

COUNTY OF HUMBOLDT

PLANNING AND BUILDING DEPARTMENT CURRENT PLANNING DIVISION

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Hearing Date: August 20, 2020

To: Humboldt County Planning Commission

From: John H. Ford, Director of Planning and Building Department

Subject: Crisp Farms, LLC, Conditional Use Permit

Application Number 11019 Record Number CUP16-129

Assessor's Parcel Number (APN) 315-093-006

Grouse Creek Road, Dinsmore area

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Please contact Misael Ramos C., Planner, at 707-445-7541or by email at mramos1@co.humboldt.ca.us if you have any questions about the scheduled public hearing item.

AGENDA ITEM TRANSMITTAL

Hearing Date	Subject	Contact
August 20, 2020	Conditional Use Permit	Misael Ramos C.

Project Description: A Conditional Use Permit for an existing 43,560 SF of outdoor medical cannabis cultivation operation. Processing occurs in the 640 SF on-site commercial processing building which will be retrofitted to meet ADA standards. Water for irrigation is sourced from an existing 280,000-gallon rainwater catchment pond on adjacent parcel under common ownership APN 315-092-007 and a permitted groundwater well which is not currently operational and it subject to forbearance requirements. Water storage consists of fourteen hard-sided water storage tanks a totaling 26,975 gallons for cannabis cultivation. Applicant estimates approximately 280,000 gallons of water is required for the annual operations (6.3 gallons per square foot). The power source comes from noise-attenuated generators.

Project Location: The project is located in Humboldt County, in the Dinsmore area, on the South side of the terminus of Rottis Craft Road, approximately 1-mile East from the intersection of Rottis Craft Road and a Private Drive. On the property known to be in Section 13 of Township 04 North, Range 04 East, Humboldt Base & Meridian.

Present Plan Land Use Designations: Timberland (T), Density: 40-160 acres per dwelling unit: High Instability (3).

Present Zoning: Agriculture Exclusive (AE-B-5(160)) and Timber Production Zone (TPZ).

Assessor Parcel Numbers: 315-093-006

ApplicantOwnerAgentCrisp Farms, LLCDean CrispNONE

Dean Crisp 4270 Lentell Rd. 4270 Lentell Rd. Eureka, CA 95503

Eureka, CA 95503

Environmental Review: An Addendum to a previously adopted Mitigated Negative Declaration has been prepared for consideration per §15164 of CEQA Guidelines.

State Appeal Status: Project is NOT appealable to the California Coastal Commission.

Major Issues: None.

CRISP FARMS, LLC

Case Numbers: CUP16-129 and PLN-11019-CUP Assessor's Parcel Number: 315-093-006

Recommended Commission Action

- 1. Describe the application as part of the Consent Agenda.
- 2. Survey the audience for any person who would like to discuss the application.
- 3. If no one requests discussion, make the following motion to approve the application as a part of the consent agenda:

Find that the Commission has considered the Addendum to the adopted Mitigated Negative Declaration for the Commercial Medical Land Use Ordinance (CMMLUO) as described by Section §15164 of the State CEQA Guidelines, make all of the required findings for approval of the Conditional Use based on evidence in the staff report and adopt the Resolution approving the Hwy 36 Farms, LLC, Conditional Use Permit and Special Permit as recommended by staff subject to the recommended conditions.

Executive Summary: Crisp Farms, LLC seeks approval of a Conditional Use Permit (CUP) for an existing outdoor medical cannabis cultivation operation located on one legal parcel comprised of Assessor's Parcel Number (APN) 315-093-006 which is approximately 125 acres in size.

The project consists of an existing 43,560 SF of outdoor medical cannabis cultivation on APN 315-093-006. The outdoor cultivation is carried out within seven (7) full sun areas varying in size and in three hoop houses: one 2,100 SF hoop house, one 1,760 SF hoop house and one 672 SF hoop house.

The project includes other ancillary structures and uses including two storage containers, a chemical storage building, an existing 2,400 SF processing building and ADA compliant portable restroom facilities and a 640 SF drying shed. Propagation occurs in a 495 SF hoop house with supplementary artificial lighting.

Irrigation water is sourced from an existing 280,000-gallon pond on adjacent parcel under common ownership APN 315-092-007 and a permitted well (Humboldt County Division of Environmental Health Permit # 17/18-1785) is available for backup irrigation water and is subject to the May 15th through October 31st forbearance period. Water is gravity fed from the pond to the existing hard storage tanks at lower elevation. Water storage currently consists of one 2,500-gallon tanks, four 1,550-gallon tanks, four 3,000-gallon tanks, one 1,250-gallon tank, one 4,200-gallon tank, and three 275-gallon tank totaling 26,975 gallons. The Applicant estimates approximately 280,000 gallons of water is required for the annual operations. Cultivation areas will be watered at an agronomic rate and both by hand and using a drip system on timers to decrease runoff.

Cultivation activities will consist of one cycle for the outdoor cultivation. Once harvested, plants will be dried on-site and in the existing 640 SF ancillary processing building. Plants are inspected and then processed in the building. Cut flowers will be de-leafed and be prepared for drying. Once the proper moisture is achieved flowers will be bucked and placed into bins then placed in the curing room. Cured flowers will be bagged until being hand trimmed and finishing. Finished product is packaged and sealed to await transport. Trimmed waste material will be recycled for secondary markets.

The Applicant has enrolled in the North Coast Regional Water Quality Control Board (NCRWQCB) Cannabis Waste Discharge Regulatory Program as a Tier 2 discharger (WDID 1B171682CHUM). A Water Resource Protection Plan (WRPP) was prepared by Timberland Resource Consultants (TRC).

No timber conversion has occurred after the adoption of the Commercial Medical Marijuana Land Use Ordinance and associated Mitigated Negative Declaration. Apparent timber removal has involved removal of individual trees to promote defensible space and to remove dead trees and hazardous branches.

All garbage and cannabis related waste is stored in a secure 8'x20 cannabis waste storage containers.

The Applicant will self-haul waste regularly to a fully permitted and manned waste transfer facility (Willow Creek). As part of the soil management plan, the Applicant will compost plant related waste to use as soil amendments in secure bins to prevent nutrient transport. Fertilizers and pesticides are currently stored in a storage shed with secondary containment to prevent contamination with runoff.

Employees will travel to the site daily as no on-site housing is proposed. Access to the site is via USFS 1 Road which is paved and striped and meets Category 4 standards. The interior of the site is accessed by traveling .2 miles down unpaved Grouse Creek Rd. and then via the private road which is approximately 2 miles in length. Adequate parking for up to twenty-five employees is provided on site near the lower cultivation site and at the end of the private road. There are locked gates on the private access road. All interior structures have lockable doors and windows and all finished cannabis is stored in locked shipping containers. The main entrance, as well as along the property lines, are posted with "No Trespassing" signs.

Two known activity centers for Northern Spotted Owl (NSO) are located 0.3 miles southwest of the project site. The project includes generators, and construction activities could disturb NSO should they be on the project site. The site is understood to be habitat for Northern Spotted Owls, or in the vicinity of NSO habitat. As such, the applicant will attenuate all project related noise to 50dB or less at 100 feet from the source or at the edge of habitat, whichever is nearest. The applicant will shield lighting used in the ancillary nursery 30 minutes before dusk and 30 minutes after dawn to avoid disturbance of crepuscular life. All vegetative cultivation is full sun outdoor. Generators are used to power the ancillary processing facility and an artificially illuminated ancillary nursery.

The applicant submitted an R-2 Geologic Soils Report completed in December of 2015 for APN 315-093-006 by Trinity Valley Consulting Engineers, Inc. The Report concluded that there was no evidence of imminent geologic or seismic instability. The Report recommends that all earth moving involved in ADA retrofitting and septic system installation be carried out between mid-April and mid-October, that all top soil and vegetation be removed from project areas and for a minimum of three feet outside the project area, and that all fill soils, fine grained residual soils and other debris be removed from sites receiving fill. Proposed earth moving consists of installation of a septic system.

The applicant submitted and On-site Wastewater Treatment System Design Report completed in December of 2015 for APN 315-093-006 by Trinity Valley Consulting Engineers, Inc. The Report found that the proposed septic system site was suitable given the limitations put forth by the North Coast Regional Water Quality Control Board regarding separation of leachate from the water table.

Per the applicant and based on the Site Plan, all cultivation areas are setback at least 30-feet or more from property lines. No portions of any cultivation related appurtenant structures are located within the setback. All structures are one story or less. The only cannabis project related permanent structures are the existing 2,400 SF processing facility, the existing 640 SF drying, and bucking shed and three existing 200 SF fertilizer, chemical and secure cannabis storage containers. The structures conform to firesafe setback regulations required under Section 3115-2. All structures conform with the regulations.

There are no schools, school bus stops, churches, public parks, public lands, or known tribal cultural resources within 600-feet of the nearest cultivation area.

Environmental review for the proposed project as proposed was conducted, and based on the results of that analysis, staff determined the existing cultivation and processing aspects of the project were previously analyzed in the Final Mitigated Negative Declaration prepared for the Commercial Medical Land Use Ordinance (CMMLUO) adopted by the Humboldt County Board of Supervisors on January 26, 2016. Permitting the existing cultivation areas and bringing them into compliance with County and State regulations would not present substantial changes that would require major revisions to the previous mitigated negative declaration. An addendum to the MND has been prepared for this staff recommendation of permitting the existing cultivation areas. The addendum is included as Attachment 3.

Based on a review of Planning Division reference sources and comments from all involved referral agencies, planning staff believes that the Applicant has submitted evidence in support of making all of the required

findings for approving the Conditional Use Permit.

ALTERNATIVES: The Planning Commission could elect not to approve the project, or to require the Applicant to submit further evidence, or modify the project. Modifications may cause potentially significant impacts, additional CEQA analysis and findings may be required. These alternatives could be implemented if the Commission is unable to make all of the required findings. Planning Division staff has stated that the required findings in support of the proposal have been made. Consequently, Planning staff does not recommend further consideration of either alternative.

The Commission could also decide that the project may have environmental impacts that would require further environmental review pursuant to CEQA. Staff did not identify any potentially significant impacts. As Lead Agency, the Department has determined that the Project is consistent with the Mitigated Negative Declaration adopted for the Commercial Medical Marijuana Land Use ordinance (CMMLUO). However, the Commission may reach a different conclusion. In that case, the Commission should continue the item to a future date at least two months later to give staff the time to complete further environmental review.

RESOLUTION OF THE PLANNING COMMISSION OF THE COUNTY OF HUMBOLDT Resolution Number 20-

Case Numbers: CUP16-129, PLN-11019-CUP Assessor Parcel Number: 315-093-006

Makes the required findings for certifying compliance with the California Environmental Quality Act and conditionally approves the Crisp Farms, LLC Conditional Use Permit request.

WHEREAS.

Crisp Farms, LLC submitted an application and evidence in support of approving one Conditional Use Permit for the existing 43,560 square foot (SF) outdoor medical cannabis cultivation. The project includes ancillary propagation in a 495 SF hoop house, ancillary drying in an existing 640 SF facility and ancillary processing in an existing 2,400 SF facility which is to be retrofitted to commercial and ADA standards.

WHEREAS, the County Planning Division has reviewed the submitted application and evidence and has referred the application and evidence to involved reviewing agencies for site inspections, comments and recommendations; and

WHEREAS, the County Planning Division, the lead agency, prepared an Addendum to the Final Mitigated Negative Declaration prepared for the Commercial Medical Land Use Ordinance (CMMLUO) adopted by the Humboldt County Board of Supervisors on January 26, 2016. The proposed project does not present substantial changes that would require major revisions to the previous mitigated negative declaration. No new information of substantial importance that was not known and could not be known at the time was presented as described by §15162(c) of CEQA Guidelines; and

WHEREAS, Attachment 2 in the Planning Division staff report includes evidence in support of making all of the required findings for approving the proposed Conditional Use Permit; and

WHEREAS, a public hearing was held on the matter before the Humboldt County Planning Commission on August 20, 2020.

NOW, THEREFORE, be it resolved, determined, and ordered by the Humboldt County Planning Commission that:

- 1. The Planning Commission considered the Addendum to the MND adopted for the Commercial Medical Marijuana Land Use Ordinance; and
- 2. The Planning Commission makes all of the required findings in Attachment 2 of the Planning Commission staff report for Case Numbers CUP16-154 and PLN-11122-CUP, based on the submitted substantial evidence; and
- 3. Conditional Use Permit CUP16-129 and PLN-11019-CUP is approved as recommended and conditioned in Attachment 1.

Adopted after review and consideration of all the evidence on August 20, 2020	

The motion was made by Commissioner ____ and seconded by Commissioner ____.

AYES: Commissioners:

NOES: Commissioners:

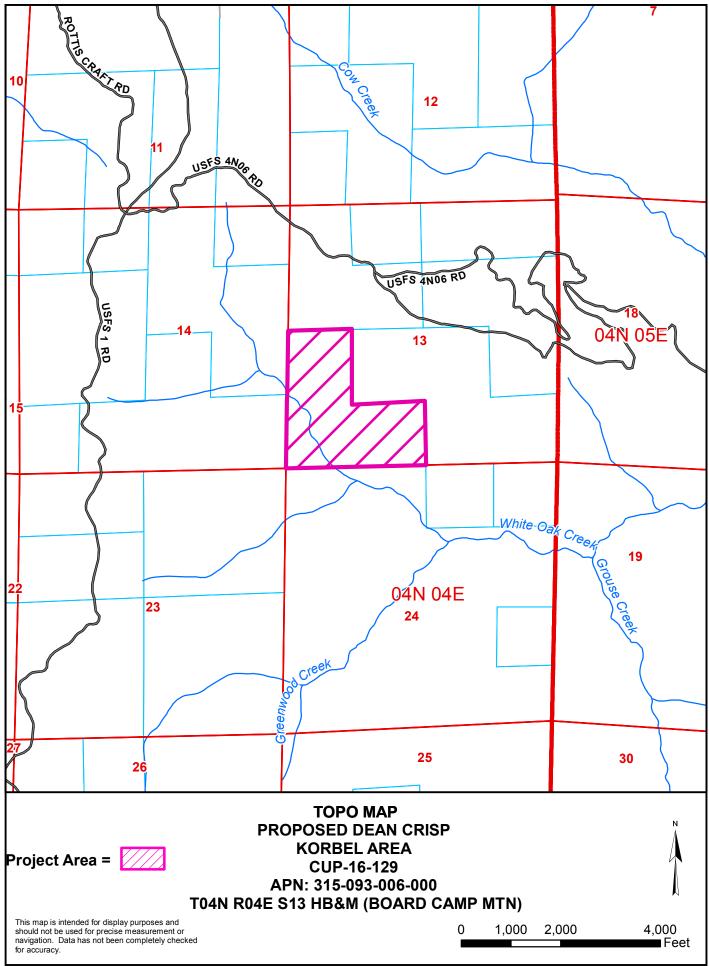
ABSTAIN: Commissioners: ABSENT: Commissioners:

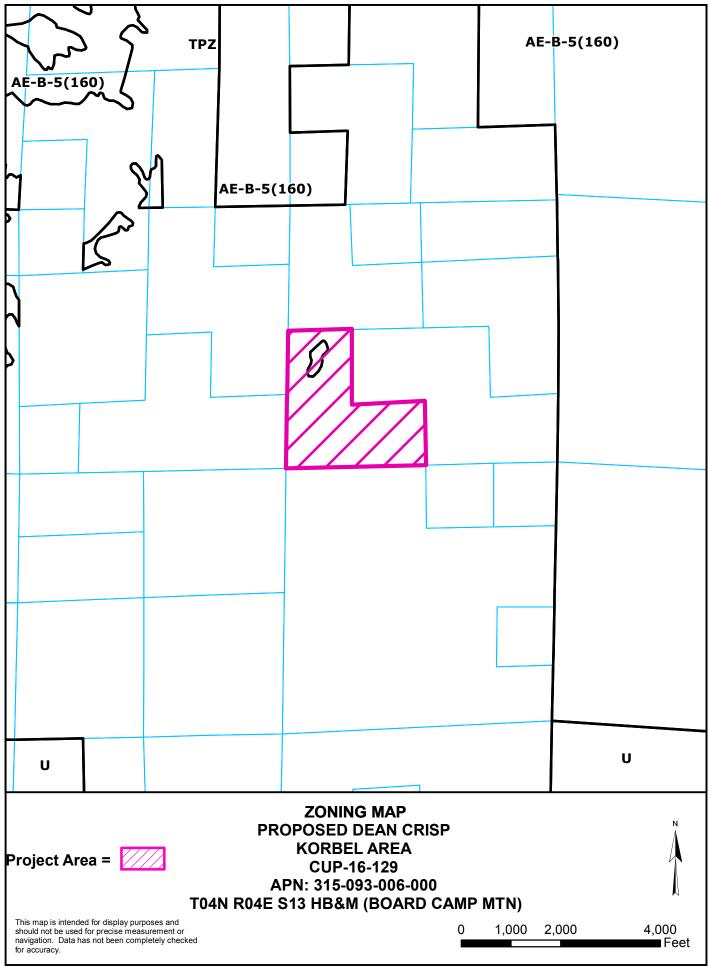
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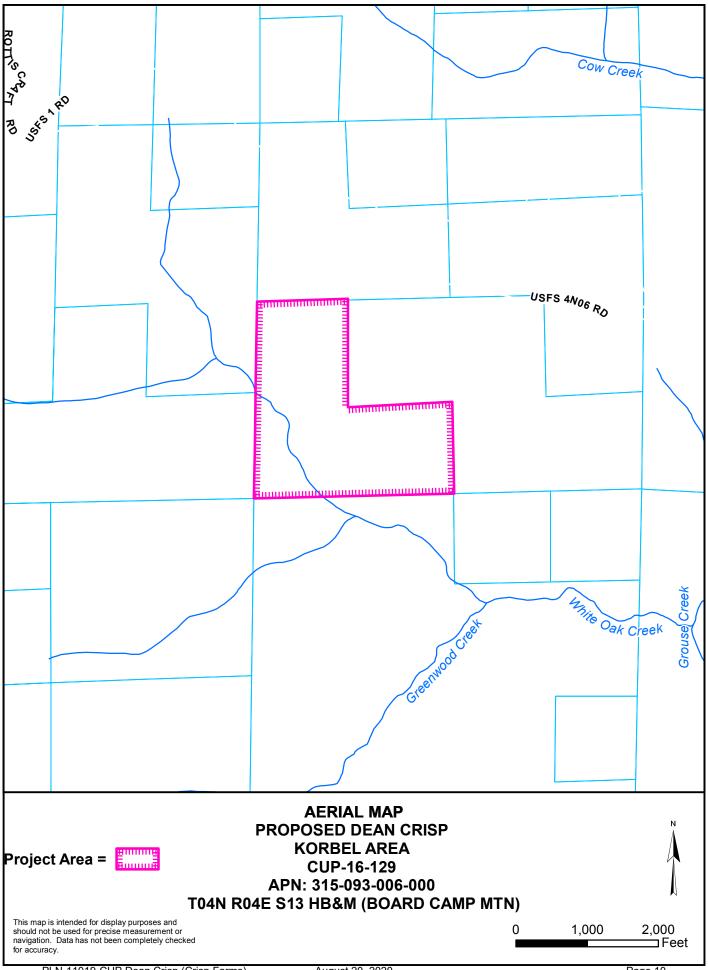
John Ford, Director

Planning and Building Department

DECISION:







TRINITY VALLEY CONSULTING ENGINEERS, INC.

ATTACHMENT 1

RECOMMENDED CONDITIONS OF APPROVAL

APPROVAL OF THE CONDITIONAL USE PERMIT IS CONDITIONED ON THE FOLLOWING TERMS AND REQUIREMENTS WHICH MUST BE SATISFIED BEFORE THE PROVISIONAL CANNABIS CULTIVATION PERMIT CAN BE FINALIZED.

- 1. Within 60 days of project approval, the Applicant shall execute a Compliance Agreement with the Humboldt County Planning Department detailing all necessary permits and infrastructure improvements described under Conditions of Approval #2-14. The agreement shall provide a timeline for completing all outstanding items. All activities detailed under the agreement must be completed to the satisfaction of the Planning and Building Department before the permit may be finalized and no longer considered provisional.
- 2. Photo documentation shall be provided, indicating that proper containment of all hazardous chemicals/materials within thirty-days, following execution of the final Project permit.
- 3. Processing on-site must be supported by a permitted onsite wastewater treatment system. A system must be installed with DEH approval within the 2-year compliance period. Portable toilets shall be provided to cultivation staff and provide a copy of the receipt to the Planning Department.
- 4. The Applicant shall secure permits for all unpermitted grading and structures related to the cannabis cultivation and other commercial cannabis activity. The plans submitted for building permit approval shall be consistent with the project description and approved project site plan. A letter or similar communication from the Building Division verifying that all structures related to the cannabis cultivation are permitted will satisfy this condition.
- 5. The applicant shall secure a contingency easement for the ongoing and continued use of the rainwater catchment pond on APN 315-092-007, a separate legal parcel under common ownership, for irrigation of commercial cannabis on the APN 315-093-006, subject parcel.
- 6. The approved building plans shall meet all applicable fire codes, including fire suppression infrastructure requirements deemed necessary for the project by the Building Inspection Division. Sign off of the Occupancy Permit by the Building Division shall satisfy this requirement.
- 7. The Applicant shall be compliant with the County of Humboldt's Certified Unified Program Agency (CUPA) requirements regarding any hazardous materials. A written verification of compliance shall be required before any provisional permits may be finalized. Ongoing proof of compliance with this condition shall be required at each annual inspection in order to keep the permit valid.
- 8. The applicant shall provide the Planning Department of copy of the Site Management Plan developed for the parcel prepared pursuant to Tier 1 enrollment under the State Water Resources Control Board (SWRCB) Cannabis Cultivation Policy, General Order. The applicant shall provide substantial evidence that all corrective actions detailed within the Site Management Plan have been completed.
- 9. The Applicant shall secure a final Lake and Streambed Alteration Agreement for the point of diversion as required by the California Department of Fish and Wildlife and comply with all applicable terms.
- 10. The Applicant shall demonstrate the driveway and emergency vehicle turn around, signing and building numbers, conforming access to the planned 5,000-gallon tank for emergency water, and fuel modification standards conform to the Humboldt County Code Section 3112-12, the Fire Safe Regulations. The Applicant shall be responsible for implementing any necessary improvements to bring the driveway and emergency vehicle turn around into compliance. A letter from a qualified engineer shall satisfy this requirement.

- 11. The operator shall provide information to all employees about the potential health impacts of cannabis use on children. Information shall be provided by posting the brochures from the Department of Health and Human Services titled "Cannabis Palm Card" and "Cannabis Rack Card." This information shall also be provided to all employees as part of the employee orientation.
- 12. The property owner shall execute and file with the Planning Division the statement titled, "Notice and Acknowledgment regarding Agricultural Activities in Humboldt County," ("Right to Farm" ordinance) as required by the HCC and available at the Planning Division.
- 13. The applicant shall remove all cultivation related wastes, debris materials and other debris including defunct structures and automobiles on the project site.
- 14. The applicant shall adhere to the recommendations of the Road Evaluation Report prepared for Crisp Farms by DTN Engineering and Consulting in December 2018 to improve the private roads used to access the property to commercial standards of use.
- 15. The applicant shall limit all operational noise generated from generators, fans, and dehumidifiers to not exceed 50 db at 100 feet from the source or at the edge of the nearest forest habitat, whichever is closer, as required by Section 314-55.4.11(o) Humboldt County Code. No artificial lighting is authorized for cultivation activities by this permit until a light and noise attenuation plan, developed in consultation with the Planning Department and California Department of Fish and Wildlife, is approved by the Planning Director.
- 16. A review fee for Conformance with Conditions as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of Supervisors (currently \$750.00) shall be paid to the Humboldt County Planning Division, 3015 "H" Street, Eureka. This fee is a deposit, and if actual review costs exceed this amount, additional fees will be billed at the County's current burdened hourly rate.
- 17. The Applicant is responsible for obtaining all necessary County and State permits and licenses, and for meeting all of the requirements as set forth by other regulatory agencies.
- 18. The Applicant is required to pay for permit processing on a time and material basis as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of Supervisors. The Department will provide a bill to the Applicant after the decision. Any and all outstanding Planning fees to cover the processing of the application to decision by the Hearing Officer shall be paid to the Humboldt County Planning Division, 3015 "H" Street, Eureka.
- 19. A Notice of Determination (NOD) will be prepared and filed with the County Clerk for this project in accordance with the State CEQA Guidelines. Within three days of the effective date of permit approval, it is requested that the applicant submit a check or money order for the required filing fee in the amount of \$50 payable to the Humboldt County Clerk/Recorder. If this payment is not received within this time period, the Department will file the NOD and will charge this cost to the project.

