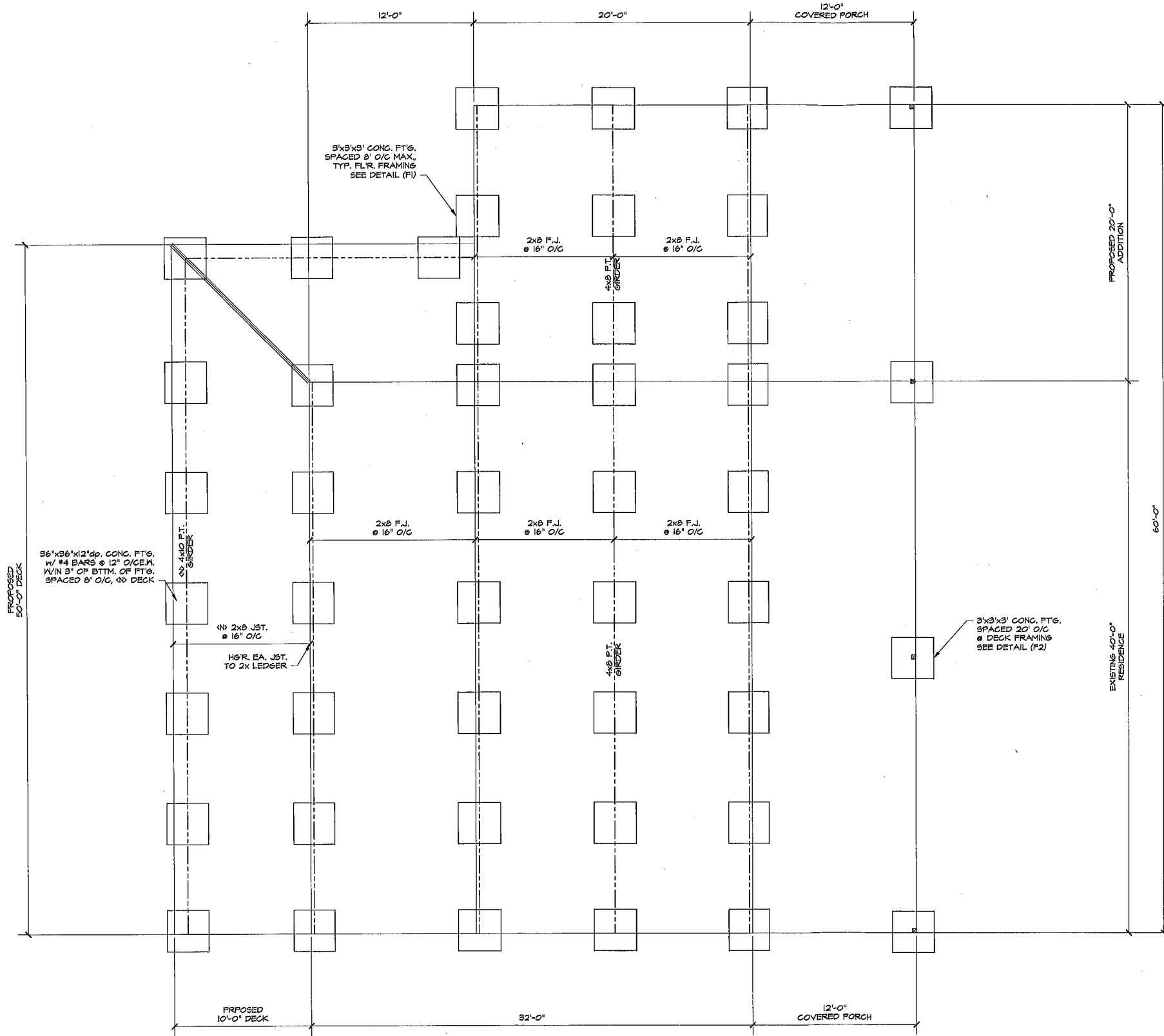
DATE OF ISSUE:	OCTOBER 2015
SCALE:	AS SHOWN
PROJECT NO.:	867
DRAWING NO.:	C08



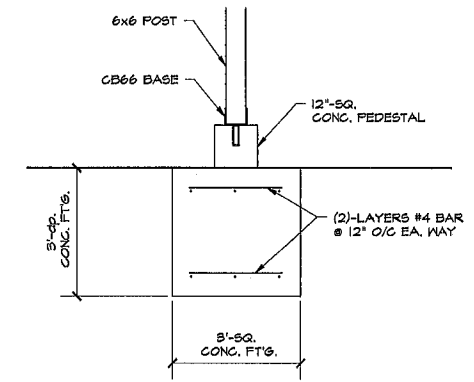
* 6x6 HDRS. @ ALL EXTERIOR OPENINGS
 ** 2x6 EXTERIOR WALLS, 40" HT.
FLOOR PLAN
 1/4" = 1'-0"
 Ref. North