Ongoing Requirements/Development Restrictions Which Must be Satisfied for the Life of the Project:

- All components of the project shall be developed, operated, and maintained in conformance with the Project Description, the approved Site Plan, the Plan of Operations, and these conditions of approval. Changes shall require modification of this permit except where consistent with Humboldt County Code Section 312-11.1, Minor Deviations to Approved Plot Plan.
- 2. Cannabis cultivation and other commercial cannabis activity shall be conducted in compliance with all laws and regulations as set forth in the CMMLUO and MCRSA, as applicable to the permit type.

- 3. If operating pursuant to a written approved compliance agreement, permittee shall abate or cure violations at the earliest feasible date, but in no event no more than two (2) years from the date of issuance of a provisional clearance or permit. Permittee shall provide plans for curing such violations to the Planning & Building Department within one (1) year of issuance of the provisional clearance or permit. If good faith effort towards compliance can be shown within the two years following the issuance of the provisional clearance or permit, The Planning Department may, at the discretion of the Director, provide for extensions of the provisional permit to allow for additional time to meet the outstanding requirements.
- 4. Prohibition on use of synthetic netting. To minimize the risk of wildlife entrapment, Permittee shall not use any erosion control and/or cultivation materials that contain synthetic (e.g., plastic or nylon) netting, including photo- or biodegradable plastic netting. Geotextiles, fiber rolls, and other erosion control measures shall be made of loose-weave mesh, such as jute, hemp, coconut (coir) fiber, or other products without welded weaves.
- 5. All refuse is to be contained in wildlife proof storage containers, at all times, and disposed of at an authorized waste management facility.
- 6. That all imported soil located onsite be fully contained and setback a minimum of 150ft from watercourses and/or wet areas; and that all discarded soil and trash present onsite be removed and properly disposed of at a waste management facility.
- 7. Possession of a current, valid required license, or licenses, issued by any agency of the State of California in accordance with the MCRSA, and regulations promulgated thereunder, as soon as such licenses become available.
- 8. Confinement of the area of cannabis cultivation, processing, manufacture or distribution to the locations depicted on the approved site plan. The commercial cannabis activity shall be set back at least 30 feet from any property line, and 600 feet from any School, School Bus Stop, Church or other Place of Religious Worship, or Tribal Cultural Resources, except where a reduction to this setback has been approved pursuant to Section 55.4.11(d).
- 9. Maintain enrollment in Tier 1, 2 or 3, certification with the North Coast Regional Water Quality Control Board (NCRWQCB) Order No. R1-2015-0023, if applicable, or any substantially equivalent rule that may be subsequently adopted by the County of Humboldt or other responsible agency.
- 10. Comply with the terms of any applicable Streambed Alteration (1600) Permit obtained from the California Department of Fish & Wildlife.
- 11. Consent to an annual on-site compliance inspection, with at least 24 hours prior notice, to be conducted by appropriate County officials during regular business hours (Monday Friday, 9:00 am 5:00 pm, excluding holidays).
- 12. Refrain from the improper storage or use of any fuels, fertilizer, pesticide, fungicide, rodenticide, or herbicide.
- 13. The applicant shall not use any erosion control measures that contain synthetic (e.g. plastic or nylon) monofilament netting, including photo- or biodegradable plastic netting. Geotextiles, fiber rolls, and other erosion control measures shall be made of loose-weave mesh, such as jute, hemp, coconut (coir) fiber, or other products without weaves.
- 14. If any wildlife is encountered during the authorized activity, the Applicant shall not disturb the wildlife and shall allow wildlife to leave the work site unharmed.
- 15. Pay all applicable application and annual inspection fees.

- 16. The noise produced by any generator used on an emergency-only basis for cannabis drying, curing, and processing shall not be audible by humans from neighboring residences. The decibel level for generators measured at the property line shall be no more than 60 decibels. Where applicable, sound levels must also show that they will not result in the harassment of Marbled Murrelet or Spotted Owl species. Conformance will be evaluated using current auditory disturbance guidance prepared by the United State Fish and Wildlife Service, and further consultation where necessary. Under these guidelines, generator noise may not exceed 50dB as measured at 100 feet from the generator or at the edge of the nearest Marbled Murrelet or Spotted Owl habitat, whichever is closer
- 17. Storage of Fuel Fuel shall be stored and handled in compliance with applicable state and local laws and regulations, including the County of Humboldt's CUPA program, and in such a way that no spillage occurs.
- 18. The Master Log Books maintained by the Applicant to track production and sales shall be maintained for inspection by the County.
- 19. Pay all applicable taxes as required by the Humboldt County Commercial Marijuana Cultivation Tax Ordinance (Humboldt County Code Section 719-1 et seq.).
- 20. The operation shall participate in the Medical Cannabis Track and Trace Program administered by the Humboldt County Agricultural Commissioner, when available.

Performance Standards for Cultivation and Processing Operations

- 21. Pursuant to the MCRSA, Health and Safety Code section 19322(a)(9), an Applicant seeking a cultivation license shall "provide a statement declaring the Applicant is an 'agricultural employer,' as defined in the Alatorre-Zenovich-Dunlap-Berman Agricultural Labor Relations Act of 1975 (Part 3.5 commencing with Section 1140) of Division 2 of the Labor Code), to the extent not prohibited by law."
- 22. Cultivators shall comply with all applicable federal, state, and local laws and regulations governing California Agricultural Employers, which may include: federal and state wage and hour laws, CAL/OSHA, OSHA, California Agricultural Labor Relations Act, and the Humboldt County Code (including the Building Code).
- 23. All persons hiring employees to engage in commercial cannabis cultivation and processing shall comply with the following Employee Safety Practices:
 - I. Cultivation operations and processing operations must implement safety protocols and provide all employees with adequate safety training relevant to their specific job functions, which may include:
 - (a) Emergency action response planning as necessary;
 - (b) Employee accident reporting and investigation policies;
 - (c) Fire prevention;
 - (d) Hazard communication policies, including maintenance of material safety data sheets (MSDS);
 - (e) Materials handling policies;
 - (f) Job hazard analyses; and
 - (g) Personal protective equipment policies, including respiratory protection.
 - II. Cultivation operations and processing operations must visibly post and maintain an emergency contact list which includes at a minimum:
 - (a) Operation manager contacts;
 - (b) Emergency responder contacts;
 - (c) Poison control contacts.
 - III. At all times, employees shall have access to safe drinking water and toilets and handwashing facilities that comply with applicable federal, state, and local laws and

- regulations. Plumbing facilities and water source must be capable of handling increased usage without adverse consequences to neighboring properties or the environment.
- IV. On site-housing provided to employees shall comply with all applicable federal, state, and local laws and regulations.
- 24. <u>Term of Commercial Cannabis Activity Conditional Use Permit.</u> Any Commercial Cannabis Cultivation CUP issued pursuant to the CMMLUO shall expire one (1) year after date of issuance, and on the anniversary date of such issuance each year thereafter, unless an annual compliance inspection has been conducted and the permitees and the permitted site have been found to comply with all conditions of approval.
- 25. If the inspector or other County official determines that the permitees or site do not comply with the conditions of approval, the inspector shall serve the CUP or permit holder with a written statement identifying the items not in compliance, and the action that the permit holder may take to cure the non-compliance, or file an appeal within ten (10) days of the date that the written statement is delivered to the permit holder. Personal delivery or mailing the written statement to the mailing address listed on the application by regular mail, plus three (3) days after date of mailing, shall constitute delivery. The permit holder may request a reinspection to determine whether or not the permit holder has cured all issues of non-compliance. Failure to request reinspection or to cure any items of non-compliance shall terminate the Special Permit, immediately upon the expiration of any appeal period, or final determination of the appeal if an appeal has been timely filed pursuant to section 55.4.13.
- 26. <u>Permit Renewals to comply with Updated Laws and Regulations.</u> Permit renewal per Ongoing Condition of Approval #18 above is subject to the laws and regulations effective at the time of renewal, which may be substantially different than the regulations currently in place and may require the submittal of additional information to ensure that new standards are met.
- 27. <u>Acknowledgements to Remain in Full Force and Effect.</u> Permittee Acknowledges that the County reserves the right to reduce the size of the area allowed for cultivation under any clearance or permit issued in accordance with this Section in the event that environmental conditions, such as a sustained drought or low flows in the watershed in which the cultivation area is located will not support diversions for irrigation.
- 28. Permittee further acknowledges and declares that:
 - I. All commercial cannabis activity that I, my agents, or employees conduct pursuant to a permit from the County of Humboldt shall be solely for medical purposes and all commercial cannabis products produced by me, my agents, or employees are intended to be consumed solely by qualified patients entitled to the protections of the Compassionate Use Act of 1996 (codified at Health and Safety Code section 11362.5); and
 - II. All cannabis or cannabis products under my control, or the control of my agents or employees, and cultivated or manufactured pursuant to local Ordinance and the California Medical Marijuana Regulation and Safety Act will be distributed within the State of California; and
 - III. All commercial cannabis activity conducted by me, or my agents or employees pursuant to a permit from the County of Humboldt will be conducted in compliance with the California Medical Marijuana Regulation and Safety Act.
- 29. <u>Transfers</u>. Transfer of any leases or permits approved by this project is subject to the review and approval of the Planning Director for conformance with CMMLUO eligibility requirements, and agreement to permit terms and acknowledgments. The fee for required permit transfer review shall accompany the request. The request shall include the following information:

- a. Identifying information for the new Owner(s) and management as required in an initial permit application:
- b. A written acknowledgment by the new Owner in accordance as required for the initial Permit application;
- c. The specific date on which the transfer is to occur; and
- d. Acknowledgement of full responsibility for complying with the existing Permit; and
- e. Execution of an Affidavit of Non-diversion of Medical Cannabis.
- 30. <u>Inspections.</u> The permit holder and subject property owner are to permit the County or representative(s) or designee(s) to make inspections at any reasonable time deemed necessary to assure that the activities being performed under the authority of this permit are in accordance with the terms and conditions prescribed herein.

Informational Notes:

- 1. This provisional permit approval shall expire and become null and void at the expiration of one (1) year after all appeal periods have lapsed (see "Effective Date"); except where the Compliance Agreement per Condition of Approval #1 has been executed and the corrective actions pursuant to the agreement are being undertaken. Once building permits have been secured and/or the use initiated pursuant to the terms of the agreement, the use is subject to the Permit Duration and Renewal provisions set forth in Conditions of Approval #19 of the On-Going Requirements /Development Restrictions, above.
- 2. If cultural resources are encountered during construction activities, the contractor on site shall cease all work in the immediate area and within a 50-foot buffer of the discovery location. A qualified archaeologist as well as the appropriate Tribal Historic Preservation Officer(s) are to be contacted to evaluate the discovery and, in consultation with the Applicant and lead agency, develop a treatment plan in any instance where significant impacts cannot be avoided.

Prehistoric materials may include obsidian or chert flakes, tools, locally darkened midden soils, groundstone artifacts, shellfish or faunal remains, and human burials. If human remains are found, California Health and Safety Code Section 7050.5 requires that the County Coroner be contacted immediately at 707-445-7242. If the Coroner determines the remains to be Native American, the Native American Heritage Commission will then be contacted by the Coroner to determine appropriate treatment of the remains pursuant to Public Resources Code Section 5097.98. Violators shall be prosecuted in accordance with Public Resources Code Section 5097.99.

ATTACHMENT 2

REQUIRED FINDINGS FOR APPROVAL

Required Findings: To approve this project, the Hearing Officer must determine that the Applicant has submitted evidence in support of making **all** of the following required findings.

The County Zoning Ordinance, Sections 312-1.1.2 and 312-17.1 of the Humboldt County Code (Required Findings for All Discretionary Permits) specify the findings that are required to grant a Conditional Use Permit and Special Permit:

- 1. The proposed development is in conformance with the County General Plan, Open Space Plan, and Open Space Action Program;
- 2. The proposed development is consistent with the purposes of the existing zone in which the site is located:
- 3. The proposed development conforms with all applicable standards and requirements of these regulations;
- 4. The proposed development and conditions under which it may be operated or maintained will not be detrimental to the public health, safety, or welfare; or materially injurious to property or improvements in the vicinity;
- 5. The proposed development does not reduce the residential density for any parcel below that utilized by the Department of Housing and Community Development in determining compliance with housing element law (the midpoint of the density range specified in the plan designation) unless the following written findings are made supported by substantial evidence: 1) the reduction is consistent with the adopted general plan including the housing element; and 2) the remaining sites identified in the housing element are adequate to accommodate the County share of the regional housing need; and 3) the property contains insurmountable physical or environmental limitations and clustering of residential units on the developable portions of the site has been maximized; and
- 6. In addition, the California Environmental Quality Act (CEQA) states that one of the following findings must be made prior to approval of any development which is subject to the regulations of CEQA. The project either:
 - a. Is categorically or statutorily exempt; or
 - b. Has no substantial evidence that the project will have a significant effect on the environment and a negative declaration has been prepared; or
 - c. Has had an environmental impact report (EIR) prepared and all significant environmental effects have been eliminated or substantially lessened, or the required findings in Section 15091 of the CEQA Guidelines have been made.

To approve this project, the Hearing Officer must determine that the applicant has submitted evidence in support of making **all** of the following required findings.

1. The proposed development must be consistent with the General Plan, Open Space Plan, and Open Space Action Program. The following table documents the substantial evidence which supports finding that the proposed development is in conformance with all applicable policies and standards of the Humboldt County General Plan.

Plan Section	Summary of Applicable Goal,	Evidence Which Supports Making the General Plan
	Policy or Standard	Conformance Finding
Land Use Chapter 4 Land Use Designations	Timberland (T): This designation is utilized to classify land that is primarily suitable for the growing,	The Applicant is proposing to permit an existing commercial cannabis cultivation operation consisting of 43,560 SF of existing outdoor medical cannabis cultivation on lands designated as Timberland. General is an allowable use type for this designation.
Section 4.8	harvesting and production of timber. Prairie and grazing lands may be intermixed. Density range is 40 -160 acres/unit.	The MAUCRSA, Health and Safety Code section 11362.777(a) provides that medical cannabis is an agricultural product, subject to extensive state and local regulation. The existing cultivation is considered an agricultural use, and the processing facility and supportive infrastructure may be considered accessory
		to the agricultural use.
Circulation Chapter 7	Goals and policies contained in this Chapter relate to a balanced, safe, efficient, accessible and convenient circulation system that is appropriate for each type of unincorporated community (C-G1,CT-G2); coordinated planning design, development, operations, and maintenance between the County and other transportation system service	Access to the site is off a 2.2-mile portion of unnamed road and private driveway which comes off of USFS 1. The interior of the site is accessed via an approximate 1.52-mile private driveway. A Road Evaluation Report was prepared for the Applicant by David Nicoletti in December 2018. Both the Unnamed road, which appears to be Grouse Creek Road when cross referenced with Humboldt County WebGIS, and the private drive were evaluated. The Report states that the roads are not developed to a category 4 equivalent standard, but that with adherence to the Report's recommendations the road
	providers (C-G3); and access for all transportation mode types with improved opportunities to move goods within, into and out of Humboldt County. (C-G4, C-G5) Related policies: C-P3. Consideration of Transportation Impacts in Land Use Decision Making.	will be serviceable for the proposed use. The Report found that the Average Daily Traffic (ADT) observed during the completion of the report did not warrant significant improvements involving cutting further into hillsides to widen the road. The engineer put forth milder suggested measures to bring the road closer category 4 equivalence. These recommendations for road maintenance include repair and of drainage ditches, adding and fortifying riprap, and clearing brush and grass from the roadside to make turnouts more evident. These recommendations are conditions of approval.
		Per comment by Humboldt County Department of Public Works on July 1, 2020, the project is accessed on a road not managed by the County of Humboldt. The project has been referred to the US Forest Service.

Plan Section	Summary of Applicable Coal	Evidence Which Supports Making the Congral Plan
Plan Section	Summary of Applicable Goal, Policy or Standard	Evidence Which Supports Making the General Plan Conformance Finding
Housing Chapter 8	Goals and policies contained in this Element seek to identify existing and projected housing needs and establish goals, policies, standards and measures for the preservation, improvement, and development of housing.	The project does not involve residential development, nor is the project site part of the Housing Element Residential Land Inventory. However, the project will not preclude any future residential development. The project will not reduce the residential density for any parcel below that utilized by the Department of Housing and Community Development in determining compliance with housing element law.
	Related policies: H-P3, Development of Parcels in the Residential Land Inventory.	
Conservation and	!	The project is located within an Open Space Action
Open Space	in this Chapter relate to an	Program because the project site is planned
Chapter 10	Open Space and	Timberland (T) and zoned Timber Production Zone (TPZ)
Open Space	Conservation Program that is	and Agriculture Exclusive (AE). The project can be
Open Space Section 10.2	complimentary to other agencies' plans and that	found consistent with the Open Space Plan and Open Space Action Program because the proposed project
3000001110.2	preserves the county's unique	is consistent with the allowable uses of the Land Use
	open spaces. (CO-G1, CO-	Designations. General agriculture is a use type
	G3)	permitted in the Timberland land use designation.
		General agriculture is also a principal permitted use in
	Related policies: CO-P1,	the AE and TPZ zoning districts. The proposed cannabis
	Conservation and Open	cultivation, an agricultural product, is within land
	Space Program; CO-P12,	planned and zoned for agricultural purposes,
	Development Review, CO-S1.	consistent with the use of Open Space land for
	Identification of Local Open	managed production of resources. Therefore, the
	Space Plan, and CO-S2.	project is consistent with and complimentary to the
	Identification of the Open	Open Space Plan and its Open Space Action Program
	Space Action Program.	

Plan Section	Summary of Applicable Goal,	Evidence Which Supports Making the General Plan
	Policy or Standard	Conformance Finding
Conservation and Open Space Chapter 10 Biological Resources Section 10.3	Goals and policies contained in this Chapter relate to mapped sensitive habitat areas where policies are applied to protect fish and wildlife and facilitate the recovery of endangered species (BR-G1, Threatened and Endangered Species, BR-G2, Sensitive and Critical Habitat, BR-G3, Benefits of Biological Resources)	A query of the California Natural Diversity Database (CNDDB) as observable on Humboldt County WebGIS shows there are observations of a sensitive, rare, threatened or endangered species of special concern in the project vicinity. This species, the (summer-run steelhead trout) is located approximately 5,000 feet outside the project boundaries on the in the Mad River. The project site contains a Class II watercourse, but it does not support habitat for this species. The CNDDB also shows two (2) known Northern Spotted Owl (NSO) activity center within 1.25 miles (6,600 feet) of the project site.
	Related policies: BR-P1. Compatible Land Uses, BR-P5. Streamside Management Areas.	The applicant shall assume presence of Northern Spotted Owl and avoid impacts by adhering to the CMMLUO noise standards attenuating all noise to 50 dB at 100 feet from the source or the edge of habitat, whichever is closest. Artificial lighting used in the ancillary nursery shall be shielded 30 minutes before dusk and 30 minutes after dawn so as not to disturb crepuscular life. The above is a condition of approval. Two Class II watercourses traverse the northwestern portion of the project site and flow to a blue line stream, White Oak Creek, approximately 400 feet south of the nearest cultivation area. The Class II watercourses are not shown as Streamside Management Area (SMAs) in the County WebGIS. The Water Resources Protection Plan prepared by Timber land Resource Consultants shows the watercourses and their 50' buffers with all project aspects falling outside of the buffers.
Conservation and Open Space Chapter 10 Cultural Resources Section 10.6	Goals and policies contained in this Chapter relate to the protection and enhancement of significant cultural resources, providing heritage, historic, scientific, educational, social and economic values to benefit present and future generations (CU-G1, Protection and Enhancement of Significant Cultural Resources) Related policies: CU-P1. Identification and Protection, CU-P2. Native American Tribal Consultation.	An Archaeological Survey was carried out by Archaeological Research and Supply Company in December 2019. No known significant archaeological or historic period cultural resource are located in the project area. The project was referred to the Bear River of Rohnerville Rancheria who responded on July 9, 2020 and recommended inadvertent discovery protocols as a condition of approval. Ongoing conditions of approval are incorporated regarding the inadvertent discovery protocol.

Plan Section	Summary of Applicable Goal,	Evidence Which Supports Making the General Plan
Fian Section	Policy or Standard	Conformance Finding
Conservation and Open Space Chapter 10 Scenic Resources Section 10.6	Goals and policies contained in this Chapter relate to the protection of scenic areas that contribute to the enjoyment of Humboldt County's beauty and abundant natural resources (SR-G1); and a system of scenic highways roadways that increase the enjoyment of, and opportunities for, recreational and cultural pursuits and tourism in the County. (SR-G2) Related policies: SR-S4. Light and Glare	The proposed project includes the continued use of outdoor cannabis cultivation in greenhouses and full-sun outdoor cultivation. The CMMLUO requires that cultivation sites comply with International Dark Sky Association standards for Lighting Zone 0 and Lighting Zone 1 and be designed to regulate light spillage onto neighboring properties resulting from backlight, uplight, or glare (BUG). International Dark Sky Association Standards exceed the requirements of Scenic Resources Standard SR-S4, Light and Glare, that lighting be fully shielded, and designed and installed to minimize off-site lighting and direct light within the property boundaries. The proposed project is not located in proximity to any scenic highway or roadway.
Water Resources Chapter 11 Stormwater Drainage	Goals and policies contained in this Chapter relate to coordinated watershed planning and land use decision making to advance management priorities (WR-G3, WR-G4, WR-G5); watershed conservation and restoration efforts aimed at de-listing water bodies and watersheds which are restored to meet all beneficial uses, including water use, salmon and steelhead recovery plans, recreational activities, and the economy. (WR-G1, WR-G2, WR-G7, WR-G8, WR-G9) Related policies: WR-P10. Erosion and Sediment Control Measures.	The Project site falls within Tier 2 of the North Coast Regional Water Quality Control Board's (NCRWQCB) Order No. 2015-0023 (Order), which requires preparation of a Water Resources Protection Plan (WRPP) to protect water quality from cannabis cultivation and related activities. The applicant has submitted a WRPP prepared by Timberland Resource Consultants. The as a condition of approval, the applicant will follow all recommendations laid out in the WRPP. The Applicant has filed an LSAA with CDFW. Once the final LSAA is received, the Applicant will implement all requirements specified by CDFW to protect adjacent biological resources, and water quality for the site and downstream areas. Conditions of approval related to preparation of these documents and conformance to permit requirements have been added to the project making the project consistent with this policy.