PT VALLEY CONSULTING ENGINEERS, INC.

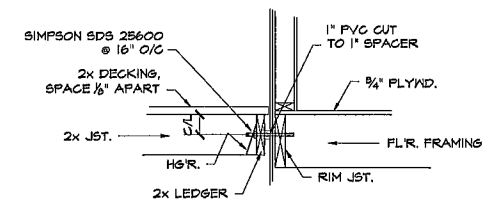
DRAWN BY: JS	DESIGNED BY: JL	CHECKED BY: JL	APPROVED BY: JM	EXISTING RESIDENCE AS-BUILTS				TVCE 67 WALNUT WAY PO BOX 1567 WILLOW CREEK, CA 95573 PHONE (530) 629-3000 FAX (530) 629-3011
				USFS 4N06 ROAD AND HWY. 1 WILLOW CREEK, CA				
SCALE: AS NOTED				FLOOR PLAN				REV DATE DESCRIPTION DWN BY DES BY CHK BY APP BY
PROJECT NO. _____				FOR: DEAN CRISP APN 315-092-007, 315-093-006, 315-094-003				
DATE OF ISSUE: OCT. 27, '15								
DRAWING NO. 1								



(F1) PIER FOOTING DETAIL
NTS



(F1) PIER FOOTING DETAIL
NTS



(L) LEDGER DETAIL
NTS

FOUNDATION PLAN
1/4"=1'-0"
↑
Ref. North

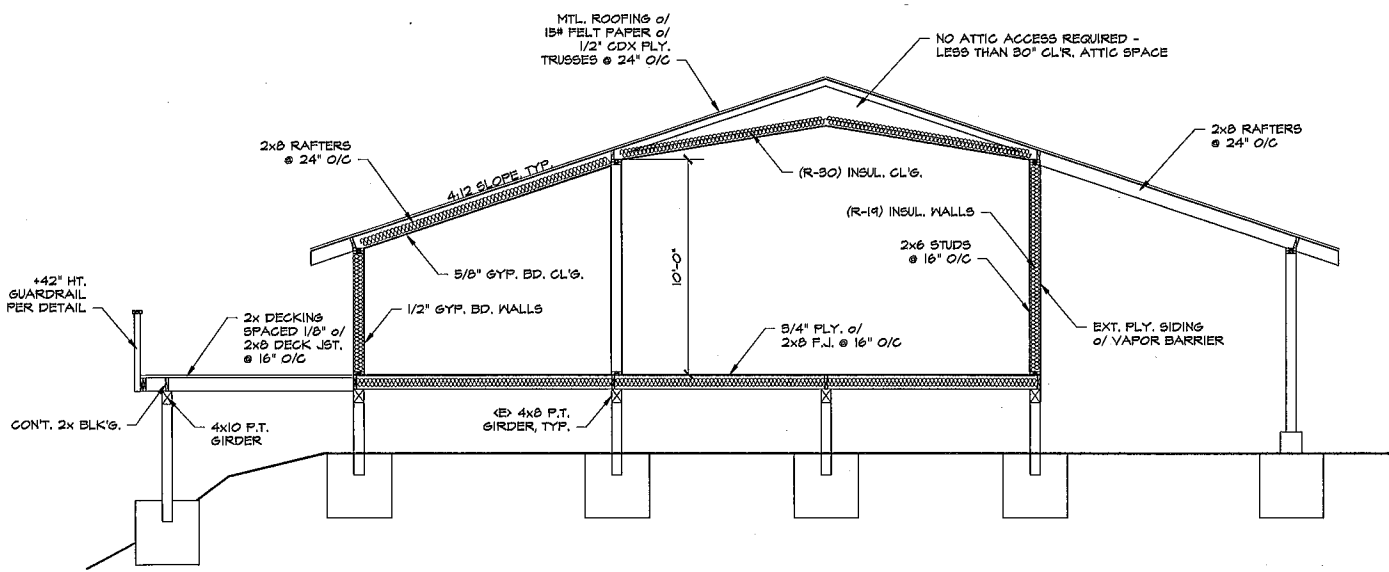
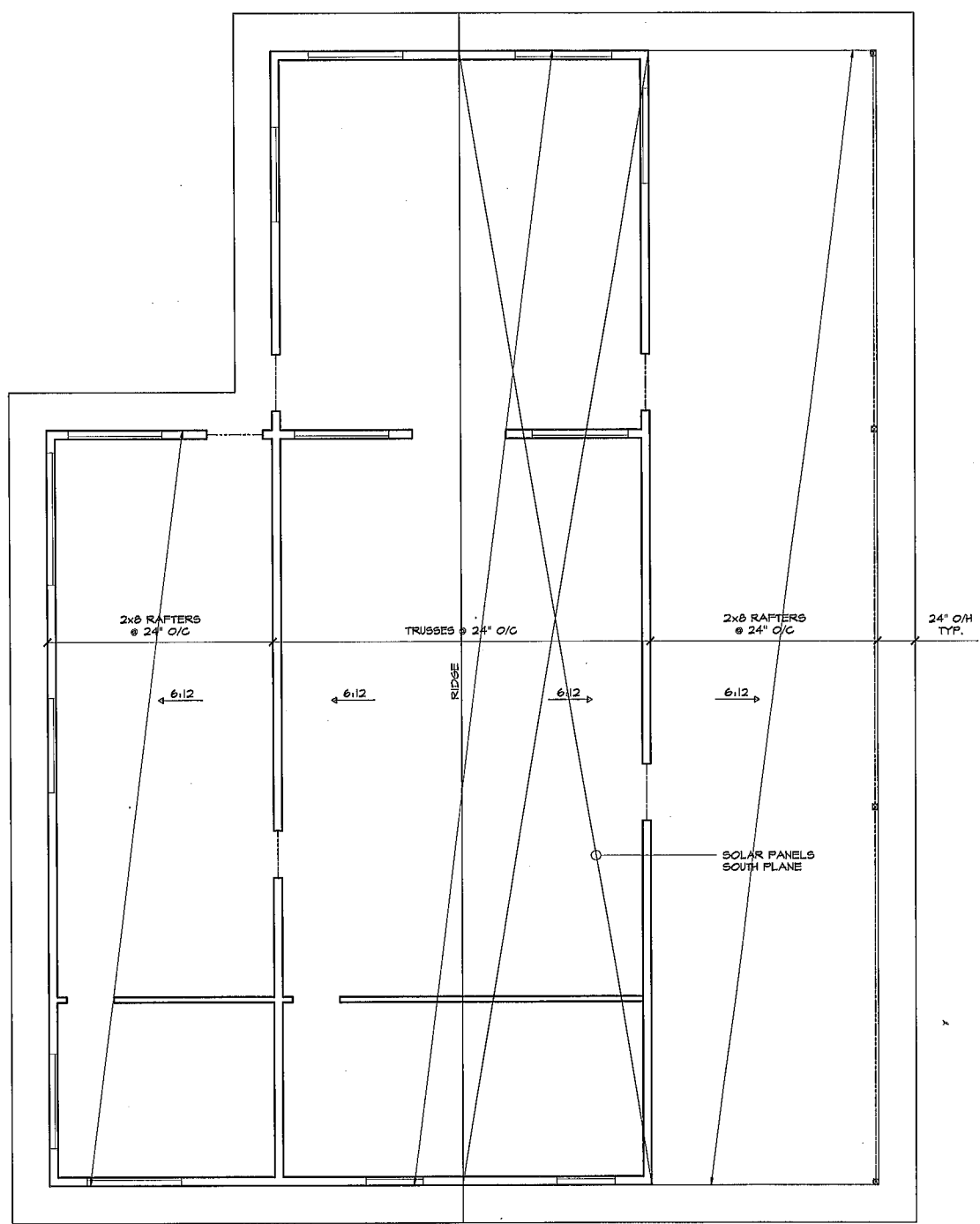
TVCE
67 WALNUT WAY
PO BOX 1587
WILLOW CREEK, CA 95073
TEL: (530) 938-3000
FAX: (530) 938-3011