Plan Section	Summary of Applicable Goal, Policy or Standard	Evidence Which Supports Making the General Plan Conformance Finding
Water Resources Chapter 11 Onsite Wastewater Systems	Goals and policies contained in this Chapter relate to adequate public water supply as well as onsite wastewater systems and natural and developed storm drainage systems that minimize interference with surface and groundwater flows and storm water pollution. (WR-G6, WR-G9, WR G10)	The processing building will be retrofitted to include one ADA compliant restroom. A septic tank destruction permit will be required for removal of the existing cabin. Processing on-site must be supported by a permitted onsite wastewater treatment system. A system must be installed with DEH approval within the 2-year compliance period. These requirements have been incorporated as conditions of approval.
	Related policies: WR-IM7. Basin Plan Septic Requirements; and IS-P20. On-Site Sewage Disposal Requirements.	
Noise Chapter 13	Goals and policies contained in this Chapter discourage incompatible uses within communities and reduce excessive noise through the application of standards. (N-G1, N-G2) Related policies: N-P1, Minimize Noise from Stationary	The subject parcel is located in an area that requires special noise attenuation measures. The existing cultivation areas are outdoor, and the project does rely on generator use, but there will be minimal noise generated by the project. Noise is required to be attenuated to 50 dB at 100 feet from the source or at the edge of habitat such as a tree line, whichever is closest. The artificially illuminated nursery shall be shielded 30 minutes before dusk and 30 minutes after dawn to avoid disturbance of crepuscular organisms. This is a condition of approval.
	and Mobile Sources; N-P4, Protection from Excessive Noise.	As a condition of approval, noise generated from any generator use shall comply with the standards set forth in Section 55.4.11(o) of the CMMLUO which limits the combined decibel level for all noise sources to 60 decibels at the property line.

Plan Section	Summary of Applicable Goal, Policy or Standard	Evidence Which Supports Making the General Plan Conformance Finding
Safety Element Chapter 14 Geologic & Seismic	Goals and policies contained in this Chapter relate to communities that are designed and built to minimize the potential for loss of life and property resulting from natural and manmade hazards; and to prevent unnecessary exposure to areas of geologic instability, floodplains, tsunami run-up areas, high risk wildland fire areas, and airport areas planned and conditioned to prevent unnecessary exposure of people and property to risks of damage or injury. (S-G1, S-G2)	The project site is not located in a mapped Alquist-Priolo fault zone nor is it subject to liquefaction. The site is seismically classified as high instability. The existing cultivation uses in the western portions of the project site, which are proposed to continue, are not expected to be affected by geologic instability nor will the uses create or exacerbate any existing geologic condition. The project does not pose a threat to public safety related from exposure to natural or manmade hazards. The project is not located in an airport regulation area or military training route.
Safety Element Chapter 14 Flooding	Hazards. Goals and policies contained in this Chapter relate to the use of natural drainage channels and watersheds that are managed to minimize peak flows in order to reduce the severity and frequency of flooding. (S-G3) Related policies include: S-P10, Federal Flood Insurance Program; S-P11, Flood Plains; S-PX3, Construction Within Special Flood Hazard Areas	The subject site is outside any mapped flood hazard areas. The project site is not within a mapped dam or levee inundation area and, at over 30 miles distance from the coast and elevation ranges from approximately 2,640 to 3,440 feet above mean sea level, is outside the areas subject to tsunami run-up.
Safety Element Chapter 14 Fire Hazards	Goals and policies of this Chapter encourage development designed to reduce the risk of structural and wildland fires supported by fire protection services that minimize the potential. Related policies: S-P15, Conformance with State Responsibility Areas (SRA) Fire Safe Regulations.	The subject parcel is located within an area with a high to a very high fire severity rating. The subject property is located nearest to the Kneeland Fire Response Area and in an SRA where the State of California has the primary financial responsibility for the prevention and suppression of wildland fires. CAL FIRE comments recommended turnarounds for emergency access, signing and building numbers, designated water storage for fire as part of emergency water standards, and fuel modification standards.

Plan Section	Summary of Applicable Goal, Policy or Standard	Evidence Which Supports Making the General Plan Conformance Finding
		The Humboldt County Fire Safe Ordinance (Section 3111-1 et seq.) establishes development standards for minimizing wildfire danger in state responsibility designated areas. The Applicant shall divert all on-site hard-sided water storage which is up to 30,000-gallons in the event of necessary fire suppression. This, as well as continued conformance to all other fire safe requirements are added as conditions of approval to the project.
Community Infrastructure and Services Element, Chapter 5 Implementation Action Plan	IS-S5 requires new industrial, commercial and residential development located outside of fire district boundaries to obtain written acknowledgment of available emergency response and fire suppression services from the local fire agency, including any recommended mitigation.	The project is located nearest to the Kneeland Fire Response Area jurisdiction.
Air Quality Chapter 15	Goals and policies contained in this Chapter relate to improved air quality to meet current and future state and federal standards, including attainment of particulate matter requirements (AQ-G1, AQ-G2, AQ-G3) and the successful reduction of greenhouse gas emissions to levels consistent with state and federal requirements. (AQ-G3) Related policies: AQ-P4, Construction and Grading Dust Control, AQ-S1. Construction and Grading	Applications for grading and/or building permits shall be referred to the North Coast Air Quality Management District (NCAQMD) for review and consultation. Dust control practices during construction and grading shall achieve compliance with NCAQMD fugitive dust emission standards.
	levels consistent with state and federal requirements. (AQ-G3) Related policies: AQ-P4, Construction and Grading Dust Control, AQ-S1.	

2. Zoning Compliance and 3. Conforms with applicable standards and requirements of these regulations: The following table documents the evidence which supports finding that the proposed development is in conformance with all applicable policies and standards in the Humboldt County Zoning Regulations.

Zoning Section	Summary of Applicable	Evidence That Supports the Zoning Finding
	Requirement	

F .	T	
§312-1.1.2	Development permits shall	
	be issued only for a lot that	The parcel known as APN 315-093-006 comprised of
Legal Lot	was created in compliance	one legal parcel being that land patent issued
Requirement	with all applicable state and	under Certificate No. 954782 to Edward L. Pullen for
224424	local subdivision regulations.	360 acres on March 9, 1925.
§314-8.1	Timber Production Zone (TPZ):	The project consists of an existing 43,560 SF of
	The Timberland Production or	outdoor medical cannabis cultivation operation on
Timber Production	TPZ Zone is intended to	Assessor's Parcel Number (APN) 315-093-006 on a
Zone (TPZ)	provide standards and	property zoned TPZ and AE. The proposed use is
A	restrictions for the	specifically allowed with Conditional Use Permit in
Agriculture	preservation of timberlands	this zoning district and under Section 314-55.4.8.2.2
Exclusive (AE)	for growing and harvesting	of the CMMLUO.
0 1 - 1 - 1 7	timber.	
Combining Zone		
"B-5"	A'	
	Agriculture Exclusive (AE)	
	The Agriculture Exclusive or	
	AE Zone is intended to be	
	applied in fertile areas in	
	which agriculture is and	
	should be the desirable	
	predominant use and in	
	which the protection of this	
	use from encroachment from	
	incompatible uses is essential	
	to the general welfare. The	
	following regulations shall	
	apply in all Agriculture	
	Exclusive or AE Zones.	
	Combining Zone (B-5)	
	As specified on the zoning	
	maps designating any such	
	zone, except that in no case	
	shall these requirements be	
	less than those required	
	under the B-4 requirements.	
Minimum Lot Size:	40 acres	125 Acres
Maximum Ground	None specified	Below 10%
Coverage:		
Minimum Lot	As determined during	2,765 feet
Width:	subdivision review and	2,7001001
vvidti.	approval	
Maximum Lot	None specified	2,767 feet
	i None specified	2,707 1001
Depth: Minimum Yard	Front: 20 feet	Frant, E00 foot
		Front: 500 feet
Setbacks:	Rear: 30 feet	Rear: 800 feet
	Side: 30 feet	Side: 182 feet
	SRA setback from all	
	property lines: 30 feet	
Max. Building	35 feet	Single story
Height:		

§314-109.1.2.9 Off-Street Parking	Off Street Parking for Agricultural use*: One parking space per employee at peak shift. A minimum of	The cultivation is operated by up to 25 seasonal staff, who drive to the site daily. The site plan does indicate twenty-five (25) designated parking areas, sufficient space is available for fifteen vehicles.
Parking Spaces for the Uses Not Specified	two parking spaces are required.	
	*Use for this activity is not specified. Per Section 314-109.1.2.9, the Director may fix the required number of parking spaces based on standards for most comparable use.	
§314-61.1 Streamside Management Area (SMA)	Purpose: To provide minimum standards pertaining to the use and development of land located within Streamside Management Areas (SMAs) and other wet areas (OWA) to implement the County's Open Space Element of the General Plan.	No work is proposed to be carried out within a Streamside Management Area that goes beyond existing road maintenance.

314-55.4 et seq. HCC: Commercial Cultivation, Processing, Manufacturing and Distribution of Cannabis						
	and Land Use Regulation (CMML	·				
§314-55.4.8.2	In zoning district TPZ and AE, existing outdoor cultivation may be permitted with a Conditional Use Permit.	The project site is a forested site zoned TPZ and AE. The Applicant has applied for the necessary CUP to bring the existing 43,560 square foot (SF) outdoor medical cannabis cultivation into compliance.				
§314-55.4.8.2.2 Existing Outdoor and Mixed-Light Cultivation Areas	On parcels 5 acres or larger in size, a Zoning Clearance Certificate, Special Permit or Conditional Use Permit may be issued for existing outdoor and mixed light cultivation for some or all of the cultivation area in existence prior to January 1, 2016. The total cultivation area allowed on a single parcel shall not exceed one acre for outdoor cultivation or 22,000 square feet for mixed-light cultivation. A Conditional Use Permit is appropriate for existing outdoor and/or mixed-light cultivation >10,000 - 43,560 sf on parcels over 1-acre, zoned FR.	The application is for an existing 43,560 SF outdoor medical cannabis cultivation on APN 315-093-006, which comprise a single 125-acre parcel zoned TPZ and AE. Aerial imagery on Google Earth indicates that existing cultivation operations on the property began between 2010 and 2012. The cultivation area, type, status, and zoning of the parcel are consistent with the requirements for a Conditional Use Permit. The Applicant will comply with all conditions of the CMMLUO, as specified in the recommended conditions of approval.				

§314-55.4.8.10 Permit Limit	No more than four commercial cannabis activity permits may be issued to a single person, as defined in the referenced section.	According to records maintained by the Department, Applicant, holds no other cannabis activity permits, and is entitled to four. This application is for one permit. The applicant has two more applications awaiting decision on adjacent and nearby parcels.
§314-55.4.9.1 Accessory Processing	Processing for cultivation requiring a Special Permit or Use Permit will be considered in the Use Permit application.	The Applicant proposes to process the cannabis at an on-site facility. Once harvested, cannabis plants will be inspected and then processed. All cannabis processing shall occur within the 640 SF processing building. Cut flowers will be de-leafed and prepared for drying. Once the proper moisture is achieved flowers will be bucked and placed into bins in the curing room. Once cured flowers will be bagged until they are hand trimmed and finishing. Finished product will then be packaged and sealed and await transport.
§314-55.4.9.4 Pre-Application Registration	Existing cultivation sites shall register with the County within 180 days of the effective date of this ordinance.	The Applicant submitted the required Commercial Cannabis Registration Form for the existing cultivation on APN 315-093-006, with the Planning Division on August 21, 2016, and within the specified window.
§314-55.4.10 Application Requirements	Identifies the Information Required for All Applications	Attachment 4 identifies the information submitted with the application and shows all the required information was received.
§314-55.4.11 Performance Standards	Identifies the Performance Standards for Cannabis Cultivation Activities	All the applicable performance standards are included as Conditions of project approval. They are required to be met throughout the timeframe of the permit.
§314-55.4.11.c Performance Standards-Water	Compliance with all statutes, regulations and requirements of the California State Water Resources Control Board, Division of Water Rights, at a minimum to include a statement of diversion of surface water from a stream, river, underground stream, or other watercourse required by Water Code Section 5101, or other applicable permit, license, or registration.	Irrigation water will be sourced from a 280,000-gallon rainwater catchment pond on adjacent parcel under common ownership APN 315-092-007. The subject parcel also has a permitted groundwater well which does not currently have a pump but is ready for backup irrigation water. The well is permitted (Humboldt County Division of Environmental Health Permit # 17/18-1785). Due to 3D Drilling going out of business, a well log is not available. If the well is used, it will be subject to the forbearance period of May 15 to October 31. The rainwater catchment pond is to be the primary source of irrigation water. Based on the submitted evidence, the project complies with the referenced section and is not defined as a surface water diversion. The conditions indicate that the Planning Department reserves the right to require additional water storage if necessary.

§314-55.4.11.d Performance Standards- Setbacks	The area of cannabis cultivation and on-site processing shall be setback at least 30 feet from any property line, and 600 feet from any school, school bus stop, church or other place of religious worship, public park, or tribal cultural resources (TCRs).	There are no schools or school bus stops within 600 feet of the cultivation operation. There are no parks as defined HCC Section 314-55.4.7 within 600 feet of the cultivation site based on a review of aerial imagery. Nor is there a place of religious worship within 600 feet. The site plan shows the project complies with property line setback. Conditions of approval have been included related to inadvertent discovery protocol based on the recommendation of the Bear River Band of the Rohnerville Rancheria.
§314-55.4.11.0 Performance Standards- Generator Noise	The noise produced by a generator used for cannabis cultivation shall not be audible by humans from neighboring residences. The combined decibel level for all noise sources, including generators, at the property line shall be no more than 60 decibels. Where applicable, sound levels must also show that they will not result in the harassment of Marbled Murrelet or Spotted Owl species, when generator use is to occur in the vicinity of potential habitat. Conformance will be evaluated using current auditory disturbance guidance prepared by the United State Fish and Wildlife Service	The site obtains electricity from generators and the site is understood to be habitat for Northern Spotted Owls or in the vicinity of NSO habitat. The applicant will attenuate all noise sources to 50dB or less at 100 feet from the noise source or at the edge of habitat such as a tree line, whichever is closest. This is a condition of approval.
§314-55.4.17 Sunset Date	No application for any Use Permit pursuant to the CMMLUO shall be processed for issuance or approval that is received after December 31, 2016.	The Applicant filed the application on August 21, 2016.

4. Public Health, Safety and Welfare: The following table identifies the evidence which documents the finding that the proposed development will not be detrimental to the public health, safety and welfare or materially injurious to properties or improvements in the vicinity.

Code Section	Summary of Applicable Requirements	Evidence that Supports the Required Finding
§312-17.1.4	The proposed development will not be detrimental to the public health, safety and welfare, and will not be materially injurious to properties or improvements in the vicinity.	The Department finds that the project will not be detrimental to the public health, safety and welfare since all reviewing referral agencies have approved the project design. The project as proposed and conditioned is consistent with the general plan and zoning ordinances; and the project is not expected to cause significant environmental damage.

5. Residential Density Target: The following table documents the evidence which supports finding that the proposed project will not reduce the residential density for any parcel below that utilized by the Department of Housing and Community Development in determining compliance with housing element law.

Code Section	Summary of Applicable Requirement	Evidence that Supports the Required Finding
17.1.5 Housing Element Densities	The proposed development shall not reduce the residential density for any parcel below that utilized by the Department of Housing and Community Development in determining compliance with housing element law (the midpoint of the density range specified in the plan designation), except where: 1) the reduction is consistent with the adopted general plan including the housing element; and 2) the remaining sites identified in the housing element are adequate to accommodate the County share of the regional housing need; and 3) the property contains insurmountable physical or environmental limitations and clustering of residential units on the developable portions of the site has been maximized.	The property was not included in the 2019 Housing Inventory and is not in a Housing Opportunity Zone. The site does not have an existing residence but would not disallow future residential use. The project does not involve housing but does not limit the ability of the parcel to be developed for residential uses if in conformance with the General Plan and Zoning designations. The project is in conformance with the standards in the Housing Element.

6. Environmental Impact: The following documents the evidence which supports finding that the proposed development will not adversely impact the environment.

As lead agency, the Department prepared an Addendum to the previously adopted Mitigated Negative Declaration (MND) (State Clearinghouse # 2015102005) prepared for the Commercial Medical Marijuana Land Use Ordinance (CMMLUO) and adopted by the County Board of Supervisors January 26, 2016. The MND prepared for the CMMLUO established that the environmental effects of existing cultivation operations would be reduced from the baseline impacts through the regulations applied by the CMMLUO. The proposed project is consistent with all regulations within the CMMLUO and all mitigation measures of the MND. The project is for the approval of an existing cultivation and on-site processing. The environmental document on file include detailed discussions of all the relevant environmental issues.

ATTACHMENT 3

CEQA ADDENDUM TO THE MITIGATED NEGATIVE DECLARATION FOR THE COMMERCIAL MEDICIAL MARIJUANA LAND USE ORDINANCE

Commercial Medical Marijuana Land Use Ordinance Mitigated Negative Declaration (MND) (State Clearinghouse # 2015102005), January 2016

APN 315-093-006, Grouse Creek Road, Dinsmore area, County of Humboldt

Prepared By Humboldt County Planning and Building Department 3015 H Street, Eureka, CA 95501

August 2020

Background

Modified Project Description and Project History - The original project reviewed under the Mitigated Negative Declaration (MND) for the Commercial Medical Marijuana Land Use Ordinance (CMMLUO) addressed the broad environmental impacts that could be expected to occur from the adoption and implementation of the ordinance. The MND specified that the regulations established in the CMMLUO would mitigate the impacts of existing cannabis operations by establishing regulations for an existing unregulated land use to help prevent and reduce environmental impacts that are known to result from unpermitted baseline cultivation operations. The MND states that "Bringing existing operations into compliance will help to attenuate potential environmental effects from existing cultivation activities, including aesthetic impacts resulting from improper operation or poor siting."

The modified project involves a Conditional Use Permit for an existing 43,560 SF outdoor medical cannabis, and 495 square feet of propagation. All cannabis processing shall be conducted on-site in the existing 640 SF drying shed and the 2,400 SF processing building to be retrofitting to commercial and ADA standards.

Water for irrigation is sourced from a 280,000-gallon rainwater catchment pond on adjacent parcel under common ownership APN 315-092-007. The subject parcel also has a drilled, non-functional well for emergency back-up irrigation water which is subject to forbearance requirements. The site contains a total of 26,925 gallons of hard tank storage. The applicant estimates, 280,000 gallons of water is required for the annual operations. Plants are harvested and dried on-site in a proposed 2,400 square-foot ancillary processing building and 640 SF processing shed. Propagation occurs in the on-site 495 SF nursery hoop house All processing and operations associated with cannabis for Crisp Farms, LLC will be conducted by the owners of Crisp Farms, LLC with the assistance of up to 25 planned employees.

Power to the site is provided by a noise attenuated generator. The modified project will also comply with provisions of the CMMLUO intended to eliminate impacts to sensitive species from noise and from light through the requirement to develop a light and noise attenuation plan. Compliance with these and other measures of the CMMLUO ensure consistency with the MND.

<u>Purpose</u> - Section 15164 of the California Environmental Quality Act (CEQA) provides that the lead agency shall prepare an addendum to a previously certified Mitigated Negative Declaration (MND) if some changes or additions are necessary but none of the conditions described in Section 15162 calling for a subsequent EIR or Negative Declaration have occurred. Section 15162 states that when an EIR has been certified for a project, no subsequent EIR shall be prepared for that project unless the lead agency determines, on the basis of substantial evidence in the light of the whole record, one or more of the following:

- Substantial changes are proposed in the project which require major revisions of the previous MND due
 to the involvement of new significant environmental effects or a substantial increase in the severity of
 previously identified significant effects;
 or
- 2. Substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or
- 3. New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous MND was certified as complete, shows any of the following: A) the project will have one or more significant effects not discussed in the previous MND; B) significant effect previously examined will be substantially more severe than shown in the previous MND; C) mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative; or D) mitigation measures or alternatives which are considerably different from those analyzed in the previous MND would

substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.

Summary of Significant Project Effects and Mitigation Recommended

No changes are proposed for the original MND recommended mitigations. The proposal is to authorize an existing 11,000 SF outdoor and 21,500 SF of mixed-light medical cannabis cultivation commercial operation, and minor improvements necessary to bring the operation into compliance with the CMMLUO is fully consistent with the impacts identified and adequately mitigated in the original MND. The project as conditioned to implement responsible agency recommendations, results in no significantly adverse environmental effects beyond those identified in the MND.

In reviewing the application for consistency with the adopted MND, the County Considered the following information and studies among other documents:

- On-site Wastewater Treatment Report prepared December of 2015 by Trinity Valley Consulting Engineers, Inc.
- R-2 Geologic Soils Report prepared December of 2015 by Trinity Valley Consulting Engineers, Inc.
- Archaeological Study performed by Archaeological Research and Supply in December of 2019.
- Engineered Road Evaluation Report completed by David Nicoletti in December of 2019.
- Lake and Streambed Alteration Agreement finalized
- Grading and Erosion Control Plan prepared in June 2016 by Trinity Valley Consulting Engineers, Inc.

Other CEQA Considerations

Staff suggests no changes for the revised project.

EXPLANATION OF DECISION NOT TO PREPARE A SUPPLEMENTAL MITIGATED NEGATIVE DECLARATION OR ENVIRONMENTAL IMPACT REPORT

See **Purpose** statement above.

In every impact category analyzed in this review, the projected consequences of the current project proposal are either the same or less than significantly increased than the initial project for which the MND was adopted. Based upon this review, the following findings are supported:

FINDINGS

- 1. The proposed project will permit an existing cannabis operation and bring the operation into compliance with county and state requirements intended to adequately mitigate environmental impacts.
- 2. The circumstances under which the project was approved have not changed substantially. There are no new significant environmental effects and no substantial increases in the severity of previously identified effects.
- 3. For the current proposed project, there has been no new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous MND was adopted as complete.

CONCLUSION

Based on these findings it is concluded that an Addendum to the certified MND is appropriate to address the requirements under CEQA for the current project proposal. All of the findings, mitigation requirements, and mitigation and monitoring program of the MND, remain in full force and effect on the original project.

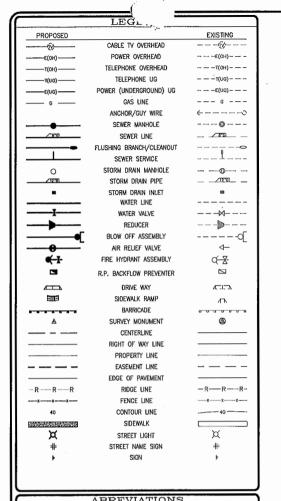
ATTACHMENT 4

Applicant's Evidence In Support of the Required Findings

Attachment 4 includes a listing of all written evidence which has been submitted by the Applicant in support of making the required findings. The following materials are on file with the Planning Division:

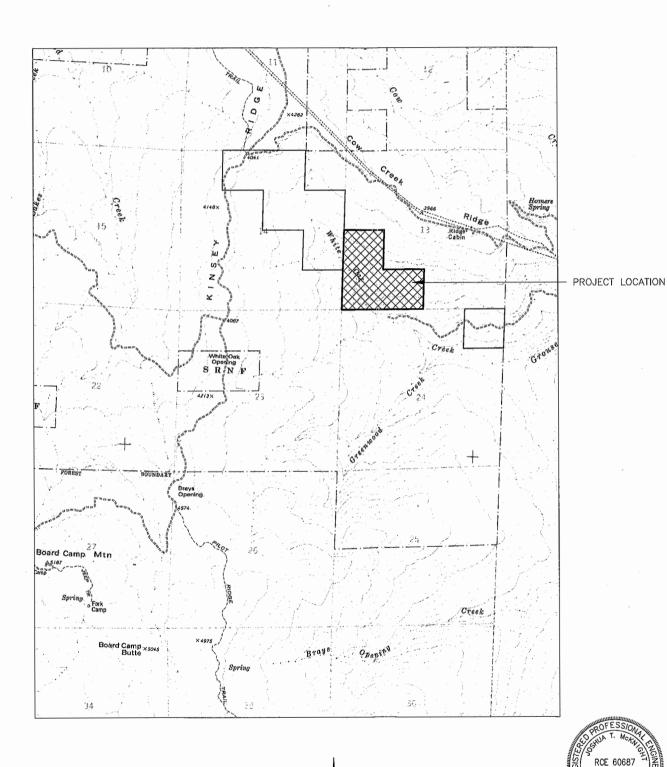
- 1. The name, contact address and phone number(s) of the Applicant. (Application form on file)
- 2. If the Applicant is not the record title owner of parcel, written consent of the owner for the application with original signature and notary acknowledgement. (On File)
- 3. Site plan showing the entire parcel, including easements, streams, springs, ponds and other surface water features, and the location and area for cultivation on the parcel with dimensions of the area for cultivation and setbacks from property lines. The site plan shall also include all areas of ground disturbance or surface water disturbance associated with cultivation activities, including: access roads, water diversions, culverts, ponds, dams, graded flats, and other related features. If the area for cultivation is within ¼ mile (1,320 ft.) of a school, school bus stop, church or other place of religious worship, public park, or Tribal Cultural Resource, the site plan shall include dimensions showing that the distance from the location of such features to the nearest point of the cultivation area is at least 600 feet. (Attached)
- 4. A cultivation and operations plan that meets or exceeds minimum legal standards for water storage, conservation and use; drainage, runoff and erosion control; watershed and habitat protection; and proper storage of fertilizers, pesticides, and other regulated products to be used on the parcel, and a description of cultivation activities (outdoor, indoor, mixed light), the approximate date(s) cannabis cultivation activities have been conducted on the parcel prior to the effective date of this ordinance, if applicable, and schedule of activities during each month of the growing and harvesting season. (See Attachment 4.A)
- 5. Copy of the statement of water diversion, or other permit, license or registration filed with the State Water Resources Control Board, Division of Water Rights, if applicable. (Well Permit Application for Well Permit No. 17/18-1785 On file)
- 6. Description of water source, storage, irrigation plan, and projected water usage. (Attached within Operations Plan)
- 7. Copy of Notice of Intent and Monitoring Self-Certification and other documents filed with the North Coast Regional Water Quality Control Board demonstrating enrollment in Tier 1, 2 or 3, North Coast Regional Water Quality Control Board Order No. 2015-0023, or any substantially equivalent rule that may be subsequently adopted by the County of Humboldt or other responsible agency. (On file)
- 8. If any on-site or off-site component of the cultivation facility, including access roads, water supply, grading or terracing impacts the bed or bank of any stream or other watercourse, a copy of the Streambed Alteration Permit obtained from the Department of Fish & Wildlife. (See Attachment 4.B)
- 9. If the parcel is zoned FR, U or TPZ, or involves the conversion of timberland as defined under section 4526 of the Public Resources Code, a copy of a less-than-3-acre conversion exemption or timberland conversion permit, approved by the California Department of Forestry and Fire Protection (CAL-FIRE). Alternately, for existing operations occupying sites created through prior unauthorized conversion of timberland, evidence may be provided showing that the landowner has completed a civil or criminal process and/or entered into a negotiated settlement with CAL-FIRE. (Not Applicable)

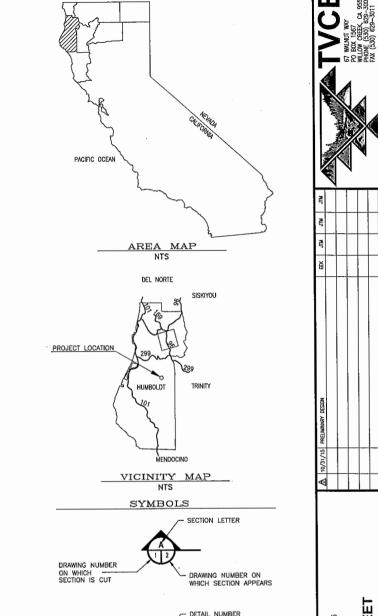
- 10. Consent for onsite inspection of the parcel by County officials at prearranged date and time in consultation with the Applicant prior to issuance of any clearance or permit, and once annually thereafter. (On file)
- 11. Acknowledge that the County reserves the right to reduce the size of the area allowed for cultivation under any clearance or permit issued in accordance with this Section in the event that environmental conditions, such as a sustained drought or low flows in the watershed will not support diversions for irrigation. (On file)
- 12. Acknowledge that the county reserves the right to engage with local Tribes before consenting to the issuance of any clearance or permit, if cultivation operations occur within an Area of Traditional Tribal Cultural Affiliation, as defined herein. This process will follow current departmental referral protocol, including engagement with the Tribe(s) through coordination with their Tribal Historic Preservation Officer (THPO) or other tribal representatives. This procedure shall be conducted similar to the protocols outlined under SB 18 (Burton) and AB 52 (Gatto), which describe "government to government" consultation, through tribal and local government officials and their designees. During this process, the tribe may request that operations associated with the clearance or permit be designed to avoid, minimize or mitigate impacts to Tribal Cultural Resources, as defined herein. Examples include, but are not limited to: conducting a site visit with the THPO or their designee to the existing or proposed cultivation site, requiring that a professional cultural resources survey be performed, or requiring that a tribal cultural monitor be retained during project-related ground disturbance within areas of sensitivity or concern. The county shall request that a records search be performed through the California Historical Resources Information System (CHRIS). (On file)
- 13. Road Evaluation Report dated December 30. 2019. (See Attachment 4.C)
- 14. DEH Worksheet (on file)
- 15. Water Resources Protection Plan prepared by Mother Earth Engineering dated May 2018. (See Attachment 4.D)
- 16. Grading and Erosion Control Plan prepared by Trinity Valley Consulting Engineers in October of 2015. (Attached)
- 17. Archaeological Study Prepared by Archaeological Research and Supply Company in December 2019. (On file)



TITLE SHEET APN; 315-093-006

FOR DEAN CRISP 427 LENTELL ROAD EUREKA, CA 95503





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	SHEET INDEX		D. 100
DRAWING #	TITLE	REVISION	DATE
TO1	TITLE SHEET	0	10/31/15
C01	PLOT PLAN	0	10/31/15
C02	GRADING PLAN - SITE #1	0	10/31/15
C03	SECTIONS AND DETAILS - SITE #1	0	10/31/15
C04	GRADING PLAN - SITE #2	0	10/31/15
C05	SECTIONS AND DETAILS - SITE #2	0	10/31/15
C06	EROSION CONTROL DETAILS	0	10/31/15
C07	SOIL REPORT RECOMMENDATIONS	0	10/31/15
1	AS-BUILT PLAN (EXISTING RESIDENCE)	0	10/31/15
2	AS-BUILT PLAN (EXISTING RESIDENCE)	0	10/31/15
2	AS-BUILT PLAN (EXISTING RESIDENCE)	0	10/31/15

- DRAWING NUMBER ON WHICH DETAIL APPEARS

TOR ALERT!

CONTRACTOR MUST CONTACT USA DIG AT 800-227-2600 AT LEAST 72 HOURS BEFORE ANY EARTHWORK OR ACTIVITIES THAT MAY IMPACT EXISTING UNDERGROUND UTILITIES.

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IS REFERENCED

EXISTING UTILITY ALIGNMENTS BOTH HORIZONTALLY AND VERTICALLY MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITIES.

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ABREVIATIONS

= ASPHALTIC CONCRETE
- AGGREGATE BASE
- ALGEBRAIC DIFFERENCE
- BEGIN CURVE
- CLEAN OUT
- CENTER LINE
- CORRUGATED METAL PIPE
- CORRUGATED METAL PIPE
- COMPACT
- DELTA
- DETAIL
- DETAIL
- DETAIL
- DETAIL
- DETAIN
- EXISTING
- END CURVE
- EXISTING GROUND
- EDGE OF PAVEMENT
- FINISH GRADE
- FIRE HYDRENT
- FLOW LINE
- GUY ANCHOR
- GATE VALVE
- HANDICAPPED
- HIGH DENSITY POLYETHYLENE PIPE
- INVERT

D DET DRN VED VEC SEG EP FF FG HDPE INV (INT - X)

K LAT LD. LF. LF. LT. MAS. MI MSE (N) NTS O.C. PG&E

INVERT
INTERSECTION
SIGHT DISTANCE
LATERAL
LOCAL DEPRESSION
LINEAR FEET
SEWER LEACH FIELD
LEFT
MASONRY
MILES
MILES
MICHANICALLY STABILIZED EARTH
NEW

NEW
NOT TO SCALE
ON CENTER
PACIFIC GAS & ELECTRIC

= ON CENTER
= PACIFIC GAS & ELECTRIC
= PROPOSED
= POWER POLE
= POINT OF REVERSE CURVE
= POINT
= POINT OF VERTICAL INTERSECTION
= PRIVATE
= RIGHT
= RETERN
= SET BACK
= STORM DRAIN MAN HOLE
= SHEET
= STORM DRAIN
= STATION
= STAT

= TYPICAL = UNDERGROUND

TVCE TW

= WATER = WATER VALVE

LOCATION MAP

TRINITY VALLEY CONSULTING ENGINEERS D

SHEET

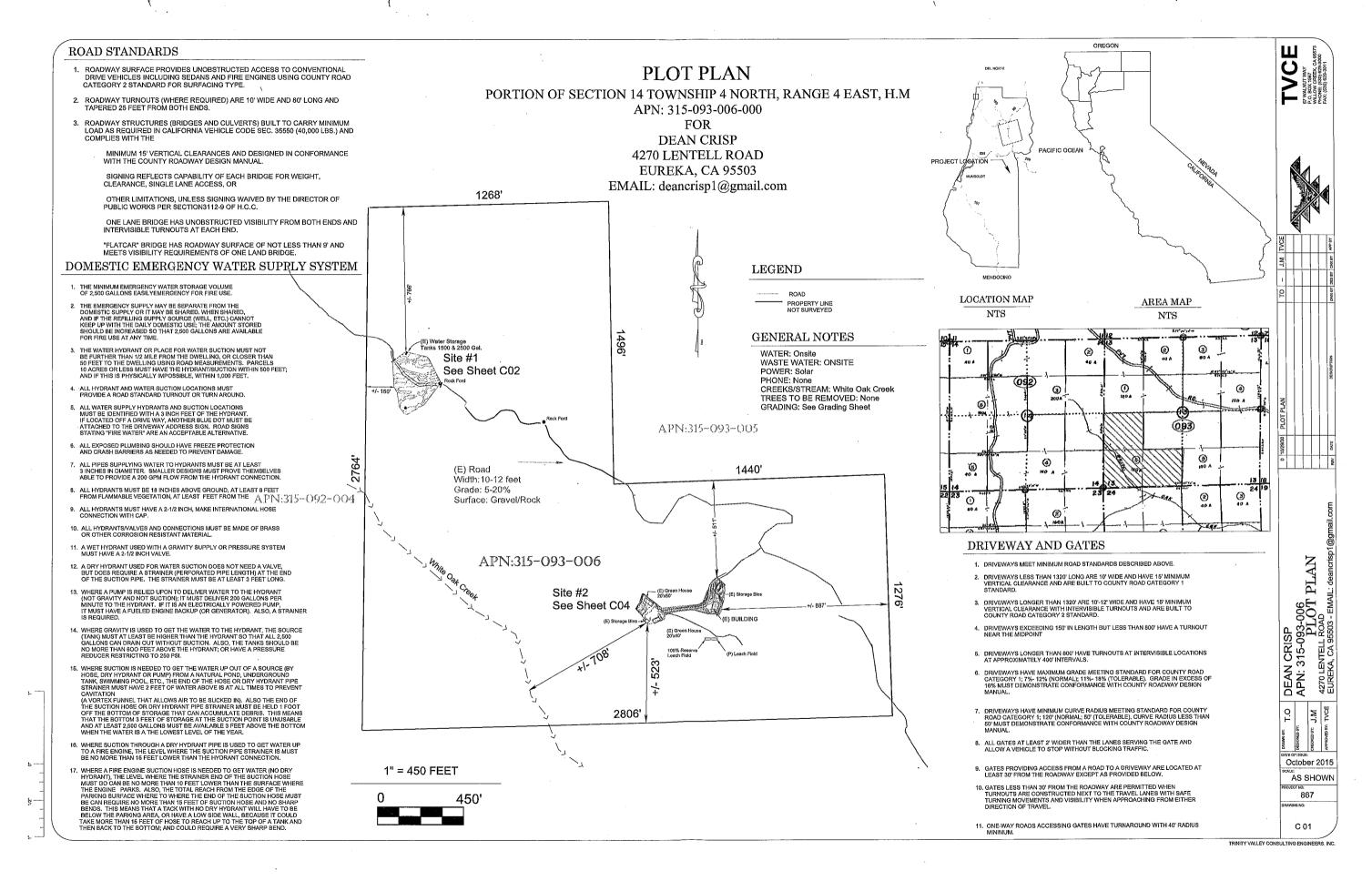
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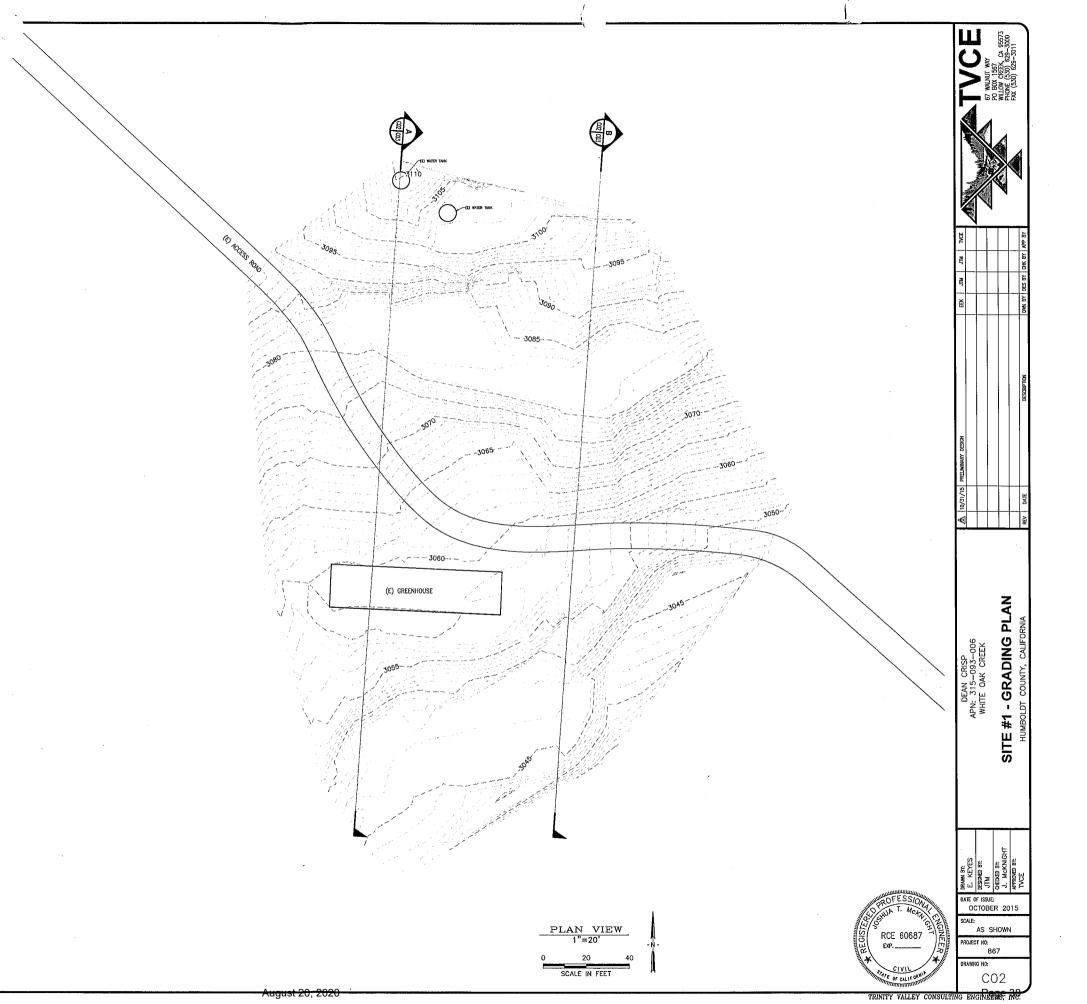
TO1



- ALL EARTHWORK, INCLUDING BUT NOT LIMITED TO, SITE CLEARING, GRUBBING, STRIPPING, AND GRADING WILL BE CONDUCTED DURING DRY WEATHER CONDITIONS. (TYPICALLY APRIL 15 TO OCTOBER 15)
- STRIP AND REMOVE ALL TOPSOIL AND VEGETATION FROM THE PROJECT AREA, AND FOR A MINIMUM OF THREE FEET TO THE OUTSIDE OF THE WORKING AREA.
- ANY UNDOCUMENTED FILL SOILS, FINE-GRAINED RESIDUAL SOILS, AND ANY OTHER DEBRIS ENCOUNTERED AT OR BELOW THE EXISTING GROUND SURFACE SHALL BE REMOVED AT THE LOCATIONS RECEIVING ANY POTENTIAL FILLS.
- THE SITE SHOULD BE GRADED TO PROVIDE ADEQUATE DRAINAGE SUCH THAT NO WATER IS ALLOWED TO POND ANYWHERE ON THE SITE OR MIGRATE BENEATH FUTURE DEVELOPMENTS.
- ALL FILL MATERIAL SHALL BE PLACED IN HORIZONTAL LIFTS NOT TO EXCEED EIGHT INCHES (8") IN DEPTH AND SHALL BE COMPACTED MECHANICALLY.
- ALL FILL MATERIAL SHALL BE FREE OF ORGANICS, ROCKS LARGER THAN $3^{\prime\prime}\text{Ø},$ WOODY DEBRIS, ROOTS, AND INORGANIC MATERIAL.
- ALL FILL MATERIAL SHALL HAVE A UNIFORM MOISTURE CONTENT AT OR NEAR OPTIMUM MOISTURE CONTENT AS DETERMINED BY TESTING AND APPROVED BY THE ENGINEER.
- NON-STRUCTURAL FILL SHALL BE COMPACTED MECHANICALLY TO A FIRM UNYIELDING SURFACE AS APPROVED BY THE ENGINEER.
- COMPACTION TESTING WILL BE DETERMINED AT THE ENGINEER'S DISCRETION.
- IT IS RECOMMENDED THAT ANY MATERIAL PROPOSED FOR STRUCTURAL FILL MATERIAL TO SUPPORT ANY FOUNDATIONS OR STRUCTURAL BUILDING ELEMENT AND ASSOCIATED UTILITIES BE COMPACTED AS OUTLINED IN THE SOILS REPORT.
- ALL FIII SLOPES SHALL BE TO A SMOOTH AND EVEN GRADE, SHALL BE SURFACE TRACKWALKED, AND FINAL GRADES NOT TO EXCEED 1.5:1 (h:v).
- 12. SUFFICIENT TESTING AND INSPECTION SHOULD BE PERFORMED TO MONITOR THE SUITABILITY OF FILL MATERIALS AND ASSURE COMPLIANCE WITH THE RECOMMENDED COMPACTION STANDARDS.
- ENGINEER TO PROVIDE CERTIFICATION OF EXISTING FILL, BOTH STRUCTURAL AND NON-STRUCTURAL FILL, THAT IT MEETS THE REQUIRED COMPACTION STANDARDS.

CLEARING, GRUBBING, & DEMOLITION NOTES:

- TREES SCHEDULED TO BE REMOVED SHALL BE REMOVED COMPLETELY INCLUDING STUMPS, ROOTS, BRANCHES, WOODY DEBRIS, BARK, AND FLESH. TREES SHALL BE REMOVED FROM THE SITE AND DEPOSITED IN LOCATIONS DESIGNATED BY THE OWNER.
- 2. VEGETATION AND WOODY DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A MANNER CONSISTENT WITH APPLICABLE LAWS AND REGULATIONS.
- ALL GENERATED AND ACCUMULATED CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A MANNER CONSISTENT WITH APPLICABLE LAWS AND REGULATIONS.
- ALL AREAS WITH GENERATED VOIDS FROM DEMOLITION ACTIVITIES SHALL BE BACKFILLED WITH NATIVE SOIL TO FINISH GRADE IN 1' MAXIMUM VERTICAL LIFTS SUFFICIENTLY COMPACTED TO ELIMINATE SUBSIDERATE.
- 5. DUST CONTROL SHALL BE MAINTAINED DURING DEMOLITION PRACTICES.
- TRACKING OF MATERIAL FROM THE SITE ONTO EXISTING ROADWAYS WILL NOT BE TOLERATED. TEMPORARY CONSTRUCTION SITE ENTRANCES SHOULD BE BUILT AT POINTS OF INTERSECTION TO EXISTING ROADWAYS AND PRACTICES SHOULD BE IMPLEMENTED TO REMOVE CONSTRUCTION MATTER FROM VEHICLES AND EQUIPMENT PRIOR TO LEAVING THE CONSTRUCTION SITE.
- EROSION CONTROL MEASURES SHALL BE IMPLEMENTED FOR THE SITE AS SOON AS PRACTICAL AND SHALL BE IN PLACE PRIOR TO EXECUTION OF MAJOR DEMOLITION OPERATIONS.

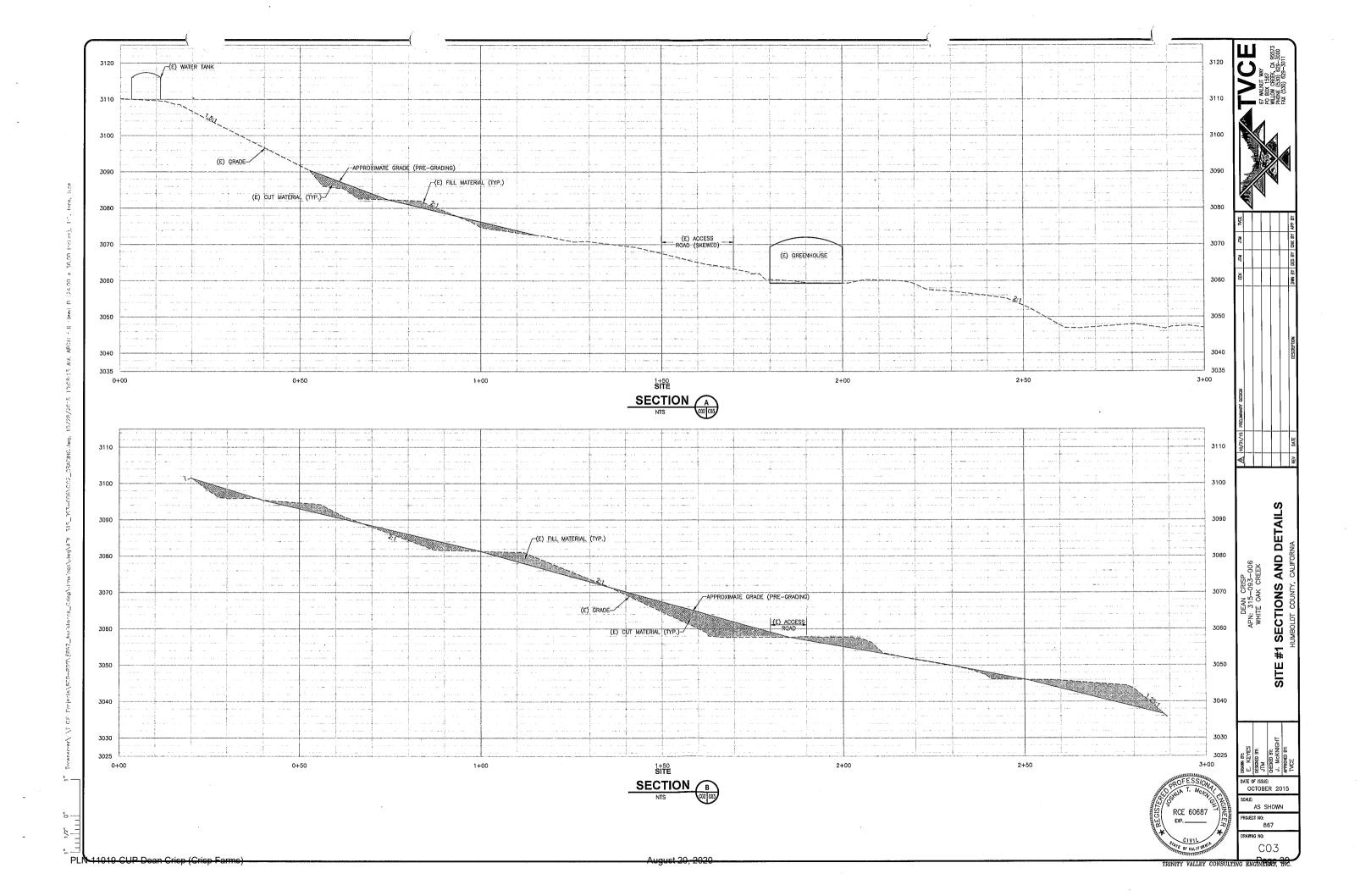


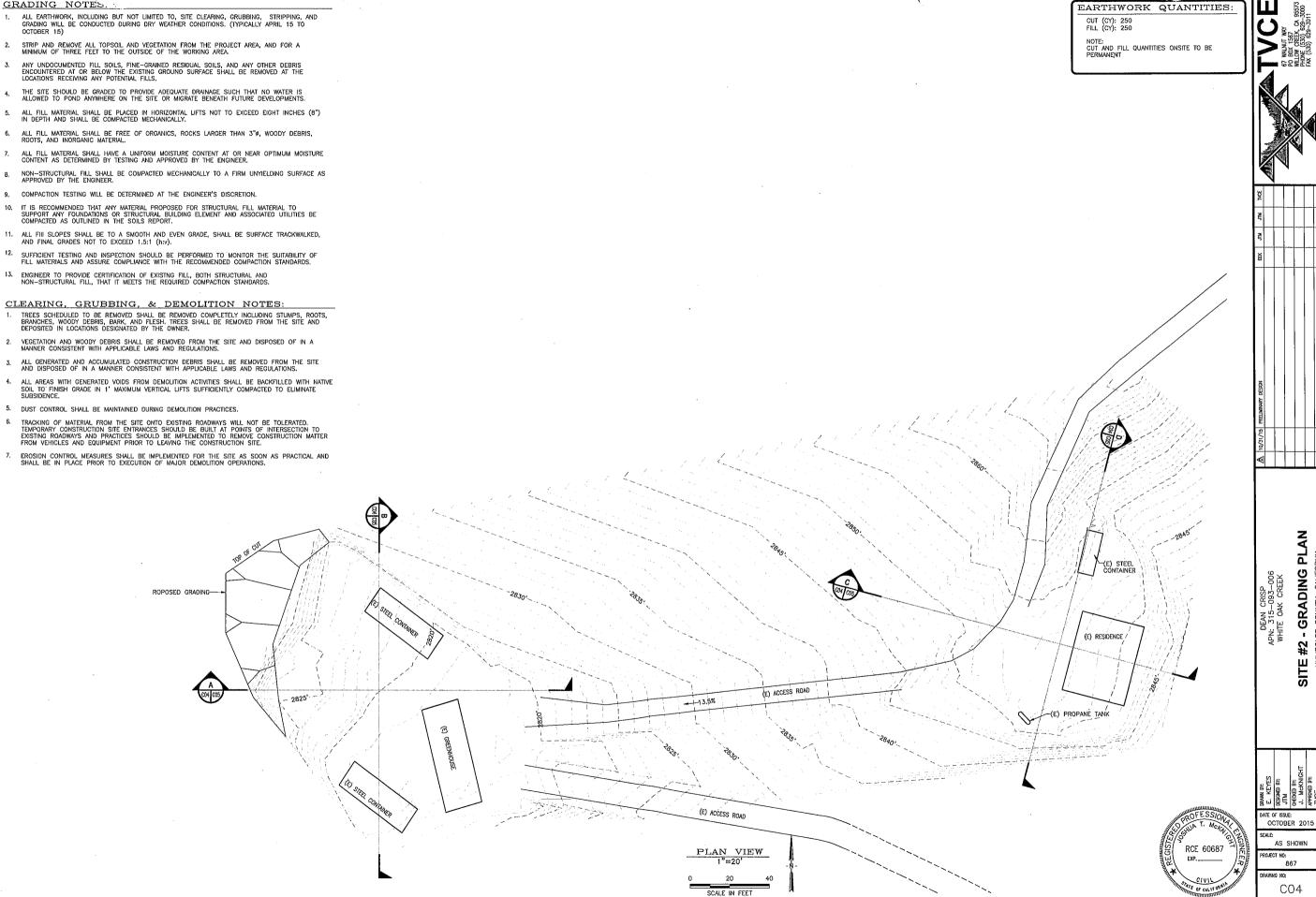
EARTHWORK QUANTITIES:

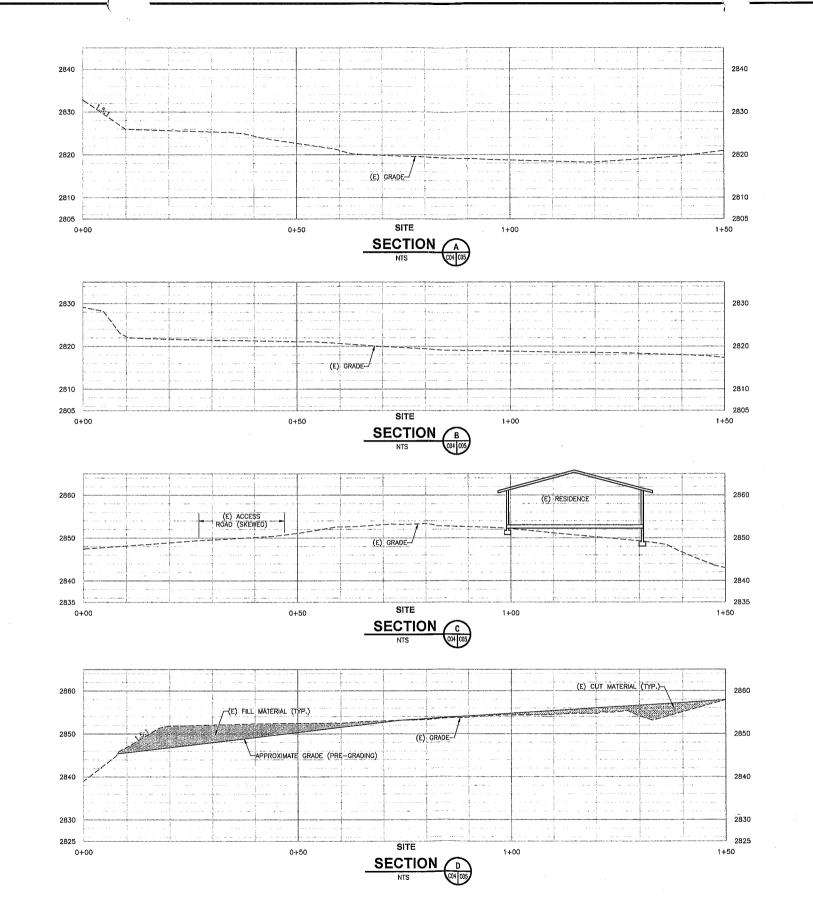
CUT (CY): 700

FILL (CY): 700

NOTE: CUT AND FILL QUANTITIES ONSITE TO BE PERMANENT









DEAN CRISP
APN: 315-093-006
WHITE OAK CREEK
SITE #2 SECTIONS AND DETAILS

BOOK BY:

E. KEPES

E. KEPES

TIM

GEORGE BY:

J. McKNIGHT

APPROVE BY:

J. McKNIGHT

APPROVE BY:

J. McKNIGHT

APPROVE BY:

J. McKNIGHT

APPROVE BY:

DATE OF ISSUE:
OCTOBER 2015
SCALE;

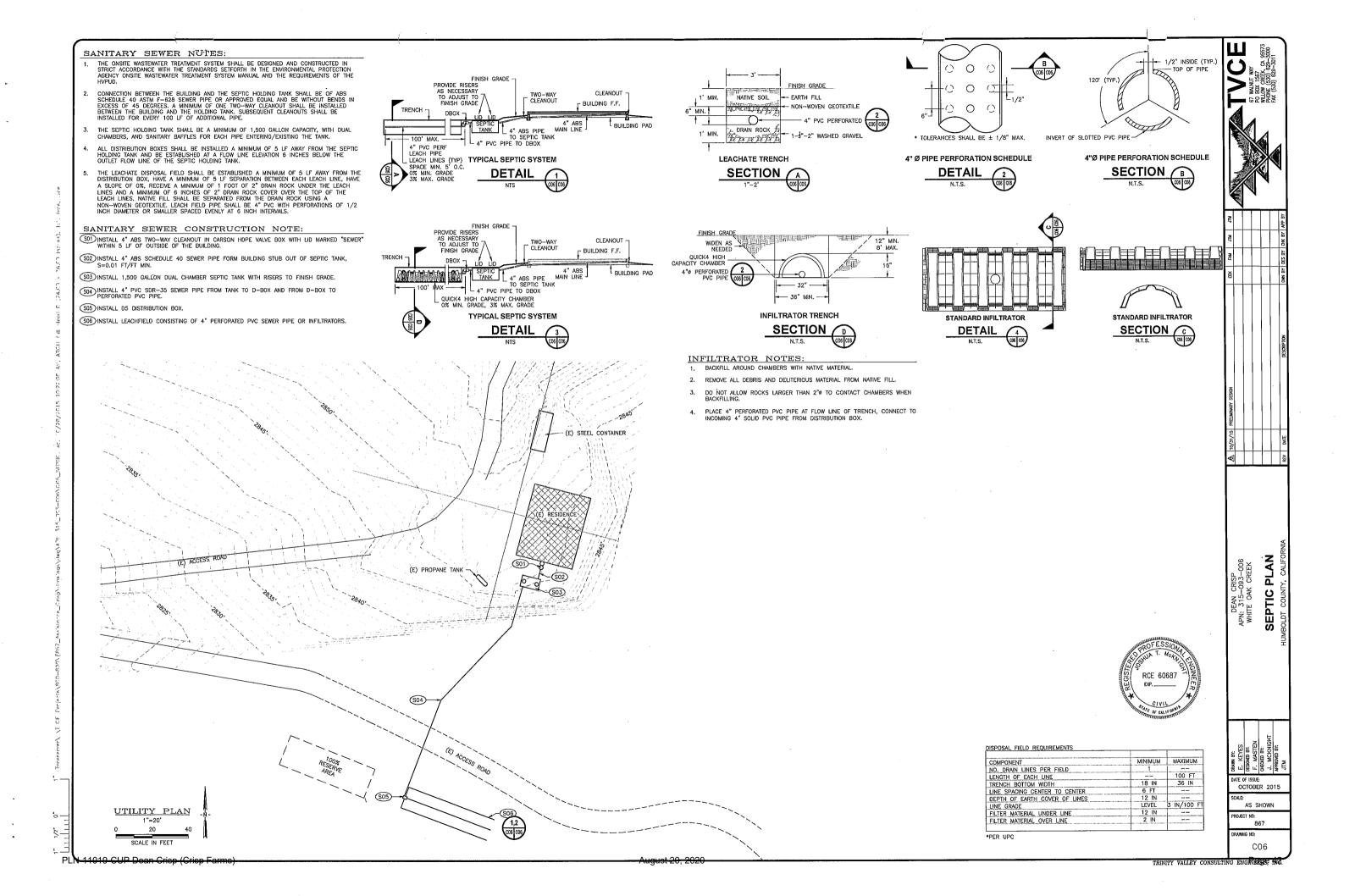
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867
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The Bald Mountain-Big Lagoon fault passes within 7.8 miles of the project site to the west. The site does not lie within an Alquist-Priolo zone.

The following coefficients shall be used for seismic design (See Attachment 4 for USGS

Site Class	D
Mapped Spectral Response Acceleration (short), Ss:	1,500 g
Mapped Spectral Response Acceleration (1-sec), S1:	0.686 g
Site Coefficient, Fa:	1.0
Site Coefficient, Fv:	1.3
Acceleration Spectral Response (short), Sps:	1.000 g
Acceleration Spectral Response (1-sec), Spi:	0.594 g
Seismic Design Category:	D _
Occupancy Category:	II
Importance Factor:	1.0

The project site is listed to be in an area that is highly instable by the County of

Based on the location and geographical setting, the project site lies outside any flood

Due to the site soils, depth to groundwater, and distance to the nearest known quaternary fault, the potential for liquefaction, surface rupture, soil strength loss, or faulting at this site is Low, and no special mitigation hazards are necessary.

No surficial, subsurface or seismic conditions were encountered at the project parcel that would signal immediate action from an engineering standpoint.

The following recommendations are general recommendations for any future grading activities to be performed:

Site Preparation

· All earthwork, including but not limited to, site clearing, grubbing, and stripping should be conducted during dry weather conditions, generally mid-April through mid-October

material (per Caltrans), or an approved equivalent, to act as a capillary moisture

To reduce the possibility of moisture migration through any floor slab-on-grade, a

 The difference, if any, between the 6 inches of select fill and sand under the slab and the depth to firm undisturbed native soil may be made up with additional select fill of engineered fill that is placed as specified in the Structural Fill section

Site-specific erosion/sediment control and stabilization recommendations are presented in the bulleted list below. As used herein, exposed soil areas and disturbed areas include all

Storm water erosion and pollution prevention measures should be taken as soon as

· Revegetate all disturbed areas immediately by seeding with Caltrans erosion control

To protect against erosion, heavily mulch all exposed soil areas with straw, or an approved alternate material.

· Cover any soil stockpiles with 6-mil (min) plastic sheeting, securely anchored to prevent wind disturbance.

Native gravel-surfaced roadways where vehicle traffic may occur; should be

Poke the straw mulch into the upper 2 inches of the soil to limit loss of straw.

Drive and park vehicles only on gravel-paved areas during wet weather. Monitor the site before and after runoff-generating rainfall events to verify suitable and appropriate functioning of all erosion-control measures.

Promptly repair all erosion-control measures as needed.

Stake straw wattles parallel to slope contours into any side cast tills. . Install silt fencing at toes of any new side cast fill slopes.

Humboldt County Erosion Control Standards should be viewed as minimum standards

grading and excavation work performed in connection with the proposed project.

possible prior to the onset of the winter rains.

for crosion and sediment control at this site.

mix (or equivalent).

maintained in good condition,

minimum 6 mil plastic membrane (vapor retarder) should be placed on the prepared of Class 1, Type A gravel subgrade; Care should be taken during construction to protect the plastic membrane against punctures. To protect the membrane during steel and concrete placement, and to provide for a better concrete finish, cover the membrane within at least 1 inch of

break, 6 mil visqueen and 1 inch of sand as described below;



R2 SOILS REPORT

· Strip and remove all topsoil and vegetation from the project area, and for a minimum of three feet to the outside of the working area

Any undocumented fill soils, fine-grained residual soils, and any other debris

encountered at or below the existing ground surface shall be removed at the locations receiving any potential fills

Grading

Grading must meet compliance with the County of Humboldt grading ordinance and

Compaction Standards

Fills shall be compacted in 8-inch loose lifts with clean native materials at ontimum moisture content as determined by testing and approved by the engineer. Non-structural fills shall be compacted to a firm unyielding surface as approved by engineer.

It is recommended that any materials proposed for structural fill material to support any foundations or structural building elements, and associated utilities be compacted as

Fill Placement Location	Compaction Recommendations (ASTM D 1557-Modified Proctor)	Moisture Content (Purcest Oplimum)
Structural fill supporting footings	90%	-1 to +3 percent
Structural fill supporting slabs-on-grade	90%	-1 to +3 percent
Structural fill placed within 3 feet beyond the perimeter of the building and	90%	+1 to +3 percent
Utility treaches within building and any payement areas	9596	-1 to 13 percent
Dillity trenches beneath landscape and grass	90%	-1 to +3 percent

- · Fills shall be constructed as controlled and compacted engineered fills and fillslopes graded to no steeper than 1.5:1 (h:v).
- . Fills should be free of: 1) organics, 2) rocks larger than 3-inches in diameter, and
- · Fill material should be placed in loose lifts no more than 8-inches thick, at uniform moisture content at or near optimum, and compacted mechanicall
- Sufficient testing and inspection should be performed to monitor the suitability of fill materials and assure compliance with the recommended compaction standards.



Limitations

This report, recommendations, and conclusions are solely intended for the site discussed above. The information contained in this report is only intended for use at the stated site using the stated uses. This report should not be used as justification for any other project or site, and only be used for information purposes if referenced and reviewed for other projects, TVCE recognize that the site is in a dynamically active area and conditions can and will change. TVCE has used the best professional judgment to assess the present and future risks and assist the landowner in proposing development that does not increase the risk to the resources present in the project area or subject the landowner to untenable hazards. If conditions different from those described in this report are encountered during construction, the project engineer/builder/owner should contact this office to review the new conditions and evaluate their bearing on the validity of any recommendation

The opinions presented herein have been developed using a degree of care and skill ordinarily exercised, under similar circumstances, by reputable civil engineers and geologists practicing in this or similar localities. No other warranty, expressed or implied, is made as to the professional advice included in this report.

The analyses and recommendations contained in this reports are based on the data obtained from subsurface exploration. The methods used indicate subsurface conditions only at the specific locations where soils were observed, and only to the depths penetrated, and cannot always be relied on to accurately reflect stratigraphic heterogeneity that commonly exist between sampling locations.

Do not apply any of this report's conclusions or recommendations if the nature, design, or bother apply any class reports conclusions or recommendations in the nature, easign, or location of the project changes. If changes are contemplated, the author of this report should be consulted to review the impact on the applicability of the recommendations in this report. The author of this report is not responsible for any claims, damages, or liability associated with any other party's interpretation or the subsurface data or reuse this report for other projects or at other locations without written consent.

Please contact TVCE at (530) 629-3000 if any questions may arise.

Joshua T. McKnight Certified Professional Engineer, P.E. No. 60687 Christian Figueron Project Geologist

R2 SOILS REPORT

Aggregate base material may be used for pavement subgrade, placed beneath footings or floor slabs, or used as trench backfill. This material should meet the ents in the Caltrans Standard Specifications for Class 2 Aggregate Base

Drainage and Landscaping

The site should be graded to provide drainage such that no water is allowed to: 1) pond any anomous or graded to provide grainage such that no water is allowed to: 1) pond anywhere on the site, 2) migrate beneath the proposed developments, or 3) pond at the base of cuts.

Foundational Design Recommendations

No specific foundation plan has been provided to TVCE. All foundations should be constructed of reinforced concrete. The following foundation recommendations assume both a one-story and two-story structure will be constructed on this site. In our opinion, the proposed structure(s) can be supported by a mat slab or a stiffened slab on grade with continuous concrete perimeter footings in combination with isolated interior spread footings. A foundation of this type is suitable for site conditions provided that it is constructed in accordance with our recommendations and specifications, and designed to meet the standards of the 2013 CBC.

- A foundation system for this site should be rigid to limit potential structural damage due to differential settlement. Foundations are not anticipated to be located in areas of undocumented fill soils, however there is a possibility that unobserved, undocumented fills could exist on the site:
- If necessary to mitigate undocumented fill soils, excavate and replace with suitable engineered fill, placed and compacted as recommended. Alternately, footings may be built on controlled low strength material (CLSM, e.g. concrets slurry) backfilled footing trenches, excavated into the bearing soil indicated in this
- Foundations should be embedded a minimum of 12 inches into suitably dense, undisturbed native bearing soils. Based on the soil profile observed in the building footprint, the base of footings should therefore be approximately 18 inches below xisting grade, at minimum;
- Minimum width of footings should be 18 inches for bearing members, and the minimum thickness should be 8 inches, per CBC Section 1809.7.

Floor Slab Design:

· The stiffened concrete floor slab-on-grade or mat slab should have a minimum thickness as specified by the engineer, and should be reinforced and underlain by at least 8 inches of compacted select fill consisting of Class I, Type A permeable



P2 SON S REPORT

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RECOMMENDATIONS

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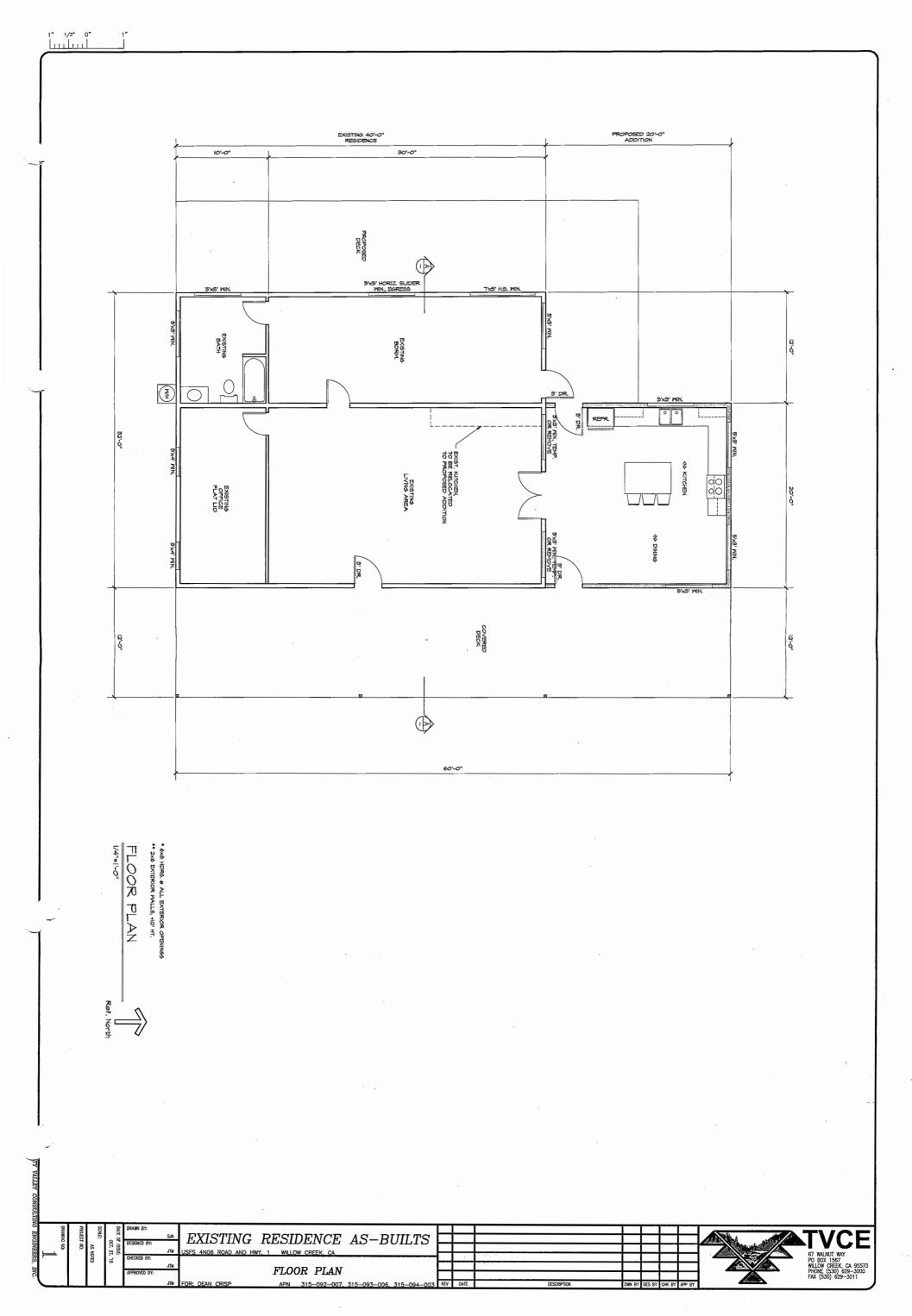
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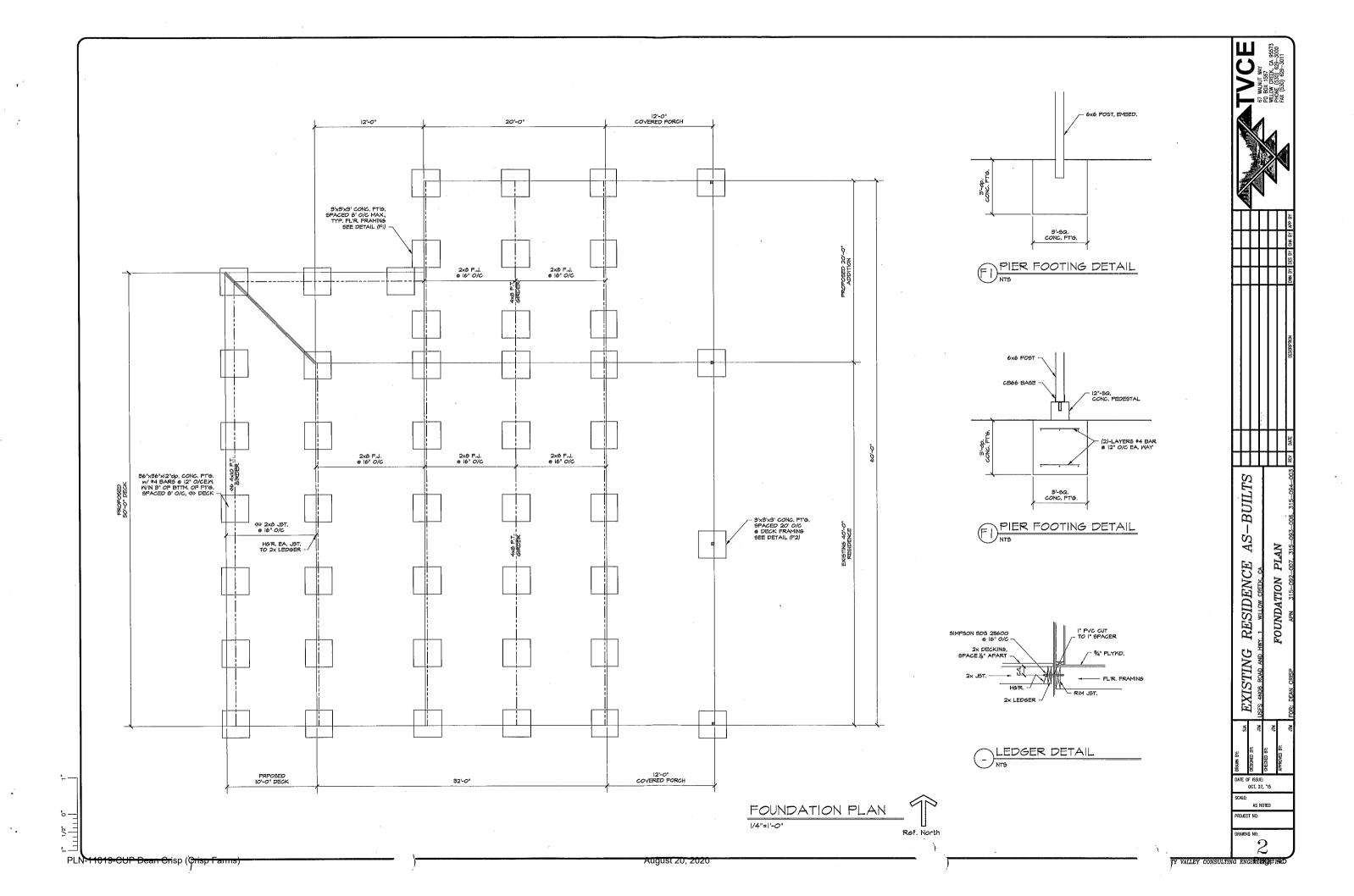
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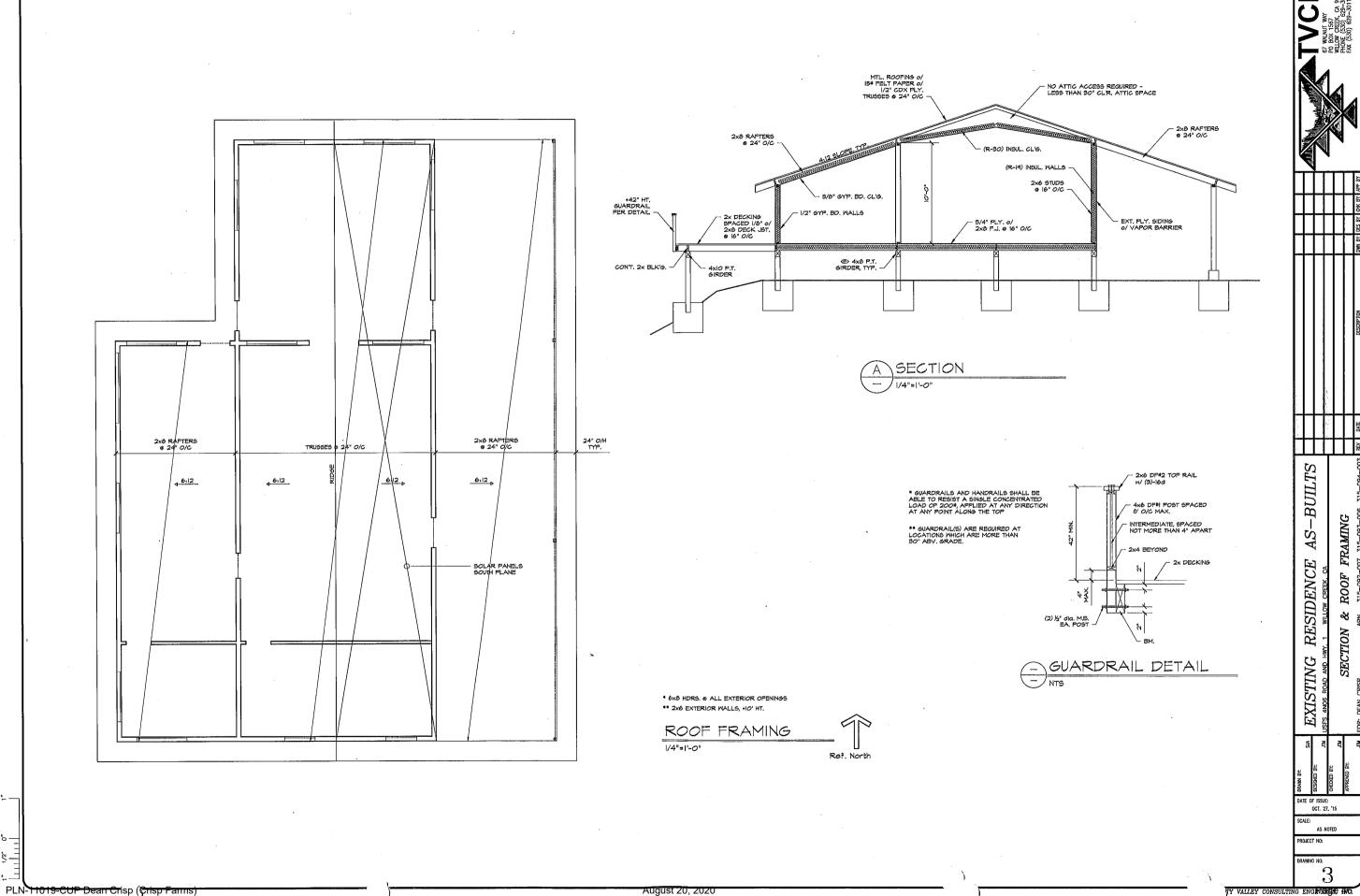
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R2 SOILS REPORT

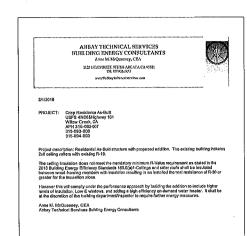
10 CLID Do







° – 1/2





As por section 4.7.7 of the 2013 Building Energy Efficiency Standards Residential Compiliance Manual:

The Certificate of Compilence: Residential CF-1R under HVAC Distr Verification does not apply.

Anne M. McQueeney, CEA

GENERAL IN	FORMATION					
01	Project Name	Hesidence As Burt				
02	Calculation Description	Tito 24 Anthysis	***************************************			
03	Project Excetten	USFS 4NOSSHWY1				
04	Dhy	YAliow Creek	05		Standards Version	
06	Zip Code		07	Cor		BEMCmpMgr 2013-4 (744)
Q8	Climate Zone		09		Soliware Version	ErergyPro 8.5
10	Building Type		11		Orientation (deg Cardinal)	190
12	Project Scope	ficwly Constituted	13		Number of Dwelling Units	1
14	Total Gond. Floor Area (IL ²)	1690	15		Number of Zones	1
15	Slab Area (R2)	0	17		Number of Stories	1
15	Addition Cond. Floor Area	N/A	19		Natural Gas Available	tio
20	Addition Stab Area (IL ²)	R'A	21		Glazing Percentage (%)	13.0%
02		ures that require field sealing and or more Special Feolures ahown	oelow	o certified HERS r	atel under the supervision	of a CEC-approved HERS provider.
		or more Special Feolures whown	welse			of a CEC-approved HERB provider.
	This building incorporates one	or mane Special Features shown	oelow	TARY		
	This building incorporates one	or more Special Feotures shown	ERCY USE SUMA	MARY 08	97	ca
	This building incorporates one O4 Energy Use (KTDVIII*-yr)	or more Special Feolures shown EN 05 Stendard Design	ERGY USE SUMA	TARY CB Sed Design	07 Compliance Margh	ca s Percent kaprova ment
	This building incorporates one 04 Energy Use (KTDWIC*-yr) Space Healing	or more Special Features shown EN 95 Stendard Design 51.73	ERGY USE SUMA	CARY 08 1840 Design 52:31	07 Compliante Margi	CB Percent lasprovement -1.1%
	This building incorporates one O4 Energy Use (KTDVIII*, yr) Space Healing Space Cading	or more Special Features sharen EN 05 Stendard Design 51.73 7.84	ERGY USE SUMA	CARY 08 1840 Design 52:31	07 Compliance Margh -0.58 -13.92	CB Percent lasprovement -1.1% -173.0%
	This building incorporates one Of Energy Use (XTDWIT ¹ -yr) Space Healing Space Ceeling (AG Vernitation	cr more Special Features shown EN 05 Standard Design 51.73 7.64 0.83	ERGY USE SUMA Prope	IARY 08 194d Design 52:31 20:86 0.68	07 Compliance Margin -0.58 -13.92 -0.09	00 Percent ingress mixel 1-15% -173.0% -0.0%
	This building incorporates one OH Energy Use (XTDVII ¹ -yr) Space Healing Space Cooling IAQ Yendalion Write Healing	Ce more Special Features shown EN 05 Stendard Design 51.73 7.64 0.99 41.13	ERGY USE SUMA Prope	EARLY 08 1944 Design 52,31 20,88 0.08	07 Compliance Margin -0.58 -13 82 -0.00 -0.00	08 4 Percent Improve that 1-175% -172.0%
	This building incorporates one Of Energy Use (XTDV/II ¹ -yr) Space Healing Space Cooling IAG Ventilation What Healing	Ce more Special Feolures shown EN 65 Stendard Debign 51,73 764 0 58 4.15	ERGY USE SUMM. Fropt	tARY 08 said Design 52.31 20.86 0.08 25.50 0.09	07 Compliance Margin -0.58 -13 22 -0.00 -15.63 -0.00	00 0 Percent ingress mixel 1.15% 1.72,0% 0.0% 30.0%
	This building incorporates one OH Energy Use (XTDVII ¹ -yr) Space Healing Space Cooling IAQ Yendalion Write Healing	Ce more Special Features shown EN 05 Stendard Design 51.73 7.64 0.99 41.13	ERGY USE SUMM. Fropt	EARLY 08 1944 Design 52,31 20,88 0.08	07 Compliance Margin -0.58 -13 82 -0.00 -0.00	08 4 Percent Improve that 1-175% -172.0%

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD		CF1R-PRI
Project Name: Residence As Built Calculation Date/Time: 09:29, Wed, Feb 03, 2		Page 2
Calculation Description: Title 24 Analysis Input File Name: 16014 Residence as Bull-1,	i,ami	
REQUIRED SPECIAL FEATURES		
The following are features that must be installed as condition for meeting the modeled energy portormance for this computes analysis.		
Cathedral Ceiling Cating has high level of insulation		
HERS FEATURE SUMMARY		
The following is a summary of the features that must be field-verified by a conflid HERS Rater as a condition for meeting the monaided energy profound for the building comparance strips below.	venance for this comput	ter analysis. Additional det
IAQ mechanical ventilation		
Cooking Sprian Variation (Inc.) William Strate (Inc.) Sprian Variation (Inc.) **Doct Sending Herr Spriane Variations	and Duskins Building (E4 1 accounting for the cor Margin 1.83	carry Budget) and the zero. next TD4 array offers by a Percent emptowement 1,1%
Cooling Signar's Validation: Wild Distriction Service Validations: 1 - Docts Service 1	Margin	Percent Improvement
Cooking Sprian Variationizaries (March Direction Sprian Variationizaries (March Land Cooking Sprian Variationizaries (March La	Margin	Percent Improvement
Consider Sprian Variation (Constitution Constitution Cons	Margin 1.83	Percent Interpretation In a Percent Interpretation
Cooking Sprian Yorkinstellories Wild Distriction for Spriane Workinstellories - book Sending Herr Pysteen Workin	Margin 1.53 05 Number of Ventilialis	Percent Interpretation In a Percent Interpretation
Cooking Sprian Varietication: Wild Distriction Sprian Varietications: **Dock Service Wild Conference on Conferen	Margin 1.83 05 Number of Versidalis Cocing Systems	Percent Internal Inte
Cooking Sprian Variation Price	Margin 1.83 05 Number of Versidalis Cocing Systems	Percent Internal Inte
Cooking Sprian Verifications: Will Confidence of Confiden	Margin 1.83 08 Number of Ventilialis Cecling Systems	Percent emptowerent to the second emptoweren

OPAQUE SURFACES												
01	1	02		03		04	05	Ι.	09	07		08
Hame		Zone		Constru	ection	Azlmuth	Orientatio	n Gro	es Area (II')	Window & Dog	r Aron (It ²)	Till (deg)
Front		Residence		R-19 V	##I	150	Fiorit	\Box	313	49		00
Left		Recidence		R-101	AlaT	270	Lot		240	85		90
Let@Addition		Residence		R-191	Wall	270	Left		200	35		90
Back	****	Residence		R-191	Wet .	0	Back		96	4		80
Back@Addition		Healdence		P(-19.1	West	0	Back		217	50		90
Right		Rosidense		Fl 191		90	Flight		400	20		90
Right@Addison		Residence		R-101		90	Pight		800	35		60
Roof R-00 w/ Flat Atti	0	Rasidance		R-20 Floof At					200			
Roof R-30 w/Altic/Russ	٧ .	Rusidence		R-30 Roof At					304			
Roof R-30 w/Arhs (Tru		Residence		FI-30 Roof At					304			
First Ft-38 w/Atto (fru		Residence		H-39 Roof Ar					203			
Roof R-39 w/Assc (Trus	s 2	Pasiderca		R-35 Hoof At					203			
Raised Floor w/Craw		Residence		R 19 Floor Cra			18		1280			
Raised Floor w/Crawl	2	Residence	1 4	FI-19 Floor Cra			1:53	ـــاــٰــٰ	460	L		
OFAQUE SURFACES - Co	the deal California			13.73	*: 1			14				
61	02	T	03	T 64	65		06	07	08	66	10	111
Nemo	Zone		Туре	Orientatio	Area (h²)	Skylight Arte (112)	Roof Riso (x in 12)	Reaf Pitch	Flood Tilk (dog)	Roof Reflectance	Roaf Emitance	Frants
Foot R-19 w Rater	Residence	B-19 Bo	of we Haller 2ch 2	Left	506	0	4	0.33	18.43	0.3	0.85	0.07
ATTIC									06	67		98
ot	02		03		04		0S	L		Rediant Barri		el Boof
Name	Constructi		Турс		Real A		Reflectance 0.1		Emittence ò iss	No.		No No
Age Rusidancu	Alto Reofficial	deixe	Vertib	63	1.6705)¹	9.1	_	0.63	. 199		NO.

NDOWS										
01	02		67	C4	05	04	07	CS .	69	10
Name	Туре	Surle	(Orientation-Azimutia)	Width (ft)	Height (II)	Mulifipli er	Area (k²)	U-fector	внас	Exterior Shading
3049	Window		Front (Front-160)	~		1 1	12.0	0.58	0.85	Insact Screen (delaut)
35/02	Window		Frant (Frant-160)	****		1	12.0	0.59	0.65	forect Streen (dutuit)
5050	Window		Front (Front-160)				25.0	0.59	0.65	Insect Screen (detault)
5050 2	Window		Left (Left-270)			1	25.0	0.59	0.65	insect Screen (datault)
5050 3	Window		Left (Left-270)		****		25.0	0.59	0.65	Indecil Screen (default)
7050 -	Window		Laft (Left-270)	4-14	****	-	35.0	0.59	0.03	Insect Screen (detaut)
5033	Window	Lo	NS Addition (Lett 270)				15,0	0.30	0,30	insect Screen (default)
5050 4	Whidow		Bark (Back-6)			1	25.0	0.68	0.85	Insect Screen (dated))
50002	Window	· Br	ck@Acidiskm (Barck-0)			1	15.0	0.33	0.30	Insect Screen (default)
50'30 3	Whatew	e.	rk@Addition (Back-0)		***		15.0	0.30	0.50	Insect Screen (dulyalt)
5030 4	Window	Rg	htsbAdotton (Right-90)	***	****	1	15.0	9.33	0.00	Insect Screen (delaut)
KOR5			7	14 4						
	01	6. 5	5, 4,175, 7	02 3	10	1.1	<u> </u>	63		04
	Name	1.45	Sign 13 - Sign	s of Building	170		: 2	Area (U-factor
	Dow		u	ngAsilan				20.0		0.50
	Door 2			Back				20.0		0.50
	Door 3			Right				20.0		0.50
	Door 4		Rk	hi@Addition				20.0		0.60

					,	,	
01	62	01	64	05 Total Cavity	96 Winter Deelan		07
Construction Name	Surface Type	Construction Type	Framing	R-value	U-value		mbly Leyers
Attic Rnollftraldance	Atja Roofs	Wood Framed Calling	2x4 Top Chard of Roof Trass (\$\text{\$\pi\$} 24 fn. C.C.	none	0.614	· Roof Deck: Wood	p knost. / 2x4 Tep Chrd I Skifngahemhing blecking of (Asphali Shingle)
JR-QO Recof Artis 2x 24 ec	Cellings (oclow site)	Wood Framed Ceiling	2x4 @ 24 m. O.C.	Ann	0.032	Inside Florali: Gyp Gerity / Frame: R Over Floor Joses.	9.17244
H-19 Flool willotler 2x6 24	Cathedral Collings	Wood Framed Celling	2:6 @ 24 in. O.G.	A 19	0.052	Inside Pissoh; Gyg Cavily / Frame: R Hool Dack: Wecu Hooling: Light Re	osum Bosrd - 19 / 2x8 I Skitng sheretring decking al (Asphalt Shingle)
11-38 Roof Attic 2x 24 cq	Ceilings (below altio)	Wood Framed Celling	2x4 @ 24 in. O.C.	H 38	0.025	 inside Finish: Oys Cavity / Frame: R Oyar Floor Joists 	9.17294
R-19 Wali	Extorior Wols	Wood Framed War	266 @ 16 in. O.O.	R 10	0.069	Inside Finish: Gyp Cavity / Frame: H Exterior Finish: N Steingrahmathing	1972x8 God
R-19 Floor Crow/space 2x8	Floors Over Cranispaco	Wood Framed Floor	2×8 @ 10 In. O.O.	A to	0.047	Finar Surface: Ca Finar Deck: Whoe Cavity / Frama: R	Skino saeasiko vookis
CILDING ENVELOPE - HER	SYERIFICATION						
Ouality insufation is		A	02 on of Sprey Foam Insulation		03 lope Air Leakage		CFNSO
Not Reg.			On or apray Four Insulation		leguired		CPAGE
		-1					
VATER HEATING SYSTEMS		02	61	04		85	06
Name	Sue	lam Type	Diel/Ibulion Type	Water Heat	r No	mber of Heaters	Solar Fraction (%)
DHW Sys 1 - 1/1		DHW	Standard	DSIW Heats		1	.0%
		L		re rious	.i	····	

Project Name: Residence . Calculation Description: 1		ITIAL PERFOR			Calculation	on Da	rte/Time: 99:29. se: 16014 Rosid				Page 6 of
WATER HEATERS											
01	02		03		04	Т	95		06	67	08
Name	Heater Elem	eni Type	Yank Ty	ypa	Yank Volum	1210	Energy Factor Elliciency	er Inp	at Hatlag	Yeak Exter Insulation R-value	n Standby Loss
DHW Hower 1	Propa		Small Instant	Greens	0.1		0.9	1800	02-Blufy	0	0
01 Nome	Pip	e Insulation	-	(3 Parellol Pipi	ing (Comp	64 ect Distribution	05 Point-of	Ueo	96 Recirculation Control	Gentral DHW Diskibution
						•	and Blak Blacker	Bular sel		Recirculation	Central DHW
DHW 5ys 1 - 1/1			-	-					\neg t	-	
BPACE CONDITIONING SYS	LENS				03		04			05	06
41		02			03	\dashv	94	\rightarrow		ъ	~
SC Sys Nas	na	.System		Heatin	ng Volt Name	e ncis	Cooling Uni	Name	Fac	Neme	Distribution Name
Wood Stove De	butl	Other Husting	and Cooling	Healing	Gomponent	1	Cooling Corre	ionory (HVA	C Fan 1	Air Distribution System
HYAC - HEATING UNIT TYPE	8	*	111.		1, 14	٠.	, , , , , ,				
	01				0:	2				0:	
	Hame				Туј					Effici	
Healing	Component 1		L	Chylfu	rnace - Fuel	drod d	ontral funtace		L	78 A	FUE
HVAC - COOLING UNIT TYP	ES					_					
01		02		03	1	61	1	05	\top	08	07
Name	Syst	em Type		EEA	Efficiency	SEE	ER Zor	nelly Controlle	id C	lulii-speed empressor	HERS Vorlitertion
Cooling Correction 1	Nec	Cooling	-				-			***	***

HVAC - DISTRIBUTION SYSTEMS				-					
01	02	C3	6			05	1	06	07
Name	Type	Duct Leakag	o Insulation	R-value	Duc	t Location	61	pasa Duct	HERS Verification
Air Olstribution System 1	DuctsAttia	Sealed and los	ned e			Allo		None	Air Distribution Syste 1-here-dist
HYAG DISTRIBUTION - HERS VERIFI	CATION								
01	02	03	04	05		06		67	08
	Duct Lankage	Duct Leakage	Verified Duct	Verified		Burled		Deeply Burled	Low-leakage
Neme	Verification	Yargel (%)	Location	Dosig		Ducta		Oucle	Air Handler
Air Distribution System 1-hers-dist	Required	6.0	Not Required	Not Req	pired	Not Require	d .	Not Required	
HYAO - FAN SYSTEMS									
01		02				03			04
Name		Туре		1		n (Walls/CFN)		HER	S Yerificolion
HVAC Fan 1		Strglo Speed PSO Fut		T		0.58			
IAO (Indoor Air Quality) FANS	02	1-7-1-	10)	-1	~ 04	# 1.1b		95	66
01	02		- 10	-	- 04		140 5	Seconory	
Dwelling Unit	tag CFM	1	AG WARINGESS		IAQ Fan	Туре	Effects	venas(%)	HERS Vertification
SFam MOVeniBpt	31.8		0.25		Dylau			0	Required

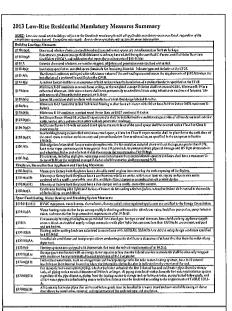
Celculation Description: Title 24 Analysis	Input File Name: 16014 Residence as Built-1.xml
DOCUMENTATION AUTHOR'S DECLARATION STATEMENT	
I. I cartify that this Certificate of Compfance documentation is accurate and comp	Yene,
Documentation Author Name:	Occumentation Author Signatures Flow All Listeney
Anna McQueeney	
Gempany:	Signature Date:
ABBAY TECHNICAL SERVICES	2016-02-03 09:40:30
Adkosa: 1125 16th Street, Ste 216	CEAHERS Contication identification (if applicable):
City/State-Zip:	Physics:
Arcala, CA 95521	707-826-1433
RESPONSIBLE PERSON'S DECLARATION STATEMENT	
Responsible Designer Name: Annie McQuestilley	Parsonishi Despies Splaise: Awar He Queary
Company: ABBAY TECHNICAL SERVICES	2016-02-03 09:40:30
Address:	License:
1125 16th Street, Ste 216	Anna McQueeney
ChySale/Tip:	Phone:
Arcata, CA 95521	707-826-1433
	r control of this psylatens decommen, and is no way ingited Deplanetion Provider responsibility for the recuracy of the
Arfourpetian.	