NO.	REV.	DATE	DESCRIPTION

EXISTING RESIDENCE AS-BUILTS
FOUNDATION PLAN
APN 315-092-007-315-093-006-315-094-003
FOR: DEAN CRISP

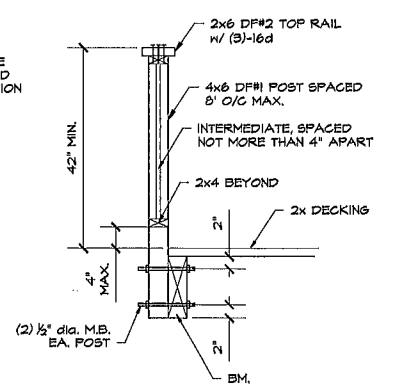
SA	JM	JM	JM

DATE OF ISSUE: OCT. 27, '15
SCALE: AS NOTED
PROJECT NO:
DRAWING NO: **2**



A SECTION
 1/4"=1'-0"

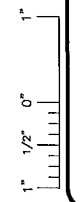
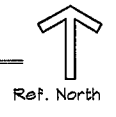
* GUARDRAILS AND HANDRAILS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200#, APPLIED AT ANY DIRECTION AT ANY POINT ALONG THE TOP
 ** GUARDRAIL(S) ARE REQUIRED AT LOCATIONS WHICH ARE MORE THAN 30" ABV. GRADE.



GUARDRAIL DETAIL
 NTS

* 6x8 HDRS. @ ALL EXTERIOR OPENINGS
 ** 2x6 EXTERIOR WALLS, +10' HT.

ROOF FRAMING
 1/4"=1'-0"



NO.	DESCRIPTION	DATE	REV	BY	CHK	APP

EXISTING RESIDENCE AS-BUILTS
 SECTION & ROOF FRAMING
 APN 315-092-007, 315-093-006, 315-094-003
 FOR: DEAN CRISP
 USES: 4806 ROAD AND HWY. 1 WILLOW CREEK, CA

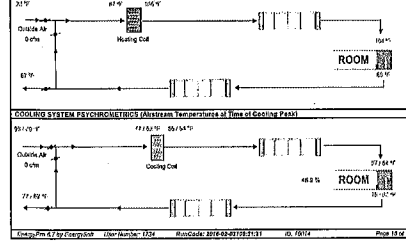
DRAWN BY: SA	DESIGNED BY: JM	CHECKED BY: JM	APPROVED BY: JM
DATE OF ISSUE: OCT. 27, '15			
SCALE: AS NOTED			
PROJECT NO:			
DRAWING NO: 3			

2013 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Lists various building codes and standards for low-rise residential structures, including fire safety, energy efficiency, and accessibility requirements.

HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY

Table with 2 columns: Equipment/Load Type and System Load. Summarizes heating and cooling loads for various HVAC components like furnaces, boilers, and air conditioning units.



2013 CALGREEN RESIDENTIAL NEW CONSTRUCTION MANDATORY MEASURES

Table with 2 columns: Measure ID and Description. Lists California Green Building Code (CALGreen) requirements for residential new construction, covering energy efficiency, water conservation, and indoor air quality.

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Table with 2 columns: Measure ID and Description. Lists California Green Building Code (CALGreen) requirements for residential new construction, covering energy efficiency, water conservation, and indoor air quality.

ITVCE logo and contact information for Abbey Technical Services, including address at 67 Walnut Way, Willow Creek, CA 95757, and phone number 925-935-3000.

CABEC logo and contact information for Abbey Technical Services, including address at 1125 26th St., Willow Creek, CA 95757, and phone number 925-935-3000.

EXISTING RESIDENCE AS-BUILTS Title 24 Building Energy Report. Includes a table with columns for SIA, JIM, and JIM, and rows for DRAWN BY, REVISION BY, CHECKED BY, and APPROVED BY.

T24 T-2 Page 48. Includes a large 'X' logo and page numbering information.