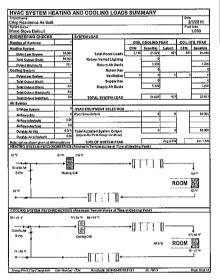
		L MEA	SURES S	UMM.	ARY						RMS-1
Projective Crisp R	lesidence.	As Buill			ling Type					ion/Afternition	2/3/2016
Project Ad	diese 4NOB&HW	Vt Make	u Cennir			ny Cinus Na Zuna			rid Filor Arei 1.680	Asetion n/a	# of Links
	ATION	TT YANG	M CLARON	10	A CATA	Area	V2		7,000	iva	
	ruction	Type		Cav	itv	(ff²)	Sp	eclal	Features	,	Status
flup!	Wood France	cel Atti:		830		and .					Her
Rouf	Wood Face	vd fit vier		R 10		506					Max
toof	Wood Press	ed Alic		HOS		408					Max
Wat.	Wood Fram			H 19		1,267					the w
Occur _	Ородзе Во			- no ta	ulation						Mes
Filter	Wood Park	ed w/Or, at 5	tood	R 10		1,660					Most
CENE	STRATIO		for an					200			4-4
	tation A		U-Fac S	HGC	Over)	Parcerbay	: ra Bloofii	OBIN	xterior S	rege U.Facios bardos	Status
FICH (S)	tation P	68.2	0.500 E	0.03	FOM		SIGGIII		MIRLIOL 9	nades	New
tel (6)		65.0	0.500	0.03	5033		ione ione		lug Samme		New
AT 695		15.0	0.300	0.30	CON		idor.		lug Some		Heir
PAY (A)		25.0	0.550	0.65	70M		pn#		lug Screwa		New
Rear (10		33.0	0.500	11.30	DOM:		212		ka Screen		How
the rate		15.0	0.320	0.32	4014		-				
		18.0		0.37			ime .		tug Somen		Here
			0.00	0.37			:m#		lug Somen		Now
HVAC	SYSTEM										
HVAC Qty.	Heating	ıs	Min. Eff	Co	oling		Min.	Eff	The	ermostat	Status
HVAC Qty.		ıs		Co				Eff			
HVAC Qly.	Heating	IS co	Min. Eff	Co	oling		Min.	Eff	Th: Selbe		Status
HVAC Qty.	Heating Costol Aura	IS	Min. Eff	Co No	oling	Duct	Min.	Eff EER	Thi	ex	Status
HVAC Qty.	Heating Costol Aura	IS	Min. Eff	Co No	oling Course		Min.	Eff EER	Thi	Duct	Status New
HVAC Qty.	Heating Costs/Auss DISTRIB	IS 	Min. Eff	Co No	oling Course	Duct	Min.	Eff EER	Thi	Duct R-Value	Status New Status
HVAC Qly. 1 HVAC Locati	Heating Costol Asso DISTRIB Ion	UTION Ha	Min. Eff	Co No	oling Course	Duct	Min.	Eff EER	Thi	Duct R-Value	Status New Status
HVAC Qty. 1 HVAC Locati	Heating Contri Aura DISTRIB ION TOTAL ER HEATI	UTION Ha	Min. Eff Tro 408 ating	Co Oue	oling Cours	Duct	Min.	Eff	The Seibe	Duct R-Value	Status Now Status
HVAC Qty. 1 HVAC Locati	DISTRIB lon excesses ER HEATI Type	UTION He Outle	Min. Eff Tro 408 ating	Co No	oling Course	Duct Ave	Min.	Eff	The Seibe	Duct R-Value	Status New Status
HVAC Qty. 1 HVAC Locati Wood Str	Heating Contri Aura DISTRIB ION TOTAL ER HEATI	UTION He Outle	Min. Eff Res 450g ating 4	Co	oling course oling lef	Duct Ave	Min.	Eff	The Seibe	Duct R-Value	Status New Status Meer
HVAC Qty. 1 HVAC Locati Wood Str	DISTRIB lon excesses ER HEATI Type	UTION He Outle	Min. Eff Res 450g ating 4	Co	oling course oling lef	Duct Ave	Min.	Eff	The Seibe	Duct R-Value	Status New Status Meer
HVAC Qty. 1 HVAC Locati	DISTRIB lon excesses ER HEATI Type	UTION He Outle	Min. Eff Res 450g ating 4	Co	oling course oling lef	Duct Ave	Min.	Eff	The Seibe	Duct R-Value	Status New Status Meer

FVCE 67 WALNUT WAT FOR BOX 1257 WILLOW CREEK, CA 95573 HOPIC (530) 529-3011

T24

T-1





	CALGREEN RESIDENTIAL NEW CONSTRUCTION MANDATORY MEASURES
	2 Carnet Adventive, All carnot adventure shall even the requirements of Table 4.504.1.
4.554	Resilient Flooring System. Where realised Booring is installed, at least 80% of Soor area.
receiv	no resident flooring shall comply with one or more of the following:
	1 - VOC optasion Smits defined in the Colleborative for 16g/s Performance Schools
	(CHPS) High Performance Products Database. 2 - Products constinct with CHPS critical certified under the Green world Children &
	2 - Products comprises with CHP'S critical continue under this Greengaland Contracts & Schools understin.
	3 - Certification under the Resilient Floor Covering Institute (RFCD FloorScore program.
	4 - Minel the California Decariment of Public Health. 'Standard Method for the Testing and
	Bysharion of Vulatile Organic Chemical Emissions from Indoor Sources Using
	Environmental Chambers, Vorsion 1.1, February 2010 (etse known as Specification
	91350.) Composite Wood Products, Hardwood plywood, particleboard and medium density fiberboard composite wood products.
trend.	o the boxe for constant or it the building short must be occurred by formal debute as specified at the Air Besterras Boats'
Air Ta	in a Control Manager for Composite Wood (17 CCR 93120 et. sex.), on or before the dates specified in those sections as
shows	In Table 4 504 5. Documentation is required per Section 4.504.5.1.
Defici	on of Composite Wood Products: Composite west products include tenterally plywood, perkieboard, and medium density
ICOID:	ed. "Composite veod products" do not include hardboard, attuctural plywood, attuctural ponets, structural composite lumber, d strand board, guad laminated finder, profesiological wood Hoists, or linger telebral jumber, all as specified in CCH, "litte 17.
	d grand board, grupd springsed tricker, prospondated wood ir posts, or larger-printed sometric as an epidensia in Cont, 1994 17. 193123,186)
DMel	m 4.5- Environmental Quality (Interior Moisture Control)
4.505.	Concrete State Foundations. Concrete state foundations of concrete state-measured Easts required to have a vacor related
by the	California Building Code, Chapter 19, or the California Rasidential Gode, Chapter 5, respectively, shall also comply with this
rectu	T. I Capillary Break, A partiley brook shall be installed in purplence with all least one of the following:
4.505.	7.1 Capillary Brass. A repliery break style be resteted in perspinera with at least one or the restewing: 1 • A 44xh (101A min) thick beta of 1/2-inch (12.7 mm) or larger clear appregate shall be provided with a vapor relative.
	direct contact with concrete and a concrete mix design which will address blooking, strinkings and curring shall be used. Fi
	additional Information, see American Concrete Inshirts. ACI 302:29-06.
	2 - Other equivident muthods suproved by the enforming agency
	3 - A state design sportfled by a ficenced design protestional. Moleture Content of Building Materials, Building state falls with visible signs of water damage shall not be installed. Wall
6.AQ5.	s Moteture Content of Building Materials, counting markets with value aigns of white comings abound to inscribe Of familia shall not be enclosed when the framing members exceed 19% moteture content. Me sture content shall be verified
e con	of usualist and the degree of the control and usualist the control of the unitarity of the control of the contr
	1 - Molkhara contact shall be determined with either a probe-type or a contact-type moleture meter. Equivalent mo sture
	verification methods may be approved by the enlocking agency and shall entirely requirements in Section 101.8.
	2 - Molstura rendings shall be taken at a point 2 feet (\$10 mm) to 4 feet (1219 mm) from the grade-stamped and of each
	piece to be verified. 3 - At legal three random mp styre randoms about be performed on wall and flore framing with documentation autoptoble to
	the enforcing entercy provided at the time of approval to enclose the wall and floor framing insulation products which are
	Manufacturers' drying recommendations shall be followed for vot replied intuition product a professional.
Divis	on 4.5-Environmental Quality (findoor Air Quality & Exhausi)
4.506	Estatorous Estatus Fens. Each betterous shall be mechanisely versisted and shall comply with the following: 1 - Fens shall be ENERGY STAR complant and be decided to terminate outside the building.
	 Fans shall be ENERGY STAR compliant and be decided to terminate cutsice the building. Links a function not as a compenent of a whole house ventiletion system, fans must be controlled by a humidity control.
	 ii) Humidity controls shall be capatite of manual or reinstantic adjustment between a relative humidity range of less.
	than 50% in a mardinum of 50%.
	b) A humbity control may be a separate component to the subqust fan and to not required to be integral or built-in
Note:	or CALGrayo a "bathroom" is a more which contrine a believe, shower, or lubistrower combination. Face are required in un-
bathe	om, on 4.5-Environmental Quality (Environmental Comfort)
4.50Y	on 4.5-Environments Quality (Environments) Community F. Cheating and Air Conditioning System and Gasigm, Healing and air conditioning systems shall be sized, designed, and
60,000	need selected using the following matheds:
	1 - The free load end heat gain is established according to ANSHACCA 2 Manual J - 2004 (Reskiantial Load Calculation),
	ASHRAE handspoks or disor poulvalent doston software or matheds.
	2 - Duct systems are sized according to ANSI/ACCA 1 Manual D - 2009 (Residential Duct Systems), ASHRAE handbooks
	other equivalent design software or methods. 3 - Splect hearing and copiling equipment according to ANSI/ACCA 3 Manual S - 2004 (Residencial Equipment Selection) of
	cities equivalent design activises or mathods.
Excep	job: Use of alignatin design temperatures necessary to ensure the system functions are acceptable.
	•

prompor-	-Rise Residential Mandatory Measures Summary Preservating systematical anti-classical asystolic of Hamilion, Proprietor, in the steen and hybrid being solution to the solution and the classical College shall used the engineering in TABLE 190.1-8.
(150 nors:	breathern is prove and from during; and other to small ple, artifering, configurational continuous co. and what
\$190000A:	Involution expected to weather staff cities for souther use or invalid with record validate for individual works. For example, processed by identificial, post model, posted covers, or plants covers. Cities in including processed as possible as period with regular plant in contract of a special plant of the processed with producing their covery misses and may be first affected plant and processed with regular plant in plants and the processes.
£130.0G(\)0:	tentation cavering thritted water pering and refrigerent studies printed to table the conflictment space whill have a Class Line Situation (that qualifies as a Class Line Class Line Class Line Situation (that qualifies as a Class Line Class II) upper extender.
§ 150 ((a)1:	Systems using gas or review rates better to series solidated destiling solar shall technics. I INV Housewit interprise ratio has feet of the notification, a Compage Bill of Virtual, e. a. System I be not with similarly perpetuate and the condition termination and speec where the words that as I localitate, a conducted units that in one tree don't be destined by the feet of the condition of the conducted and the conducted
\$150,00m2:	Recruitabiling larger was ing multiple dwalfing unite study space the appringments of \$110.5(c)5.
(1.50.0(a)3:	Solar is not bearing systems and pillusters shall be certified and robot by the Yolar Rating and Certification Conjectum (ERCC) or by a looking accrey approved in the Executing Discess.
Decis and Fase	
1 150.64m));	All mediciologico grava de un polizioni initiale de catalente missiste transiste transiste in experimento a CILI, 1994, (1994, 1994), politico, po
(1.50.0(nd)2:	Facings Fabricaned Their Systems of Ni comply with specifics, requirements for their crossing time, connection, and describe joint and secure joint and secure of duct systems and delif components with not be scaled with cloth back rubbet otherwise duct reportations such type trades such type in confidence from the confidence of the co
HAURAH-R	Field Farmented Out Systems shall comply with requirements for previous remains upon, regular, seekans, and other regularization specified for that sensitivities that inculation R-value network dust makes on thickness, and that thirding.
4150.0(mat:	All the systems that exchange an benefits the conditioned space and the potential of ske building more have backfield or actionally discover.
1150.0hm35;	Charley varyifuling system parting conflicted space have ablest automatic or readily accomible, manually opened disapore except quadwarfers labe and entit air openious and shouler shall rests
1150.0(m/l);	institutes shall be proceed foundating, with legs has due to carefully, revision, explores realisessance, and whall but mission to the Distriction from the control of the mission of the Distriction mentioner, expend to record what the mission for the metals or mission for executing particular wheel mentions when the control of particular foundation shall be proceeded as above on particular than a control of the control of
\$150.0(m)10.	Fleyible digit coarset here proute itser total.
1150-0(m)11	When upone conditioning systems we forced in that systems to supply conditioned air to an occupable space, the date shall be solded and this locking tensor, as confirmed through sheld sportferalism and illugrated tensing, in accordance with Reference Residented Appendix RAS.
(150.0(m)/2:	Moderatical systems that negative the an ecompletite space through dischereth exceeding 10 feet in longith and through a formed coordinates configurate, except emperatus corders, shall be generated with an effect of secrece that proof the togeteen and of \$150 ((m)) 2.
El 50.0(10)13	Speec confinancing a years to lattice freed are facts as supply trading to accouptable speec shell have a hole for the parameter of a small previous probe fill SPEA or a parameter of a small previous probe (1587) in the upply palaras. The speece possibilities grower most also deconcates window g 150 CPM part for of method to white groups to began the recommendating upplication. The standard country to began the recommendation of a set a standard growth in this part of the recommendation of the standard country of the recommendation of the standard country of the recommendation of the rec
≩150.0(ra)2.5°	Zondly controlled started friend his cooling system shall be explicit of destinations (Adiroding, in story print control mode, in a circles from the destiling, the rolls of the destination of the destiling, of roll of FM per to not described cooling expensy, and appearing at mode destination from an elementary of the destination of th
£1.59.610}r	All discilling union shall treat the reprisements of ASIRAAI Standard 61.2. Neither which we option the per continuous open than an executed forced all potential fraudient used in partial for integrated womant has a partial office treathed of possibling for Wholes treathed would be written as a continuous continuous and partial office treathed of possibling for Wholes treathed would be written for the property of the period of the p
\$130.6m(1A)	White Habiting Venefation without shall be confineed through fletd verification and diagrantic testing, in pecentains with Reference Residential Agomaics RAS.
Post and Spa Y	lesting Systems and Equipment Measures
protein:	Any pool or syn helling system with the conflict to have, a thorousinflictory that compiles with the Appliance if flictory. Regulations an on-off works interested entitle of the heater that allows sharing of the house without adjusting the demonstration of the state without adjusting the demonstration and handle every facility of polytomy hersita.

hapter	Revised Definitions - Effective July 1, 2015
inighticit acharco	Destric Vehicle (EV) An advansive type valide for concoud use, such as a passenger sufcrequire, buser, trucks, year, and alsoft validice, decision motorcycles, and the like, primarily power by an electro motor that draws custod from a fet also alsong, but cell, indertonable array, or other source of electric concern. Play is hybrid electric vehicles (PHEV)
ndustrial	seed electric vehicles. For purposes of the California Electrical Code, all-mad, self-propelled electric vehicles, such as trucks, kotas, titles, transports, golf cards, sirina ground support equipment, tractios, boats, and the like, are not included.
	Discrite Vehicle Charging Station (IIVCS) One or more species interried for danging erectric vehicles.
rounding	Electric Vehicle Supply Equipmen (EVSE) The conductors, including the undergrounded, grounded, and exignment, conductors and the electric vehicle connectors, electronised plays, and of other filtray, devices, power option, or approxima specifically for the purpose of handlandors arency between the premises, which god the electric vehicle. 1.3 — Plannia and Bestleri Side Constances.
4.105.2 8 part of a l	form Water Perjaining and Referration design construction. Projects which disturb test than one occupit out and are not arger common plan of development which is total disturbs one are or more thall manage storm works drainings by one or is blanded in tensorers:
i	j. Retordko Basins of sufficient size shall be utilized so retain sporm water on size. I retordko Basins of sufficient size shall be utilized so retain sporm water on size (setter or similar disposal method, water shell In Educat by use of in busing system, water or other method all approved.
4.106.3 C), Compfarice with lashifly existing form water monagement editopoe; reading and Paring, Construction plans shall indicate how the site grading or drahego system will manage all surface water year water from extering buildings. Mathoda shall induce, but are not limited to:
	i. Wester collection and disposal systems I, Fresch chains I, Water Releasition gandene
	C Vision industrials which keep surface water away from building and aid in groundwater recharge. Secrita vehicle (EV) charging for new construction.
	Comply with Spotter A.169.4.1 and 4.106.4.2 for future installation of EV chargers. Electric volicitie supply equipment EVSE shall be unfalled in accordance with the California Electrical Code, Article 625 Exceptions for a crost-of-case basis as determined by Local Binderica Assence:
	 Where there is no commerced power expty. Varification that meeting frequentiats will after the local with inhastracture data or requirements on the utility side of the project increases costs to the temporare/signed power to more than 3-00.00 per dwelling unit.
4,108.4.1 4,108.4.1	,5 New one- and two-family dwellings and lownhouses with atteched private garages.
•	Install a fieled increasy to accommodate a desicated 209/40-volt branch choult for each dwelling unit. Receively shall not be less than trade size 1 (nominal 1-facts inside diameter).
	 Receiving shall originate at the main service or subsanet and terminate two a toled cabinet, box or other enclosure in close proximity to the proposed boxelon of an EV studger.
	 Raceways are required to be continuous at enclosed, fracestable or concealed areas and spaces. Service outer and/or subsects and provide causely to frested a 40-amormoriolism dedicated brench circuit and spaces?
	reserved to permit institution of a transh direct overcurrent protoctive device. Service panel or suspanel occur directory shall fond by the mericaned protective denot specially natived for failure EV charging as "EV GAPABLE". The receivery learning that facilities shall be permitted by and vibibly mailed as "EV CAPABLE".
4.105.4.2	New Multillatrity dwellings. Adoless when 17 of near multilanity dwelling units are constructed on a building site. 3 percent of the lotel number of parking spaces, provided for all types of parking facilities, but in the case less than 1, shall
	be EVCS capable of supporting Mare EVSE and shall be identified on sony/redion documents. Calculations for the number of EVCS shall be rounded up to the newsest whole number.
	Construction documents are intended to demonstrate the project's expandity and expandly for facultation taken EV charging. There is no regularized for the constructed or evaluate until EV charges are installed for use.
4.106.A.2 EVCS. A	I Electric vehicle charging staten (EVCS) locations. Construction deputtents that indicate the location of proposed ties tions EVCS shall be located in common use areas and available for use by all residents.
When Ev	chargons noe installed, EVOS required by Section 4.106.4.2.1 and 4.106.4.2.2, Hern 3, shall comply with at least one of the
	 The EVGS stulk be located adjacent to an accessible packing appear meeting the requirements of the Coldenia Building Code, Chester 11A, to slow use of the EV charger from the accessible parking space.
	 The EVCB shall be located on an accessible route, as defined in the Celifornia Building Code, Chapter 2, to the building.
	Note from HCD: Home 1 & 2 apply to the EVCS that is the "1 in 25" or "not loss than 1."

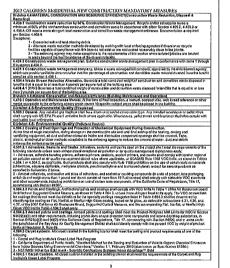
sinfog. HVAC system installers shall b coonized training or certification oregr	trained and cortified in the proper Insta	
to the following:	. Examples of acceptable hove early	ng and certoration programs annous
certified apprentices(v) programs.		
utily training programs.		
eg programs aponsored by Unde, labo	s aretexyle everbly coveriged or resp.	CHIDII OFGHALLINARS.
ima apanacies dy maninicumos cies	zationals - Other programs acceptable	to the entorting agency.
discipling they are inspecting.	A at a European a Pour Luissa se domin	SO COMO BOOK OF CELEVANA SER
illon. Documentation of compliance st	i include, but is not i mited to, conspuc	tion documents, plans.
der or installer certification, inspection officer of special inspections necessary	ports, or other methods acceptable to verify compliance era specified in are	the local enforcing agency. Other reprinte sections of CALGreen.
ent is only a summery of the mandato 3 CALGreen code for additional detail	measures in the 2013 CALGreen, Use and complete requirements.	es should refer to the most recent
11 化中国的电路电路 11	centified apprentituative programs. to brildy facility programs. ting programs supercound by Unide, both reams speased by manifesting operation speased by manifesting operation and the program of the program edition. Speased inspectors consistent address in features confliction, inspection in address in features confliction, inspection in traffic or special inspection into traffic or special inspection in the ment is derive a summary of the manifesting ment is derive a summary of the manifesting.	i centified apprenticeatily programe, to utility training programs, to utility training programs, to utility training programs, along programs a presented by unde, lubor or states the energy consulting or waith training superposed by manufacturing consultations on 5 - Other unoquants accelebile spection. Septical inspection is employed by the enforcing appear, must be qualified.

4((0.1(b)) ·	Any pool or up the stag optioned shall be entitled with in least 36 to be of page between filter and heater or dedicated across and compile to a full one contextions for false parties institute.
#110 4(A)	Chalcon position speacher laws a freet perspon gas branes shall have a voices.
£110,4(b1):	Posts shall have attactional interests adequately side the post water, and a time which that will allow all pen ps to be set or pro- grammed to non only during self-peak electric demand periods.
1110.5:	Natural year perif and syn heaters shall not have a continuous burning pilos rigin.
4150/ftpl:	Revidencial pool approximate equipment shall much specified pump sizing, flow man, pipmg, filters, and valve requirements.
Lightley Men	iro:
£110.9:	All lighting control decrease and everyone, building, and incrinates shall recent the applicable requestments of \$110.9.
§136/8(k)1A:	bracked fredrakes shall be elsewhed as high-officiars or low effecting the compilator with \$150.001 to reconduct with FABLE 150.0-A or FABLE [50:0-0, as applicable
Headenn-	When a high efficacy and low efficary lighting system are combined to a simple functionine, each system shall repentely exemply with the applicable percedenced \$150.000.
(1.50.0(c)C:	The netrop and development of promountly spatial territories in additional likewise shall be described in nontrivies of the 1990(e). In reduction this class, the consign of technical bears finished used as glade over a reduce not explained to been testinal, and where the cleanizal just can be used for a territories or a centre mounted confing fare, shall be calculated in 19 when the first positional parts.
\$150.6G HD:	Bullions for the resecut larger rated 13 scatte or greener aball be electronic and shall have no corput frequency to less than 20 Miles
(MAIL)IE	Permanently installed talphi lighter, and night lights integral to least but have talked one exhaust time while he raided in element on a proof that if wants of protection for white and also end and it is accordance with \$12 miles. Night light a do not need to be controlled by manner y controlled.
\$150.E(k)))r:	Lighting strepted to enhance this senergy when until 2.5 by the storic factorer in Litchen enhance brooks shall meet the applicable cognitive rate of \$150.041).
£150 ((A)2A.	High citigacy luminates must be switched separately from for efficiery implicates.
£1.50.0(k)2B;	Exhanat float shall be well-third separately float lighting systems.
1150.6tkj2C:	Luminators shall be wellshed out readily accessible centures that parent the luminators to be mornally smalled ON and OFF.
£150,00012D:	Controls and equipment are unitabled in accordance with insurfacement's instructions.
§150.0(k)N0:	No certard shall bypasa a dimension or vacasely known function of the control in installative comply with £150 R(c).
(150 mlass:	Lightop contrib comply with applicable responsements of \$100 %.
1120/02/1503	An Broogy Man agement Control System (EMLS) may be used to everyly with dimmer returnments (fi. B. Barch, et as à diment according to \$110%) excess lauraltanea Conference confirmments of \$100 dt; the EMCS confirmments of \$100 dt, and all other resplications in \$1,500 febb.
HADOLUSE:	As Evergy Management Control System (EMIXS) may be used in entropy with various water requirements of §100 (Gent distribution as a various according to §100); must have like in a confidence requirements of §100.4; for EBICS requirements of §100.4; for EBICS requirements of §100.6; for EBICS requirements of §100
ps00000:	A publisher programmable controller every by used to comply with discover requirements of this section of it provides the functionality of a filment accoming to §1500,000.
\$150.00kblAs	A continues of \$0 percent of the total rated wastage of percenterally unabilied highing to his chees shall be high efficacy.
\$(50.0ck3)B:	Slighten hydring ontoles all permanently metalful hydring in the brokest except natural tybring in chinics that illuminate only the brokest file or black of the orbits. Lughting in secun adjacent to the blackst probability but not bright to disting and note areas. Becommend in the brokest plant of the present of the probability when the brokest indiction is believed.
£150.0(k)1:	Permanently installed lighting that is settent to exfect to shall use on more than 20 meths of power per letter fixet of illuminated calent
£150.0(k)5-	A micrown of one high effectly tensories shall be installed in each behavior and director lighting installed in each habiterior, shall be high effectly or controlled by security security. It is in the market in search and directed ungests from the security and which to consider the medium installed and the security and directed ungests from the security and the left of the security and the sec
£150:0(kH:	controlled by sacracy process.
₹150 WK17:	Lighting Installed in stones or press other than in thickness, instructors, garages, breadily societs, and utility societs it all be high officery, or shall be accomplised by eather shareness or message sources.
g i Shaqkie	I nominar secreed law reliefy a labit. It has the in each fire real internet translation creates, ICF by the locations in Absociation real and consolidation of the internet i
1150,604PA:	For engli-chrally neuterial neutron, existent spling parameterity resmolt has recisional building overall neithing conflict marked buildings of the confliction of t

	ectric vahicle charging station (EVCS) dimensions and slope. The EVCS shall be dasigned to comply with the
following:	The minimum length of each EVCS shall be 18 feet (6424 mm).
1.	The minimum unidth of each EVCB shall be 9 feet (2743 mm).
3.	One in every 25 EVC5, but not less than one EVC5, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-
-	foot (1524 erm) wide minimum alsie shall be compiled crowled the minimum width of the EVCS us 12 feet (3658
	mm)
	n- Surface slope for this EVCS and 5-foot (1624 mm) wide each shall not exceed 1 unit vertical in 48 units horizontal
	(2.053 percent alone) in any direction.
1084238	ngle EVCB required.
	nstall listed receives people of accommodating a 208/240-volt dedicated branch strout.
	Receivery shall not be less than trade size 1 (nominal 1-inch inside diameter).
	Roceway shall originate all the main service or autycanel and shall terminate into a listed cabinet, box or enclosure in
	dous proximity to the proposed receitor of the EVCS.
	Construction documents which stems by the receiving termination point.
•	Sentice panel and/or subparse; shall provide capacity to install a 40-ampore minimum dedicated branch circuit and graph(s) reserved to permit installation of a prench circuit overcontent protective device. Service panel or entipolical
	grace-city reserved as permit measurated or a creation closure diversariant protective diverse. See visit permit or emplantal press diversions shall identify the exercurrent protective devices appreciately reserved for future EV sharping as "EV"
	CAPASLE!
	ulliple EVCS required.
	Construction documents shall indicate racoway termination point and proposed tocation o tuture EVCS and EV
	chargain: juiteel luformation on ampurage of lutine EVSE, recursey method(s), wiring echarentine and also utral load
	culculations to verify electrical panel service capacity and afactrical system, including any on-site distribution
	kansformer(s), havé sufficient copacity to structurodusty charge all ÉVe at all required ÉVCB at full rated emperage of the EVSE.
	Plan device : Plan device she'll bu based upon a 40 ampere misseum brench rirosit.
	Receives and related components plenned to be installed underground, enclosed, inaccessible or in concealed areas
	and source shall be installed at the time of original construction.
	Sanke sand or a board circuit dischov shull identify overcoment protective device soscolist reserved for future EV
	charging purposes as "EV CAPABLE" in accordance with the Colifornia Electrical Code, Autoba 625.
	ENERGY EFFICIENCY (Scope)
4.201.1 Losy 4	ne residential buildings shall meet standard design required by the 2013 California Energy Standards. the residential buildings shall meet standard design required by the 2013 California Energy Standards.
	-WATER EFFICIENCY AND CONSERVATION (Midger Weller Use)
4 702 1 Wale	Conserving Plumbing Fixtures and Fittings. Plumbing fixtures and fillings shall comply with the following:
1.10	3.5.1 Waters Closels: 6 1.26 portuen 4.303.1.2 Urinule: 4 0.5 gailfluen
4.30	1.1.3.1 Binds Showerheads: S 2.0 open 49 70 red
4.30	1.1.3.2 Multiple Showerheade: combined flow rate of all shows: heads and/or other shower duffets controlled by a single
YEN	chall not exceed 2.0 gpm (§ 60 ps) or only one charter outlet is to be in operation at a time
4.30	1.1.4.1 Residential Levalory Faucou: d 1.5 cpm (6 t0 pel 1.1.4.2 Levalory Faucets in Common and Public Use Areas of Rentitorifel Buildings: ≤ 0.5 cpm (6 t0 psl 4.303.1.4.3
4.30	a.1.4.2 Levelory Feucesa in Common and Puese Use Areas of Assistantia determine. ≤ 0.0 gpm (g/ eu pia 4.103-1.4.5 ring Epupality ≤ 0.25 gallons per cycle
4 20	nog r puterio; x 0.25 garons per cycle 1.1.4.4 Kilchen Faucels: 6 1.8 gpm (0 50 ps); tomporery increase to 2.2 gpm allowed but shalf default to 1.8 gpm
1.303.2 Stem	fand for Plansblog Pistures and Fittings Planbing flatures and fillings shell be installed in exoculance with the
California Plu	nting Code, and shafi magi by I me ecolicable standants referenced in Table 140, i of the California Ph.mbing Code, NATER EFFICIENCY AND CONSERVATION (Outdoor Water Use)
Olyfsion 4.3	NATER EFFICIENCY AND CONSERVATION (Outdoor Woler Use)
4.304,1 frrige	tion controllers. Automatic infigation system controllers for landscaping provided by the builder and installed at the time
of final Inspac	lion shall comply with the following: Unfollows shall be weather- or still makking-bused controllers that automatically adjust infusion in response to changes.
1-0	untrollers shall be weather- or son moisone-bused controllers that astronaticarly adjust implicon in response to changes. Int watering notify as weather or self conditions change.
	ing watering moters are required or seek consistence change. Feather-based connections without integral rain sonters or communication systems that account for raintal shall have a
1016	take trived on windows with surrect which comments or communicates with the controller(s).
Division 4.4	MATERIAL CONSERVATION AND RESOURCE EFFICIENCY/Binhanced Durability and Reduced Maintenance)
4,406,1 Rade	nt Preating. Annular spaces eround pages, electric cobies, conduits, or other openings in places at exterior mails shall
be protocked	igniss) the passage of rodents by closing such openings with cornent morter, concrete masonry or similar method
acceptable to	the antorong agency.

TARLE 4.994.1 ADIIESIYE VDC LISIN LASS Weles and Less Exempl Compoun	fa in Oraros per Liker	TABLE 4.991.3 VOD CONTENT LIBETS FOR ARCHITECTURAL CONTINUSA- Graph HYDD per Liter of Coalleg. Late Water and Lots Exercit Compounds
ARCHITECTURAL PERSONNE	CUPRINT YORLING	Lake Water and Loss Exempt Compounds
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Enach: Newton		News modration as
NOT conseptable up with roots	59	Mychest and politic 9
Porsitariant whose		Maccayoust after
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bhilemann varsonice observe		Sauter, were 1977/2015
from the planes, alternate Singlette and receives alleresa	191	Consecration recognition
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Office Assessment and Salah Livel		fixtyssyste
NEJSYMIX APPLICATION	43	Examination of the second
saturiumites	510	Dual-to-selvo
All milita		December 190
Zaki strouwidor		frankiz premis
Missy pure Arthers	553	Secrement and administration of the second o
Syrenialnose	19.	Abit KSAY, MYESAYANASA
Appendantes a research adverses	290	International and the second s
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Theory populations of party.		Pilmas, region, of substances 100
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t-Regiona.		Resource of the State of the St
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was the figure VCC code to the de action of		Red ty a state outlier AN
 Fix additional information of surface for the control of the control	olity Mantager and Charles	Status
		1704
YABLE 43012 BEALANT VOCUME		17.17.4
Lane Water and Loss Exempt Company	T de la Grecia a mest han	Speciety at hosts, or a president when the transfer of the tra
HANNIN	AND THE PARTY OF T	Maria 256
35/9hare		Ster emiliare 486
-binny and		homanorinosa
Sintendaries (100	Traffic State Community
Howaters	350	1-5rkimerlast-meim
English and amount	450	Records and the control of the contr
ONG	0'	9ed-10002
STALLANT FOR STALL		Madate Course
Anthony	1	Mrs. services
Niepons.	200	 Chang at NGC per over of coding varioting was visal atthebay on assessmit.
		2. The condition the name was to the trade or and not have such doctor and
Moderated	NB NB	nices others is the bills
		1 Nation to first white view dishard from these specified by the California

	8. Challenceard and the many sur-morable call begins a senset, but all activates in photoconsents, or A Administration in the control of t
£150.0(kWB:	her have not utilized by considerable haldings, conduce by thing the general constructions, and market and market playing for an ideal parties and an ideal in supports with loss that might parties parties that mough with rost of the following requirements: 1. What comply with \$19,90,90,90 or \$1,000,000 or \$1
g) to orkyst:	For law-use residence buildings with four or more dwelling units, unabove lighting are registered by \$190.0(1700 or 150.0(1700) shall even be to \$1.00, \$1.0
\$150.0(kist):	Condese lighting for neithential parking but and cardendal compute with a total of eight or reconvolution out a that comply only of the arcilicable returnment in \$110.9, \$130.0, \$130.7, \$130.4, \$140.7 and \$141.0.
p30/0000	lencesully illuminated a Lincar signs shall comply with \$140.5; or shall contame no more than 3 eachs of power as abteniesed exercising 6-\$150.04;c).
§130.0(Lill.	Lightung for meldestial parking ganger for right or more vehicles shall county with the applicable requirements for sames limital gangers of \$10.9, \$150.0, \$150.1, \$150.1, \$150.4, \$140.6, and \$141.0.
\$150.0(k)12.\;	has been distributed in militaria in militaria and a state of the stat
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tiio.kgai:	Sing): thereby residences forced to subdivious with review recentricit facetly reddences and where the application in a transitive arbiditation may be the availables has been denied consolet, by the enforcement appropriate and all recentricity (1, 2014, additionally with the preparations of 110 (1,00) deniety (1,100).
(fre.uc/m):	Leveling might during buildings shall come by with the regulations are effect to 180,000 through \$110,1000.
gi us. (Ochyl).	The safe in a real filters is entired as unit or as facility fall by the field provided real could be supported by the provided by the provide
ELLA LINGUIST	All contains of the solar rong located as decreations from the field by detected however, 114 degrees and 2.16 degrees of tree areals.
ELIGITAÇULA:	No objects there, the lading but say headed to, yee's, chiraryys, architectural fentures, and two freested equipments, shell be because as due solar zone.
etta tokealis	Any obstruction, the sted on the median may other part of the boliding that projects above a solar rows shall be increased in least to less the difference, retainment this horizontal plane, of the highst difference between the highest policies the observation and the horizontal processor that of the normal policy and the highest policy of the project plane.
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\$1 H0.10(A):	A cray of the contraction documents or a comparable document hadically the information form \$110,00th through \$100,00th in high \$100,00th through \$100,00th in the provided to the executant.
110.00(e)1:	The train Americal service part is shall have a mintenant basher rating of 250 supps.
\$180.00(e)2:	The cours electrical service pass is half time a reserved opice to allow for the potalitizon of a devicts pole circuit breaker for a foots older chemical polarities. The reserved space shall be produced as the appears (land) and from the times Reser location in early cleric licensities, and portrained produced as "OF of times Select Electric".







Abbay Technical Services Building Energy Consultants Anne M. McQueeney, CEA 1125 16th 58, 58e, 216 Acetta, CA 95521



EXISTING RESIDENCE AS-BUILTS ROAD AND HWY. 1 WILLOW GREEK, CA.
Title 24 Building Energy Report

T24

T-2

ATTACHMENT 5

REFERRAL AGENCY COMMENTS AND RECOMMENDATIONS

The project was referred to the following referral agencies for review and comment. Those agencies that provided written comments are checked off.

Referral Agency	Response	Recommendation	Location
Building Inspection Division	✓	Recommend Approval	Attached
CalFire	✓	No Comment	On file with Planning
CA Department of Fish & Wildlife			
Environmental Health Division	✓	Conditional Approval	Attached
Public Works Land Use Division	~	Comment	On file with Planning
Humboldt Bay Municipal Water District			
Humboldt County Sheriff			
State Water Resources Control Board – Division of Water Rights	√	Comments	Attached
Bear River Band of Rohnerville Rancheria	~	Conditional Approval	On file with Planning
NWIC	✓	Conditional Approval	On file with Planning



COUNTY OF HUMBOLDT

PLANNING AND BUILDING DEPARTMENT

CURRENT PLANNING

3015 H STREET, EUREKA, CA 95501 ~ PHONE (707) 445-7245

6/18/2020

Project Referred To The Following Agencie

AG Commissioner, County Counsel, District Attorney, Environmental Health, Sheriff, PW Land Use, RWQCB, NCUAQMD, School District: Maple Creek JUSD, Cal Fish & Wildlife, Division of Water Resources, CalFire, Bear River Band, NWIC

School District: Maple Creek JUSD, Cal Fish & Wildlife, Division of Water Resources, CalFire, Bear River Band, NWIC Applicant Name Crisp Farms Key Parcel Number 315-093-006-000 Application (APPS#) PLN-11019-CUP Assigned Planner Misael Ramos 707-441-2633 Please review the above project and provide comments with any recommended conditions of approval. To help us log your response accurately, please include a copy of this form with your correspondence. Questions concerning this project may be directed to the assigned planner for this project between 8:30am and 5:30pm Monday through Friday. County Zoning Ordinance allows up to 15 calendar days for a response. If no response or extension request is received by the response date, processing will proceed as proposed. ☐ If this box is checked, please return large format maps with your response. Return Response No Later Than: 7/3/2020 Planning Clerk County of Humboldt Planning and Building Department 3015 H Street Eureka, CA 95501 Email: PlanningClerk@co.humboldt.ca.us Fax: (707) 268 - 3792 We have reviewed the above application and recommend the following (please check one): Recommend Approval. The department has no comment at this time. Recommend Conditional Approval. Suggested conditions attached. Applicant needs to submit additional information. List of items attached. Recommend Denial. Attach reasons for recommended denial. Other Comments: Applicant currently does not have a valid SIUR water right. There is one application that is in the review process that is currently deficient (H505214). Water Rights staff is waiting on materials from agent. Jonathan Pham, Environmental Scientist, Cannabis Registrations Division of Water Rights 6.18.2020 PRINT NAME:



COUNTY OF HUMBOLDT

PLANNING AND BUILDING DEPARTMENT

CURRENT PLANNING

3015 H STREET, EUREKA, CA 95501 ~ PHONE (707) 445-7245

7/10/2020

Project Referred To The Following Agencies:		
AG Commissioner, County Counsel, District Attorney, Environmental Health, Sheriff, PW Land Use, RWQCB, NCUAQMD, School District: Maple Creek JUSD, Cal Fish & Wildlife, Division of Water Resources, CalFire, Bear River Band, NWIC		
Applicant Name Crisp Farms Key Parcel Number 315-093-006-000		
Application (APPS#) PLN-11019-CUP Assigned Planner Misael Ramos	s 707-441-2633	
Please review the above project and provide comments wit response accurately, please include a copy of this form with	th any recommended conditions of approval. To help us log your h your correspondence.	
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County Zoning Ordinance allows up to 15 calendar days fo response date, processing will proceed as proposed.	r a response. If no response or extension request is received by the	
☐ If this box is checked, please return large format maps v	with your response.	
Return Response No Later Than: 7/25/2020		
	Planning Clerk County of Hymboldt Blanning and Building Department	
	County of Humboldt Planning and Building Department 3015 H Street	
	Eureka, CA 95501	
	Email: PlanningClerk@co.humboldt.ca.us Fax: (707) 268 - 3792	
We have reviewed the above application and recommend	d the following (please check one):	
Recommend Approval. The department has no comme	ent at this time.	
☐ Recommend Conditional Approval. Suggested condition	ons attached.	
☐ Applicant needs to submit additional information. List o	f items attached.	
☐ Recommend Denial. Attach reasons for recommended	denial	
Other Comments:		

PRINT NAME: Micah W



COUNTY OF HUMBOLDT

PLANNING AND BUILDING DEPARTMENT BUILDING DIVISION

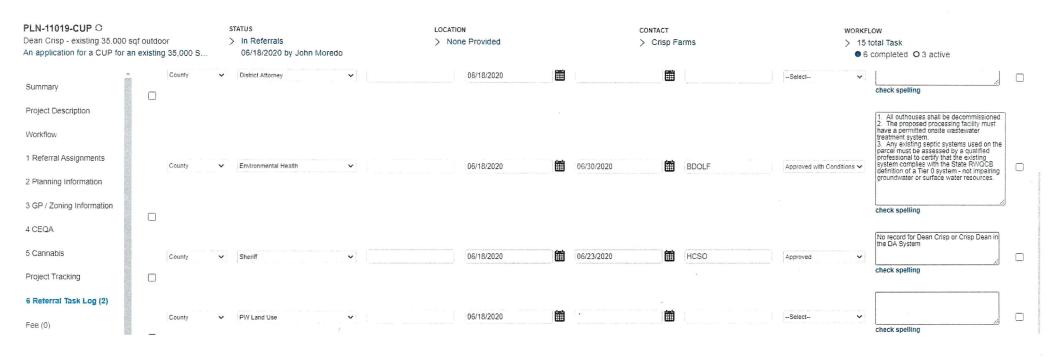
3015 H Street Eureka CA 95501 Phone: (707) 445-7245 Fax: (707) 445-7446

Building Division's Referral Comments for Cannabis Operations:

Applic Parce Case	
The fo	ollowing comments apply to the proposed project, (check all that apply).
	Site/plot plan appears to be accurate.
	Submit revised site/plot plan showing all of the following items: all grading including ponds and roads, location of any water course including springs, all structure including size and use and all setbacks from the above stated to each other and property lines. Existing operation appears to have expanded, see comments:
	Existing structures used in the cannabis operation shall not to be used/occupied until all required permits have been obtained. Proposed new operation has already started.
	Is development near wet area? If yes, what is the distance? Is development near Steam side Management Area (SMA)? yes or no If yes, what is the distance?
A	Recommend approval based on the condition that all required grading, building plumbing, electrical, and mechanical permits and or Agricultural Exemption are obtained.
	Other Comments:
Name:	Mical Markieson Date: 2/14/2020

Note: Remember to take photographs and then save them to the Planning's case number. File location J, Current Planning, Projects,(CUP, SP, ZCC) Case number.

PLN-11016-CUP C Crisp Farms - 11.300 sq ft Existing An application for 11.300 square feet of existing o			STATUS > In Referrals 06/19/2020 by John Moredo			LOCATION > None Provided			CONTACT > Crisp Dean			workflow > 15 total Task ● 7 completed O 2 active	
Summary Project Description		County	~	District Attorney			06/19/2020			É		-Select- v	
Project Description			!		·macui		1						check spelling
Workflow													The operations plan alludes to the use
1 Referral Assignments		TOTAL STREET, MARKET,											of pit privys. Pit privies are not allowed. Portable toliets are acceptable pending construction of the processing building.
2 Planning Information		County	~]	Environmental Health	Y		06/19/2020	AND	06/30/2020		BDOLF	Approved with Conditions ✓	
3 GP / Zoning Information													check spalling
4 CEQA													No record for Crisp Dean or Dean Crisp in the DA Office System
5 Cannabis		County	~	Sheriff	~		06/19/2020		06/23/2020		HCSO	Approved	
Project Tracking				Taxaban Po and a man for the same					'				check spelling
5 Referral Task Log (2)													Project located off US Forest
Fee (0)													Service Road. Should refer US Forest Service.
Payment		County	~	PW Land Use	v		06/19/2020		07/01/2020		KFREED	Approved ~	
Workflow History (15)													check spelling
Comments (3)													7-14-2020 WM
Documents (23)													-Revise and resubmit plot plan to show 2500gal fire suppresion tank, hydrant, and SEA turnouts
Conditions of Approval (0)		County	V	Building Inspections	V		06/19/2020	Ħ	07/14/2020		MMATHESON1	Approved with Conditions >	and or turnouts -Recommend approval after plot plan has been revised and resubmitted based on the condition
Locks Holds (0)		The state of the s		Перен до пред перед перед по перед п		- The country of the conference of the country of t	And the second s	and analysis of a serie	Acceptance for the control of the co		THE RESIDENCE OF THE PARTY OF T	4 mm ya muuga sala dilalana salah Biddiligi di cal Adadii Million N. William Makadali.	that all grading, building, plumbing electrical and mechanical permits and/or Agricultural Exemption are obtained
Address (0)													check speiling



Application Number Key APN We have reviewed the above application and recommend the following (please check one): The Department has no comment at this time. Suggested conditions attached. Applicant needs to submit additional information. List of Items attached. Recommend denial. Other comments. Name: Date: **Forester Comments:** Date: Name: **Battalion Chief Comments: Summary:**