ATTACHMENT 5

REFERRAL AGENCY COMMENTS AND RECOMMENDATIONS

The project was referred to the following referral agencies for review and comment. Those agencies that provided written comments are checked off.

Referral Agency	Response	Recommendation	Location
Building Inspection Division	✓	Recommend Approval	Attached
CalFire	✓	No Comment	On file with Planning
CA Department of Fish & Wildlife			
Environmental Health Division	✓	Conditional Approval	Attached
Public Works Land Use Division	✓	Comment	On file with Planning
Humboldt Bay Municipal Water District			
Humboldt County Sheriff			
State Water Resources Control Board – Division of Water Rights	✓	Comments	Attached
Bear River Band of Rohnerville Rancheria	✓	Conditional Approval	On file with Planning
NWIC	✓	Conditional Approval	On file with Planning



COUNTY OF HUMBOLDT
PLANNING AND BUILDING DEPARTMENT
CURRENT PLANNING
3015 H STREET, EUREKA, CA 95501 ~ PHONE (707) 445-7245

6/18/2020

Project Referred To The Following Agencies:

AG Commissioner, County Counsel, District Attorney, Environmental Health, Sheriff, PW Land Use, RWQCB, NCUAQMD, School District: Maple Creek JUSD, Cal Fish & Wildlife, Division of Water Resources, CalFire, Bear River Band, NWIC

Applicant Name Crisp Farms **Key Parcel Number** 315-093-006-000

Application (APPS#) PLN-11019-CUP **Assigned Planner** Misael Ramos 707-441-2633

Please review the above project and provide comments with any recommended conditions of approval. To help us log your response accurately, please include a copy of this form with your correspondence.

Questions concerning this project may be directed to the assigned planner for this project between 8:30am and 5:30pm Monday through Friday.

County Zoning Ordinance allows up to 15 calendar days for a response. If no response or extension request is received by the response date, processing will proceed as proposed.

If this box is checked, please return large format maps with your response.

Return Response No Later Than: 7/3/2020

Planning Clerk
County of Humboldt Planning and Building Department
3015 H Street
Eureka, CA 95501
Email: PlanningClerk@co.humboldt.ca.us **Fax:** (707) 268 - 3792

We have reviewed the above application and recommend the following (please check one):

- Recommend Approval. The department has no comment at this time.
- Recommend Conditional Approval. Suggested conditions attached.
- Applicant needs to submit additional information. List of items attached.
- Recommend Denial. Attach reasons for recommended denial.

Other Comments: Applicant currently does not have a valid SIUR water right. There is one application that is in the review process that is currently deficient (H505214). Water Rights staff is waiting on materials from agent.

DATE: 6.18.2020

Jonathan Pham, Environmental Scientist, Cannabis Registrations
Division of Water Rights
PRINT NAME: _____



**COUNTY OF HUMBOLDT
PLANNING AND BUILDING DEPARTMENT
CURRENT PLANNING
3015 H STREET, EUREKA, CA 95501 ~ PHONE (707) 445-7245**

7/10/2020

Project Referred To The Following Agencies:

AG Commissioner, County Counsel, District Attorney, Environmental Health, Sheriff, PW Land Use, RWQCB, NCUAQMD, School District: Maple Creek JUSD, Cal Fish & Wildlife, Division of Water Resources, CalFire, Bear River Band, NWIC

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County Zoning Ordinance allows up to 15 calendar days for a response. If no response or extension request is received by the response date, processing will proceed as proposed.

If this box is checked, please return large format maps with your response.

Return Response No Later Than: 7/25/2020

Planning Clerk
County of Humboldt Planning and Building Department
3015 H Street
Eureka, CA 95501
Email: PlanningClerk@co.humboldt.ca.us **Fax:** (707) 268 - 3792

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- Recommend Conditional Approval. Suggested conditions attached.
- Applicant needs to submit additional information. List of items attached.
- Recommend Denial. Attach reasons for recommended denial.

Other Comments: _____

No comments

DATE: 7/14/2020

PRINT NAME: Michah Mathreson



COUNTY OF HUMBOLDT
PLANNING AND BUILDING DEPARTMENT
BUILDING DIVISION

3015 H STREET EUREKA CA 95501
PHONE: (707) 445-7245 FAX: (707) 445-7446

Building Division's Referral Comments for Cannabis Operations:

Application No.: PLN-11019-CUP
Parcel No.: 315-093-006-000
Case No.: _____

The following comments apply to the proposed project, (check all that apply).

- Site/plot plan appears to be accurate.
- Submit revised site/plot plan showing all of the following items: all grading including ponds and roads, location of any water course including springs, all structure including size and use and all setbacks from the above stated to each other and property lines.
- Existing operation appears to have expanded, see comments: _____
- Existing structures used in the cannabis operation shall not to be used/occupied until all required permits have been obtained.
- Proposed new operation has already started.
- Is development near wet area? yes or no
- If yes, what is the distance?
- Is development near Steam side Management Area (SMA)? yes or no
- If yes, what is the distance? 20 ft
- Recommend approval based on the condition that all required grading, building, plumbing, electrical, and mechanical permits and or Agricultural Exemption are obtained.

Other Comments: _____

Name: Mical Mathieson

Date: 7/14/2020

Note: Remember to take photographs and then save them to the Planning's case number. File location J, Current Planning, Projects, (CUP, SP, ZCC) Case number.

PLN-11016-CUP

Crisp Farms - 11,300 sq ft Existing
An application for 11,300 square feet of existing o...

STATUS
> In Referrals
06/19/2020 by John Moredo

LOCATION
> None Provided

CONTACT
> Crisp Dean

WORKFLOW
> 15 total Task
● 7 completed ○ 2 active

Summary

Project Description

Workflow

1 Referral Assignments

2 Planning Information

3 GP / Zoning Information

4 CEQA

5 Cannabis

Project Tracking

6 Referral Task Log (2)

Fee (0)

Payment

Workflow History (15)

Comments (3)

Documents (23)

Conditions of Approval (0)

Locks Holds (0)

Address (0)

County	District Attorney		06/19/2020				-Select-	
County	Environmental Health		06/19/2020	06/30/2020	BDOLF	Approved with Conditions		The operations plan alludes to the use of pit privys. Pit privies are not allowed. Portable toilets are acceptable pending construction of the processing building.
County	Sheriff		06/19/2020	06/23/2020	HCSO	Approved		No record for Crisp Dean or Dean Crisp in the DA Office System
County	PW Land Use		06/19/2020	07/01/2020	KFREED	Approved		Project located off US Forest Service Road. Should refer US Forest Service.
County	Building Inspections		06/19/2020	07/14/2020	MMATHIESON1	Approved with Conditions		7-14-2020 MM -Revise and resubmit plot plan to show 2500gal fire suppression tank, hydrant, and SBA turnouts and or turnouts -Recommend approval after plot plan has been revised and resubmitted based on the condition that site grading, building, plumbing electrical and mechanical permits and/or Agricultural Exemption are obtained

PLN-11019-CUP

Dean Crisp - existing 35,000 sqf outdoor

An application for a CUP for an existing 35,000 S...

STATUS

> In Referrals

06/18/2020 by John Moredo

LOCATION

> None Provided

CONTACT

> Crisp Farms

WORKFLOW

> 15 total Task

● 6 completed ○ 3 active

	County	District Attorney		06/18/2020				--Select--	
Summary									check spelling
Project Description									
Workflow									
1 Referral Assignments	County	Environmental Health		06/18/2020	06/30/2020	BDOLF	Approved with Conditions		1. All outhouses shall be decommissioned. 2. The proposed processing facility must have a permitted onsite wastewater treatment system. 3. Any existing septic systems used on the parcel must be assessed by a qualified professional to certify that the existing system complies with the State RWQCB definition of a Tier 0 system - not impaling groundwater or surface water resources.
2 Planning Information									
3 GP / Zoning Information									check spelling
4 CEQA									
5 Cannabis	County	Sheriff		06/18/2020	06/23/2020	HCSO	Approved		No record for Dean Crisp or Crisp Dean in the DA System
Project Tracking									check spelling
6 Referral Task Log (2)									
Fee (0)	County	PW Land Use		06/18/2020				--Select--	check spelling

We have reviewed the above application and recommend the following (please check one):

The Department has no comment at this time.

Suggested conditions attached.

Applicant needs to submit additional information. List of Items attached.

Recommend denial.

Other comments.

Date:

Name:

Forester Comments:

Date:

Name:

Battalion Chief Comments:

Summary: