



**COUNTY OF HUMBOLDT  
PLANNING AND BUILDING DEPARTMENT  
CURRENT PLANNING DIVISION**

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3015 H Street, Eureka CA 95501  
Phone: (707)445-7541 Fax: (707) 268-3792

Hearing Date: October 21, 2021

To: Humboldt County Zoning Administrator

From: Kathleen Franklin, Contract Planner

Subject: **Ascenso Coastal Development Permit,  
Special Permit and Notice of Lot Merger**  
Record Number PLN-2021-17288  
Assessor's Parcel Numbers 111-133-034 and 111-133-035  
117 and 125 Shaker Road, Shelter Cove area

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Please contact Kathleen Franklin, Contract Planner, at 916-642-5505 or by email at [kathleen@landlogistics.com](mailto:kathleen@landlogistics.com) if you have any questions about the scheduled public hearing item.

## AGENDA ITEM TRANSMITTAL

Hearing Date October 21, 2021	Subject Ascenso Coastal Development Permit, Special Permit and Notice of Lot Merger	Contact Kathleen Franklin, Contract Planner
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**Project Description:** A Coastal Development Permit and Special Permit for Design Review for the construction of a two-story residence with attached garage. The proposed development footprint spans two lots from the existing subdivision, which are proposed to be merged as part of the project. The proposed residence is approximately 1,200 square feet in size and includes an approximately 360 square foot patio and approximately 360 square feet of attached second-story decking. The proposed garage is approximately 512 square feet in size. Minimal grading is expected (< 50 cubic yards,) and all trees proposed for removal are less than 12 inches in diameter. The height of the proposed structure is approximately 24 feet. Water and sewer services will be provided by the Resort Improvement District.

**Project Location:** The project is located in Humboldt County, in the Shelter Cove area, on the Northeast side of Shaker Road, approximately 580 feet from the intersection of Seafoam Road and Shaker Road, on the properties known as 117 and 125 Shaker Drive.

**Present Plan Land Use Designation:** Residential/Low Density (RL). South Coast Area Plan, 2017 General Plan. Density: 1-7 units per acre. Slope Stability: High Instability (3).

**Present Zoning:** Residential Single Family (RS-5) - Development Standard (S1), Qualified (Q), Design Review (D)

**Assessor Parcel Numbers:** 111-133-034 and 111-133-035

**Record Number:** PLN-2021-17288

<b>Applicant</b>	<b>Owners</b>	<b>Agent</b>
BDMC P.O. Box 323 San Jose, CA 95111	Rafael & Rosa Ascenso 324 Del Ray Ct San Jose, CA 95111	N/A

**Environmental Review:** Categorically Exempt per CEQA Guidelines Section 15303 (a) - New Construction or Conversion of Small Structures.

**Major Issues:** None.

**State Appeal Status:** Project is appealable to the California Coastal Commission.

**Ascenso Coastal Development Permit,  
Special Permit and Notice of Lot Merger  
Record Number: PLN-2021-17288  
Assessor's Parcel Number: 111-133-034 and 111-133-035**

**Recommended Action**

1. Describe the application as part of the Consent Agenda;
2. Survey the audience for any person who would like to discuss the application;
3. If no one requests discussion, make the following motion to approve the application as part of the consent agenda:

Find that the Zoning Administrator has found the project categorically exempt under Section 15303 (a) of the State CEQA Guidelines; make the required findings for approval of the Coastal Development Permit and Special Permit; and approve the Ascenso Coastal Development Permit, Special Permit and Notice of Lot Merger as recommended by staff and subject to the recommended conditions.

**Executive Summary:**

The applicant is requesting a Coastal Development Permit and Special Permit for Design Review for the construction of a two-story residence with attached garage. The proposed development footprint spans two lots from the existing subdivision, which are proposed to be merged as part of the project. The proposed residence is approximately 1,200 square feet in size and includes an approximately 360 square foot patio and approximately 360 square feet of attached second-story decking. The proposed garage is approximately 512 square feet in size. Minimal grading is expected (< 50 cubic yards), and all trees proposed for removal are less than 12 inches in diameter. The height of the proposed structure is approximately 24 feet. Water and sewer services, provided by the Resort Improvement District, have been applied for and approved.

The project meets all requirements of the Development Code:

<b>DEVELOPMENT STANDARDS</b>		
	<b>Development Code</b>	<b>Project</b>
Minimum Lot Size	5,000 sf	10,454 sf combined lot size
Minimum Lot Width	50 feet	180 feet combined lot
Setbacks	Front – 20 feet Interior Side – 5 Feet Rear - 10	Front – 40 feet +/- Interior Side – 15 feet +/- Rear – 14 feet, 9 inches
Max Ground Coverage	35%	17%
Max Height	35 feet	23.5 feet

Held in common ownership, the applicant proposes to merge parcels 111-133-034 and 111-133-035. The applicant must submit an Assessor's Parcel Change Request and complete the lot merger prior to issuance of building permits.

**Alternative:** The Zoning Administrator could recommend denial of the proposed Coastal Development Permit, Special Permit and Notice of Lot Merger if the Administrator finds that the submitted evidence does not support making all of the required findings. However, based on this staff report, planning staff believes the submitted evidence does support making all of the required findings and does not recommend further consideration of this alternative.



**RESOLUTION OF THE ZONING ADMINISTRATOR  
OF THE COUNTY OF HUMBOLDT**

**Resolution Number 21-**

**Record Number PLN-2021-17288**

**Assessor Parcel Numbers: 111-133-034 and 111-133-035**

**Resolution by the Zoning Administrator of the County of Humboldt certifying compliance with the California Environmental Quality Act and conditionally approving the Ascenso Coastal Development Permit, Special Permit and Notice of Lot Merger.**

**WHEREAS**, Ben McMahon (BDMC) submitted an application and evidence in support of approving a Coastal Development Permit and Special Permit to allow for the construction of a two-story 1,200 square foot residence with an attached 512 square foot garage. Including a 360 square foot patio and 360 square feet of second-story decking, on two lots, which are proposed to be merged as part of the project; and a Notice of Lot Merger for APNs 111-133-034 and 111-133-035; and

**WHEREAS**, the County Planning Division has determined the project is categorically exempt per CEQA Guidelines Section 15303 (a) - New Construction or Conversion of Small Structures; and

**WHEREAS**, the County Planning Division has reviewed the submitted application and evidence and has referred the application and evidence to involved reviewing agencies for site inspections, comments, and recommendations; and

**WHEREAS**, the Humboldt County Zoning Administrator held a duly noticed public hearing on **October 21, 2021**; reviewed, considered, and discussed the application for a Coastal Development Permit, Special Permit, and Notice of Lot Merger; and reviewed and considered all evidence and testimony presented at the hearing.

**Now, THEREFORE BE IT RESOLVED**, that the Zoning Administrator makes all the following findings:

- 1. FINDING:** Project Description: A Coastal Development Permit and Special Permit for Design Review for the construction of a two-story residence with attached garage. The proposed development footprint spans two lots from the existing subdivision, which are proposed to be merged as part of the project. The proposed residence is approximately 1,200 square feet in size and includes an approximately 360 square foot patio and approximately 360 square feet of attached second-story decking. The proposed garage is approximately 512 square feet in size. Minimal grading is expected (< 50 cubic yards), and all trees proposed for removal are less than 12 inches in diameter. The height of the proposed structure is

approximately 24 feet. Water and sewer services will be provided by the Resort Improvement District.

**EVIDENCE:** a) Project File: PLN-2021-17288

**2. FINDING:** **CEQA:** The project is categorically exempt per CEQA Guidelines Section 15303 (a) - New Construction or Conversion of Small Structures.

**EVIDENCE:** a) The project involves the construction of a new single-family residence of approximately 1,200 square feet in size with an attached garage of 512 square feet and an approximately 360 square foot patio with 360 square feet of attached second-story decking on an established lot in compliance with the General Plan land use and zoning designation of Residential Low Density (RL). No significant environmental impacts were identified.

#### **FINDINGS FOR COASTAL DEVELOPMENT PERMIT AND SPECIAL PERMIT**

**3. FINDING:** The proposed development is in conformance with the County General Plan, including the Shelter Cove and South Coast Community Plans.

**EVIDENCE:** a) The General Plan designation is Residential Low Density (RL). The RL designation is used for areas suitable for residential use where urban services are available or are anticipated to be available. Single family units on individual lots are the dominant use, but the designation can accommodate a mix of housing types including townhouses and common-wall clustered units. The Shelter Cove and South Coast Community Plans also designate the parcels as Residential Low Density. The project proposes a two story, single-family, three-bedroom residence. The water and sewer service will be provided through the Resort Improvement District.

b) The project complies with the County's Housing Element as the parcel was designated Residential Low Density in the 2017 General Plan and was considered for residential development in the County Housing Inventory

c) No known biological resources have been identified on the Project site.

**4. FINDING:** The proposed development is consistent with the purposes of the existing zone in which the site is located and the proposed development conforms to all applicable standards and requirements of these regulations.

- EVIDENCE:**
- a) The project is located on land zoned Residential Single-Family (RS-5), Qualified (Q), and Design Review (D).
  - b) The project complies with all development standards of the zone including lot size, setbacks and building height.
  - c) The property is within the Design Review (D) combining zone. Special Building Structural Design Standards for Shelter Cove include the requirement for a minimum building width dimension of 20 feet, a minimum 12-inch roof overhang, foundations designed for Seismic Zone IV, and no use of unfinished or galvanized siding or roofing materials. The proposed building is an 1,200 square foot, 2-story, residence. The proposed materials consist of Hardie Shingle and Plank siding painted tan, with brown stained trim. Conditions of Approval placed on the project ensure compliance with the design review requirements for Shelter Cove. A Neighborhood Design Survey was completed and the proposed residence is compatible with the design of other buildings in the surrounding area.
  - d) The project is subject to the regulations of a (Q) zone as amended by Humboldt County Ordinance 1914. The purpose of Q Zone restrictions and regulations is to:
    - 1) Protect neighboring property from inappropriate recreational or residential development; and
    - 2) Protect the existing water system and public roads from becoming over-burdened by the development of secondary dwelling units on existing lots in a subdivision that was originally planned for development of no more than one dwelling unit per lot.The project proposes a single-family, 2 story, 3-bedroom residence and therefore is in compliance with the Q zoning designation.

**5. FINDING:** The proposed development and conditions under which it may be operated or maintained will not be detrimental to the public health, safety, or welfare; or materially injurious to property or improvements in the vicinity.

**EVIDENCE:** The project site has a Relative Slope Stability of "high instability" and is located in an area with the probability for "high shaking" from earthquakes. The project is required to have foundations designed for Seismic Zone IV, as well as meet all applicable California Building Code requirements. The parcel is not located within a 100-year floodplain. The project will not be detrimental to the public health, safety, or welfare; or materially injurious to property or improvements in the vicinity.

**6. FINDING:** The proposed development does not reduce the residential density for any parcel below that utilized by the Department of

Housing and Community Development in determining compliance with housing element law.

- EVIDENCE:** a) The project site was designated as Residential Low Density in the adopted 2017 Humboldt County General Plan. The construction of a single-family residence was anticipated at the time of General Plan adoption.

#### **FINDINGS FOR LOT MERGER**

- 7. FINDING:** At least one of the parcels is a legally created parcel,

**EVIDENCE:** Both parcels were legally created: LTS 10 & 11 in Block 135, of Tract No. 42. Sheller Cove Subdivision as per Map recorded in Book 14, Pages 73 to 138 Inclusive of Maps, in the Office of the County Recorder of said County, as amended by the Amending Map recorded In Book 15, Pages 64 to 116 Inclusive, of Maps, In the Office of the County Recorder or said County.

- 8. FINDING:** The merger does not create a nonconformity or cause an existing non-conformity to become more out of compliance,

**EVIDENCE:** The lots, as they currently exist, are in compliance with the current General Plan and Zoning requirements. The merged lots will be in compliance with regards to Residential Single Family (RS-5) development standards.

- 9. FINDING:** The merger does not cause any building, health or safety conditions.

**EVIDENCE:** The merger of two (2) legally created lots will not cause any building, health or safety conditions.

**NOW, THEREFORE,** based on the above findings and evidence, the Humboldt County Zoning Administrator does hereby:

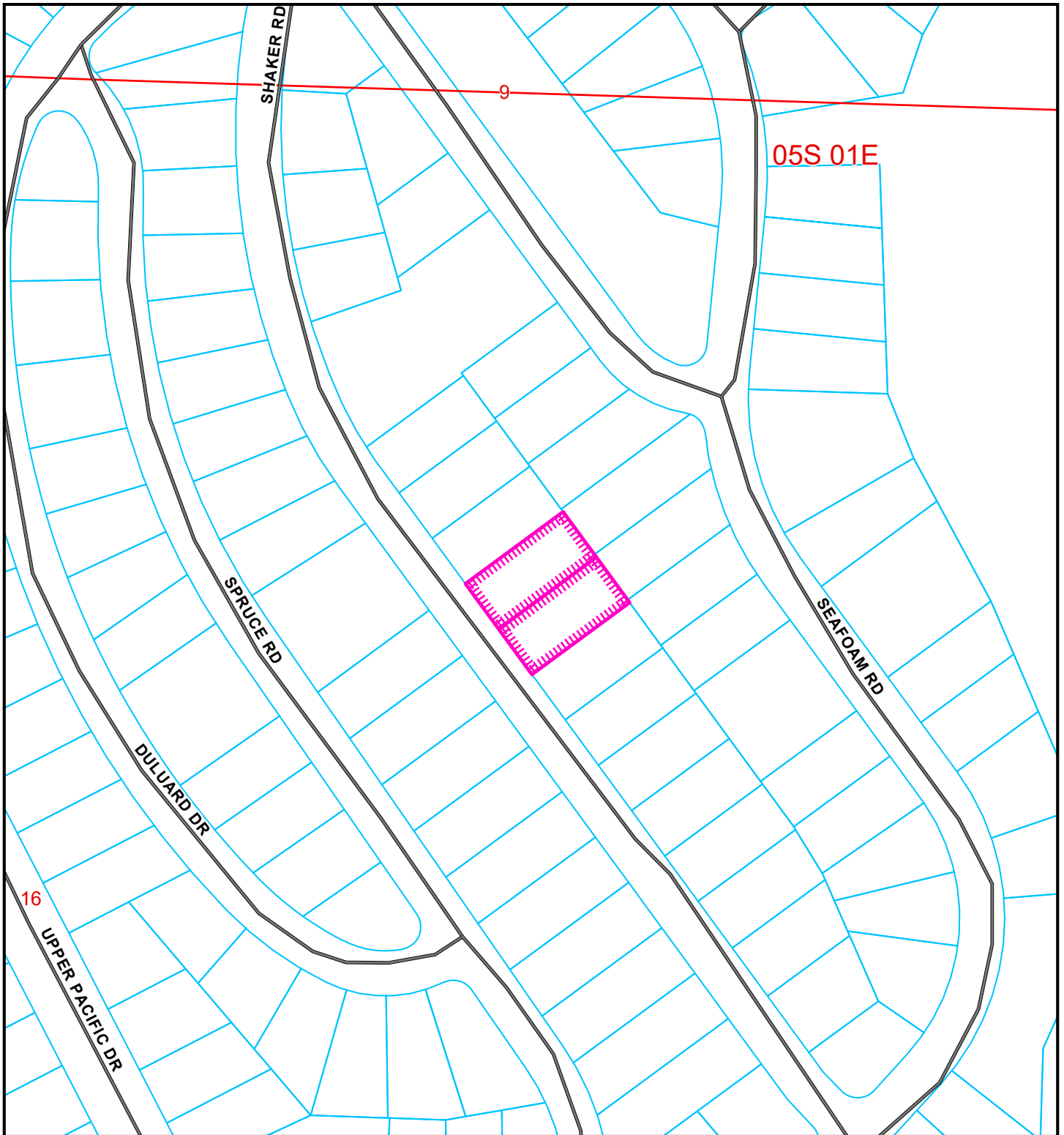
- Adopt the findings set forth in this resolution; and
- Conditionally approves the Ascenso Coastal Development Permit, Special Permit and Notice of Lot Merger based upon the Findings and Evidence and subject to the conditions of approval attached hereto as Attachment 1 and incorporated herein by reference; and

Adopted after review and consideration of all the evidence on **October 21, 2021.**

I, John H. Ford, Zoning Administrator of the County of Humboldt, do hereby certify the foregoing to be a true and correct record of the action taken on the above-entitled matter by said Zoning Administrator at a meeting held on the date noted above.

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John H. Ford, Zoning Administrator  
Planning and Building Department



**LOCATION MAP**

**PROPOSED BDMC  
COASTAL DEVELOPMENT PERMIT, SPECIAL PERMIT, NOTICE OF MERGER  
SHELTER COVE AREA**

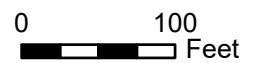
**PLN-2021-17288**

**APN: 111-133-034 & -035**

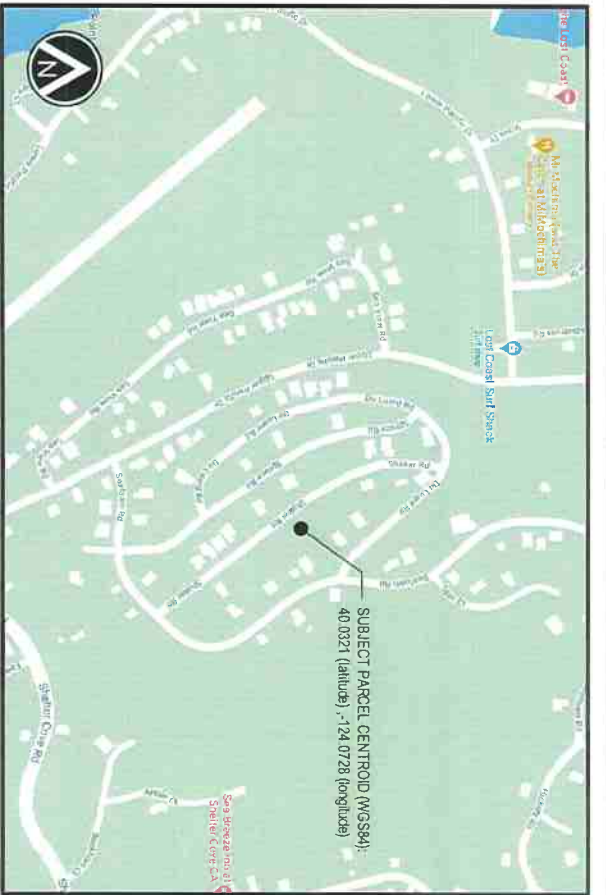
**T05S R01E S09 HB&M (Shelter Cove)**

**Project Area =** 

This map is intended for display purposes and should not be used for precise measurement or navigation. Data has not been completely checked for accuracy.







**DIRECTIONS TO SITE**

- FROM: REDWAY, CA
- HEAD NORTHWEST ON REDWOOD DR TOWARD BRIGELAND RD, 305 FT
  - TURN LEFT AT THE 1ST CROSS STREET ONTO BRIGELAND RD, 12.1 MI
  - SLIGHT RIGHT ONTO SHELTER COVE RD, 4.6 MI
  - TURN LEFT TO STAY ON SHELTER COVE RD, 4.5 MI
  - TURN RIGHT ONTO UPPER PACIFIC DR, 0.1 MI
  - TURN LEFT ONTO SEAFOAM RD, 0.1 MI
  - TURN LEFT ONTO SHAKER RD
  - DESTINATION WILL BE ON THE RIGHT
  - DESTINATION: 105 SHAKER ROAD, SHELTER COVE, CA 95589

**VICINITY MAP**  
SCALE: NTS



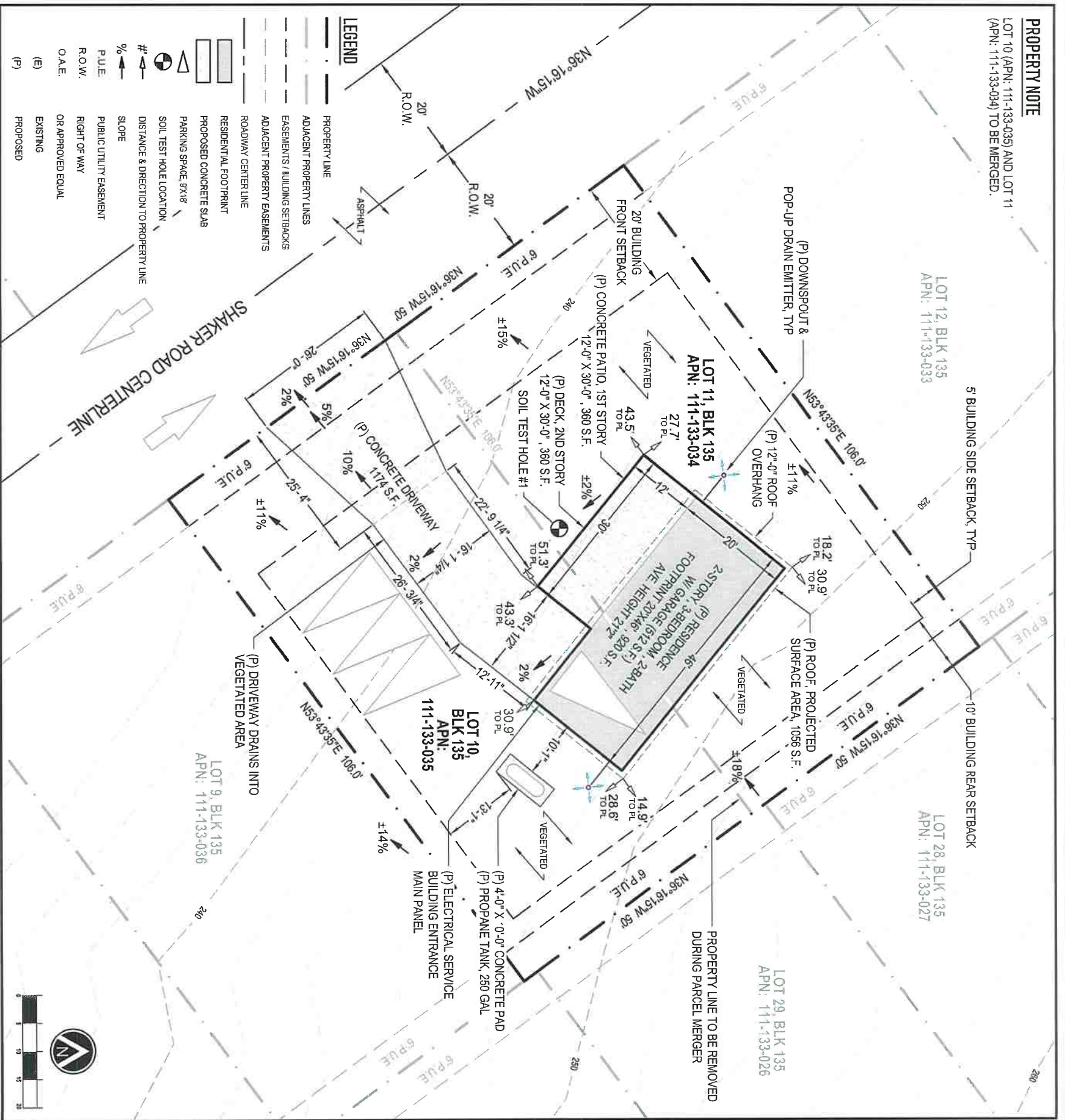
**POST-PROJECT IMPERVIOUS SURFACE AREA**

RESIDENCE (20X46)	920 S.F.
PATIO (12X30)	360 S.F.
DRIVEWAY	1174 S.F.
PROPANE TANK PAD (4X10)	40 S.F.
<b>TOTAL</b>	<b>2494 S.F.</b>

**NOTES**

- NO TREES 12"Ø OR GREATER TO BE REMOVED.
- MUNICIPAL WATER SUPPLY AND SANITARY SEWER.
- 40 FT RIGHT OF WAY FOR SHAKER ROAD FRONTING SUBJECT PARCEL.
- DRIVEWAY APPROACH SHALL BE A MAXIMUM OF 2% FROM WITHIN THE COUNTY RIGHT OF WAY TO THE PROPERTY LINE. A MAXIMUM OF 5% FOR THE FIRST 5 FEET ON PROPERTY AND A MAXIMUM OF 10% FOR THE NEXT 10 FEET ON PROPERTY.
- EASEMENTS: 6' PUBLIC UTILITY EASEMENT ALONG PROPERTY BOUNDARY FRONTING SHAKER ROAD. 6' PUBLIC UTILITY EASEMENT ALONG REAR PROPERTY BOUNDARY.
- 2,494 SQUARE FEET OF POST PROJECT IMPERVIOUS SURFACE AREA. WITH A POST PROJECT IMPERVIOUS SURFACE AREA OF LESS THAN 2,500 SQUARE FEET THE PROJECT QUALIFIES AS "EXEMPT" FROM LOW IMPACT DEVELOPMENTS MEASURES ASSOCIATED WITH THE GENERAL MS4 PERMIT ACCORDING TO STANDARDS OUTLINED IN CHAPTER 1, TABLE 1 OF THE **HUMBOLDT LOW IMPACT DEVELOPMENT STORMWATER MANUAL, 2016**.
- < 50.0 CUBIC YARDS TOTAL GRADING TO PREPARE BUILDING SITE.
- DRIVEWAY MEETS STANDARDS OUTLINED IN TITLE 4, CHAPTER 1, SECTION 411 AND TITLE 3, CHAPTER 1, SECTION 341 OF THE HUMBOLDT COUNTY CODE.
- A MINIMUM OF 5 FEET OF SEPARATION IS RECOMMENDED BETWEEN FACE OF BUILDING AND POP-UP DRAIN EMITTERS (O.A.E.).
- PARCEL DATA TAKEN FROM BOOK 14 OF RECORD MAPS, PG. 90, SHELTER COVE SUBDIVISION, TRACT 42 IN SEC. 9,16, T5S, R1E.

**PROPERTY NOTE**  
LOT 10 (APN: 111-133-035) AND LOT 11 (APN: 111-133-034) TO BE MERGED.



**LEGEND**

--- (dashed line)	PROPERTY LINE
--- (dashed line)	ADJACENT PROPERTY LINES
--- (dashed line)	EASEMENTS / BUILDING SETBACKS
--- (dashed line)	ADJACENT PROPERTY EASEMENTS
--- (dashed line)	ROADWAY CENTERLINE
--- (dashed line)	RESIDENTIAL FOOTPRINT
--- (dashed line)	PROPOSED CONCRETE SLAB
--- (dashed line)	PARKING SPACE 9'x18'
○ (circle with crosshair)	SOIL TEST HOLE LOCATION
↗ (arrow with slope %)	DISTANCE & DIRECTION TO PROPERTY LINE
↗ (arrow with slope %)	SLOPE
--- (dashed line)	PUBLIC UTILITY EASEMENT
--- (dashed line)	R.O.W.
--- (dashed line)	O.A.E.
--- (dashed line)	EXISTING
--- (dashed line)	PROPOSED

**SITE PLAN**  
SCALE: 1"=20'

NO.	DATE	DESCRIPTION	BY

**A.M. Baird**  
Engineering & Surveying, Inc.  
1257 Main Street., P.O. Box 396,  
Fortuna, CA 95540, (707) 725-5182

**RALPH ACENSO**  
APN: 111-333-034 & 111-333-035  
ADDRESS: 117 & 125 SHAKER ROAD, SHELTER COVE, CA 95589

**NEW RESIDENTIAL CONSTRUCTION**  
SITE PLAN

JOB # 20-4952  
SHEET # A-100

## ATTACHMENT 1

### RECOMMENDED CONDITIONS OF APPROVAL

#### Conditions of Approval for the Ascenso Coastal Development Permit, Special Permit, and Notice of Lot Merger

APPROVAL OF THE PERMITS IS CONDITIONED ON THE FOLLOWING TERMS AND  
REQUIREMENTS

#### **Conditions of Approval:**

1. The work shall be conducted in accordance with the Project Description and Construction Documents submitted on June 8, 2021.
2. Changes in the project other than Minor Deviations from the Plot Plan as provided in HCC Section 312-11.1 shall require a modification of this permit.
3. Applicant shall obtain a Building Permit that includes an engineered grading, erosion and sediment control plan.
4. The applicant is required to pay for permit processing on a time and material basis as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of Supervisors. The Department will provide a bill to the applicant after the decision. Any and all outstanding Planning fees to cover the processing of the application to decision by the Hearing Officer shall be paid to the Humboldt County Planning Division, 3015 "H" Street, Eureka.
5. **Within five (5) days of the effective date of the approval of this permit**, the applicant shall submit a check to the Planning Division payable to the Humboldt County Recorder in the amount of \$50.00 for the filing of the Notice of Exemption.
6. Prior to issuance of building permits, the applicant shall submit an Assessor's Parcel Change Request and complete the merger of Assessors Parcels 111-133-035 and 111-133-035.
7. Applicant must apply for and obtain an encroachment permit for the construction of driveway on Shaker Drive. [reference: County Code section 411-11 (a)(b)]
8. The County Road is not constructed to allow on-street parking. All parking must be developed on-site or applicant must construct a parking lane along the County road in a manner approved by this Department. All parking required by Code must be constructed prior to occupancy of building or "final" issued for building permit. [reference: County Code section 313-109.1 *et seq.*]
9. The permit will require the driveway entrance to be surfaced with asphalt concrete or Portland cement concrete. The paved area shall extend a minimum of 20 feet back from the edge of the existing roadway pavement and be flared a minimum of



30 feet at the intersection with the County road. The driveway shall intersect the County road at a 90° angle. The driveway grade shall not exceed 2% in the first 20 feet. [reference: County Code sections 313-109.1.3.2.5 and 411-51 (b)(3)]

10. Site Visibility must be maintained at the driveway entrance. [reference: County Code section 341-1 *et seq.*]
11. After the building pad and driveway have been rough graded, the applicant shall contact the Public Works inspector to ensure that the proposed driveway grades are in conformance with County Code, prior to construction of the building foundation and/or driveway. [reference: County Code Section 411-15]
12. Applicant shall be responsible to correct any involved drainage problems within the County road right of way to the satisfaction of this Department.
13. Low Impact Development (LID): The subject property is located within the municipal separate storm sewer system (MS4) boundary area. Development of the property is required to comply with MS4 permit requirements. The Applicant is advised to ensure that MS4 requirements for the proposed project can be achieved prior to the project being heard by the Planning Commission (or Zoning Administrator). [Reference: National Pollutant Discharge Elimination System (NPDES) General Permit For Waste Discharge Requirements (WDRS) for Storm Water Discharges From Small Municipal Separate Storm Sewer Systems (MS4S), Order No. 2013-0001-DWQ, NPDES No.AS000004 adopted 02/05/2013, Section E.12; Humboldt Low Impact Development Stormwater annual version 2.0 (06/30/2016), Part A, Table 1]
14. Development of property is also required to comply with provisions for point source discharges of stormwater and non-point source waste discharges as specified in the General Exception of the California Ocean Plan for select Discharges into Areas of Special Biological Significance (ASBS), Including Special Protections for Beneficial Uses, Sections I.A and I.B (State Water Resources Control Board Resolution 2012-0031 as amended 6/19/2012).
15. The project shall comply with the following Shelter Cove design review standards:
  - a. A minimum building width dimension of 20 feet;
  - b. A minimum 12-inch roof overhang;
  - c. Foundations designed for Seismic Zone IV;
  - d. No use of unfinished or galvanized siding or roofing materials.

**Informational Notes:**

1. If buried archaeological or historical resources are encountered during construction activities, the contractor on-site shall call all work in the immediate area to halt temporarily, and a qualified archaeologist is to be contacted to evaluate the materials. Prehistoric materials may include obsidian or chert flakes, tools, locally darkened midden soils, groundstone artifacts, dietary bone, and human burials. If human burial is found during construction, state law requires that the County Coroner be contacted immediately. If the remains are found to be those of a Native

American, the California Native American Heritage Commission will then be contacted by the County Coroner to determine appropriate treatment of the remains. The applicant is ultimately responsible for ensuring compliance with this condition.

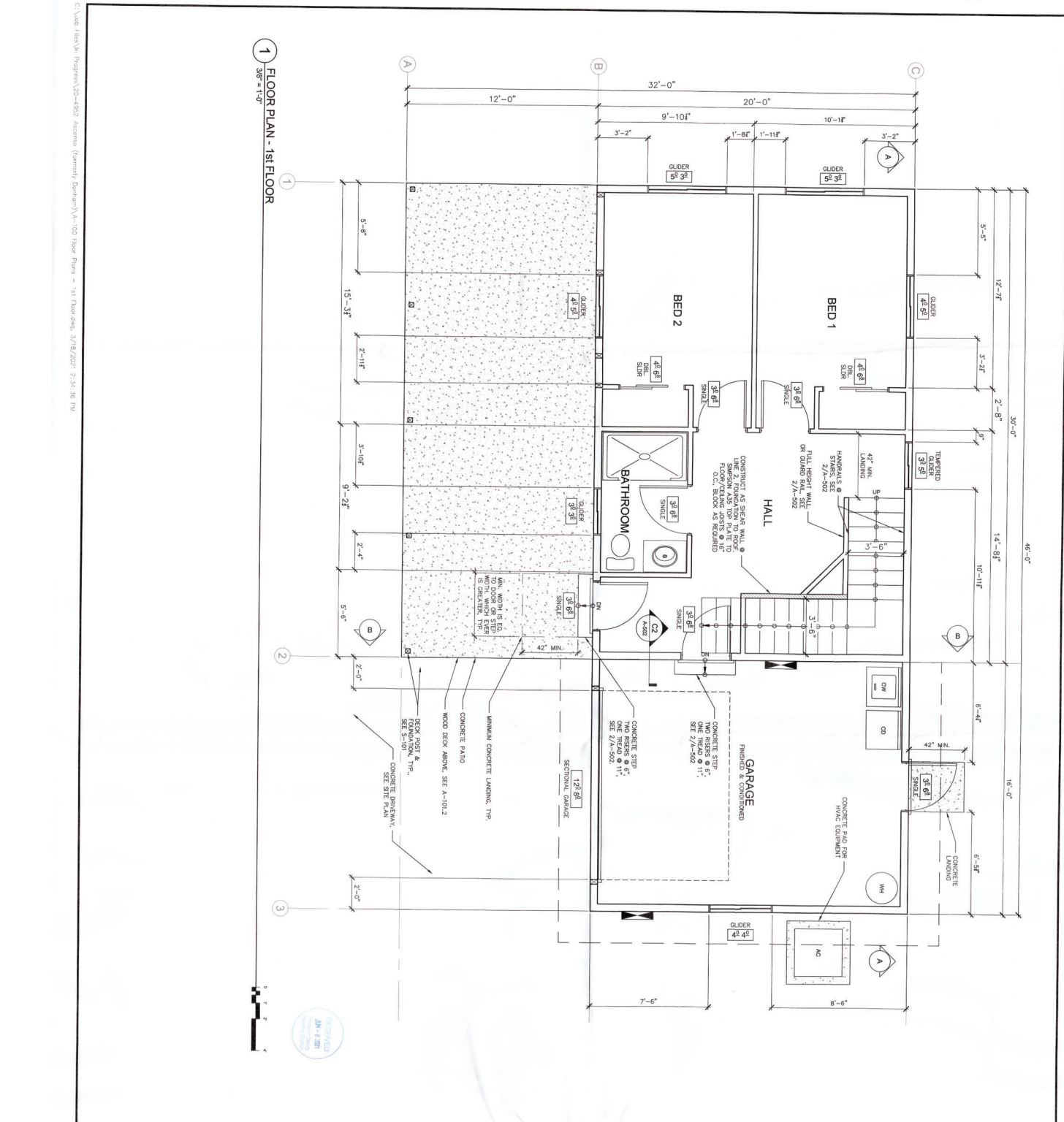
2. The applicant is responsible for receiving all necessary permits and/or approvals from other federal, state and local agencies.
3. The Coastal Development Permit and Special Permit shall expire and become null and void at the expiration of two (2) years after all appeal periods have lapsed (see "Effective Date"); except where use in reliance on the permit has commenced prior to such anniversary date. The period within which use must be commenced may be extended as provided by Section 312-11.3 of the Humboldt County Code.

## **ATTACHMENT 2**

### **Applicant's Evidence in Support of the Required Findings**

Attachment 2 includes a listing of all written evidence which has been submitted by the applicant in support of making the required findings. The following materials are on file with the Planning Division:

- Application Form (in file)
- Site Plan (attached)
- Construction Plans (attached)
- Current Deed (in file)
- Title Report (In file)
- Erosion Control Plan (in file)
- Geological Report (in file)



- CONSTRUCTION NOTES**
- BEFORE STARTING WORK AND NOTIFY OWNERS OF ANY DISCREPANCIES FOUND. CONTRACTOR SHALL ALSO NOTIFY ARCHITECT IMMEDIATELY.
  - WORK AND MATERIALS INCLUDED IN THIS PROJECT SHALL BE IN ACCORDANCE WITH LATEST REGULATIONS OF LEGALLY CONSTITUTED AGENCIES HAVING JURISDICTION AND WITH RULES OF SPECIFICATIONS SHALL NOT BE CONSIDERED AS PERMITTED WORK NOT IN CONFORMANCE WITH REQUIREMENTS.
  - MANUFACTURERS SUGGESTED INSTALLATION METHODS AND SPECIFICATIONS SHALL BE USED UNLESS OTHERWISE NOTED OTHERWISE. ALL WORK SHALL BE CONDUCTED IN A SAFE MANNER AND IN ACCORDANCE WITH THE ACCUMULATION OF DEBRIS AND SCRAP MATERIAL.
  - THE DESIGN, ARCHITECT, AND THE SAFETY OF ERECTION BRACKING, CONSTRUCTION METHODS, IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  - ROOF COVERINGS SHALL COMPLY WITH 2019 CBC REQUIREMENTS.
  - ELECTRICAL, TELEPHONE AND CABLE TV SYSTEMS SHALL BE INSTALLED PER THE 2019 EDITION OF THE NEC, CBC, LOCAL, AND COUNTY REGULATIONS AND LOCAL ORDINANCES.
  - THE PERMITS AND LOCAL ORDINANCES SHALL BE INSTALLED PER THE 2019 EDITION OF APPLICABLE CODES.
  - 2019 CALIFORNIA BUILDING CODE.
  - 2019 CALIFORNIA ELECTRICAL CODE.
  - 2019 CALIFORNIA PLUMBING CODE.
  - 2019 CALIFORNIA FIRE CODE.
  - 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS CODE HOLD HARMLESS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY THIS PROJECT. EXCEPTING LIABILITY ARISING FROM THE SOLE RESPONSIBILITY OF DESIGN PROFESSIONAL.
- TYPICAL DOOR NOTES**
- ALL DOOR FRAMINGS ARE COMPACT GULF FOR LUMBER INFORMATION. SEE MANUFACTURER'S DETAILS FOR THE DESIGNER WITH ANY CHANGES TO DOORS ON THE FLOOR PLANS REFLECT LEAF SIZE.
  - ALL DOOR STOPS SHALL BE INTERIOR WITH DOOR FINISH.
  - ALL DOOR STOPS SHALL BE INTERIOR WITH DOOR FINISH.
  - ALL SWINGING DOORS OPENING TO THE EXTERIOR OR TO UNFINISHED AREAS SHALL BE FULL WEATHER STRIPPED UNLESS OTHERWISE NOTED OTHERWISE.
  - ALL DOOR LABELS TO REMAIN UNTIL FINAL INSPECTION IS APPROVED.
  - REMOVE SELF-CLOSERS AT 'R' TO U OCCUPANCY.
  - REMOVE SELF-CLOSERS AT 'R' TO U OCCUPANCY.
  - REMOVE SELF-CLOSERS AT 'R' TO U OCCUPANCY.
- TYPICAL WINDOW NOTES**
- ALL WINDOW FRAMINGS ARE COMPACT GULF FOR LUMBER INFORMATION. SEE MANUFACTURER'S DETAILS FOR THE DESIGNER WITH ANY CHANGES TO WINDOWS ON THE FLOOR PLAN REFLECT ROUGH.
  - CONTRACTOR TO VERIFY ALL EXISTING ROUGH OPENINGS AND CONTACT MANUFACTURER FOR WINDOW SIZES.
  - SEE FLOOR PLAN FOR OPERATION DIRECTION.
  - WINDOWS FINISHES WITH FINISH FROM TO OPERATIONS.
  - ALL SWINGING WINDOWS OPENING TO THE EXTERIOR, OR TO UNFINISHED AREAS SHALL BE FULL WEATHER STRIPPED UNLESS OTHERWISE NOTED OTHERWISE.
  - REMOVE SWIFT CLAS AT 'T' OR OPERABLE DOORS. SEE DECEPTIONS WITH 'R' OF FLOOR PLAN.
  - AT ALL HAZARDOUS TOXIC LOADINGS.
  - ALL GLAZING SHALL BEAR A STAMP INDICATING MANUFACTURERS APPROVED.
  - ALL GLAZING SHALL BE PROVIDED AS SPECIFIED IN THIS SCHEDULE.
  - ALL SWINGING WINDOWS OPENING TO THE EXTERIOR, OR TO UNFINISHED AREAS SHALL BE FULL WEATHER STRIPPED UNLESS OTHERWISE NOTED OTHERWISE.
  - NET CLEAR OPENING OF 5'7" SEE PLAN.
  - NET CLEAR OPENING SHALL BE 20" HORIZONTAL CLEAR DIM.
  - SEE ELEVATIONS FOR GROUND AND WALL FINISHES.

**SHEET INDEX**

- A-100 SITE PLAN
- A-101 FLOOR PLAN - 2ND FLOOR
- A-101.2 REFLECTED CEILING/ELEC. PLAN - 1ST FLOOR
- A-102.2 REFLECTED CEILING/ELEC. PLAN - 2ND FLOOR
- A-103 ROOF PLAN
- A-200 EXTERIOR ELEVATIONS
- A-202 EXTERIOR ELEVATIONS
- S-101 FOUNDATION PLAN
- S-102 FLOOR-CEILING & GARAGE ROOF FRAMING PLAN
- A-502 ANCHOR BOLT FRAMING PLAN
- A-504 WOOD FRAMING DETAILS

APN: 111-133-034 & 111-133-035  
117 & 125 SHAKER MEADOWS STREET SHELTER COVE, CALIFORNIA

NEW CONSTRUCTION  
ASCENSO  
FLOOR PLAN - 1st FLOOR

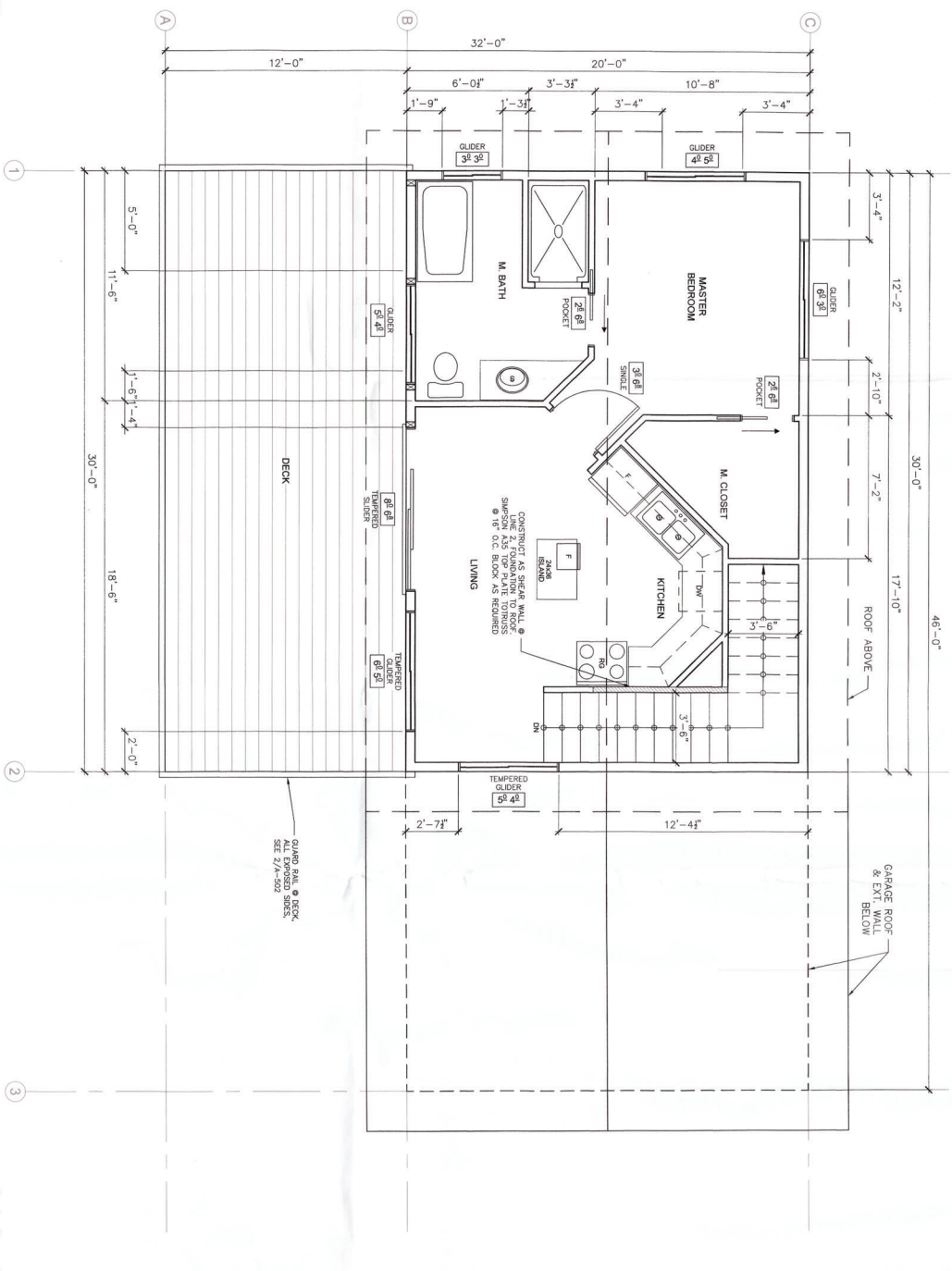
October 2, 2021

A.M. Baird  
Engineering & Surveying  
1045 Main St., P.O. Box 396, Fortuna, CA 95540  
(707)725-5182

NO.	DATE	DESCRIPTION	BY
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SCALE: AS SHOWN  
DRAWN BY: A.L.B.  
CHKD: A.L.B.  
DATE: 03/17/21

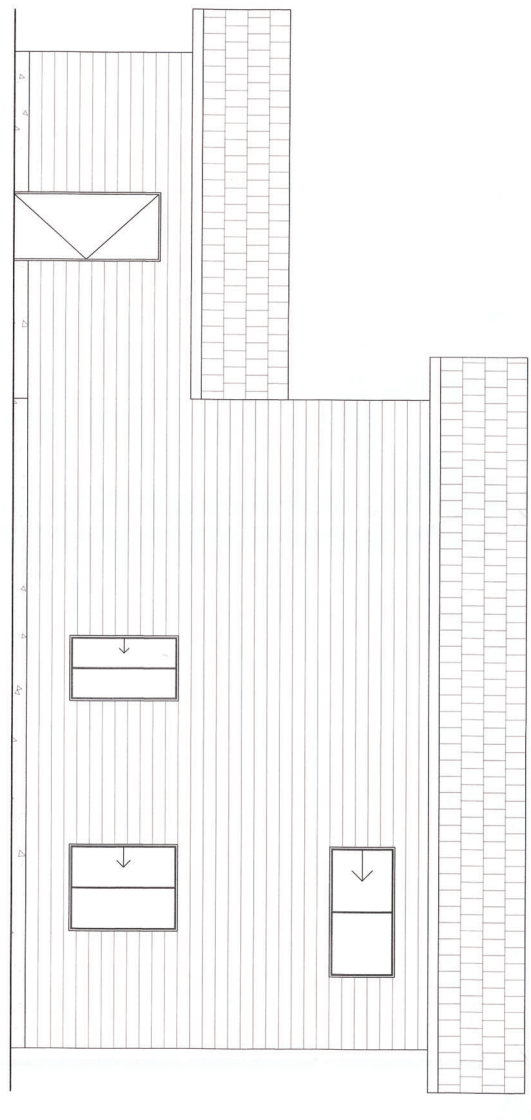
**1** FLOOR PLAN - 2ND FLOOR  
308'-11-10"



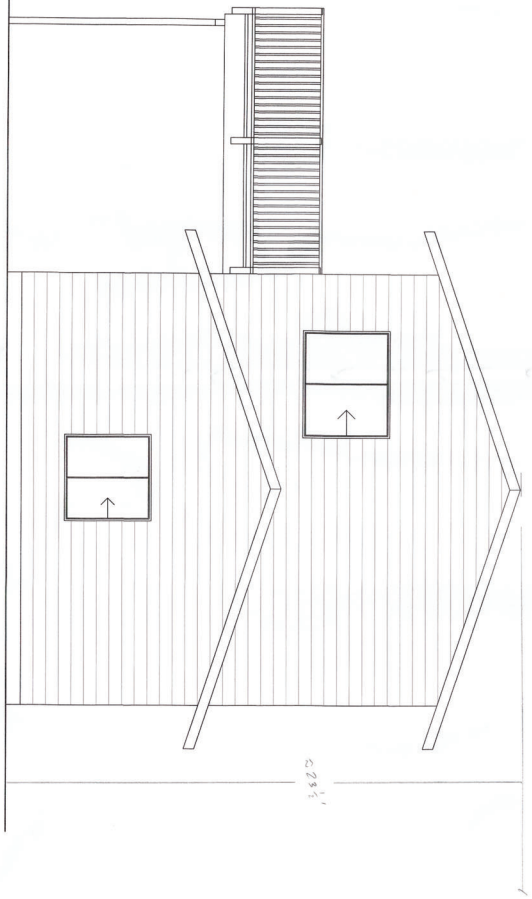
<p><b>A-101.2</b></p>	<p>ASCENSO RESIDENCE APN: 111-133-034 &amp; 111-133-035 117 &amp; 125 SHAKER STREET SHELTER COVE, CALIFORNIA</p> <p>NEW CONSTRUCTION</p> <p>PLN-2021-17288 Ascenso 2ND FLOOR - 2nd FLOOR</p>	<p>SCALE: AS SHOWN DRAWN BY: SALS CHKD: A.M.B. DATE: 03/17/21</p>		<p><b>A.M. Baird</b> Engineering &amp; Surveying</p> <p>1045 Main St., P.O. Box 396, Fortuna, CA 95540 (707)725-5182</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>5</td><td></td></tr> <tr><td>4</td><td></td></tr> <tr><td>3</td><td></td></tr> <tr><td>2</td><td></td></tr> <tr><td>1</td><td></td></tr> <tr><td>NO.</td><td>DATE</td></tr> </table>	5		4		3		2		1		NO.	DATE	<p>Page 17 REVISIONS</p>
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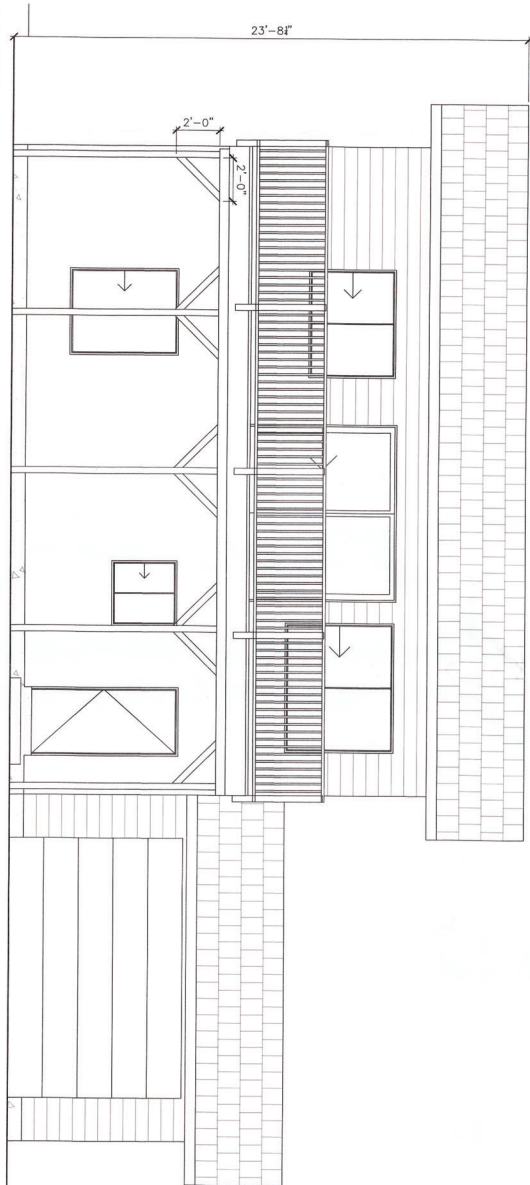
**2 EAST ELEVATION**  
3/8" = 1'-0"



**1 NORTH ELEVATION**  
3/8" = 1'-0"

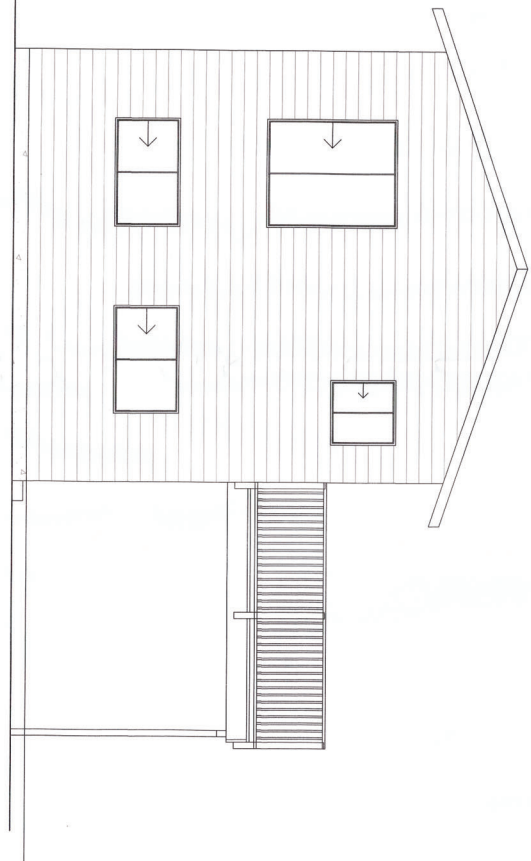


2 WEST ELEVATION  
3/8" = 1'-0"



0 2 4 6

1 SOUTH ELEVATION  
3/8" = 1'-0"



0 2 4 6

A-202  
JOB NO. 20-452

ASCENSO RESIDENCE  
APN: 111-133-034 & 111-133-035  
117 & 125 SHAKER STREET SHELTER COVE,  
CALIFORNIA  
NEW CONSTRUCTION  
Ascenso  
EXTERIOR ELEVATIONS

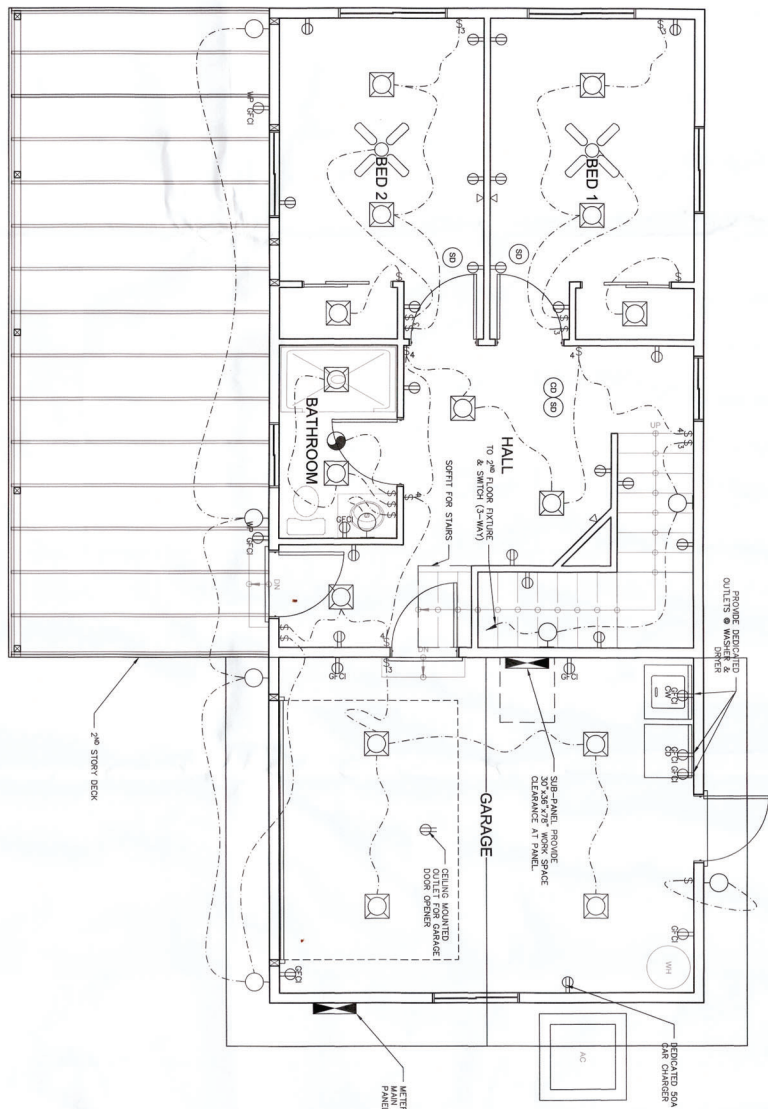
SCALE	AS NOTED
DRAWN BY	S.M.S.
CHECKED BY	A.M.B.
DATE	09/17/21



**A.M. Baird**  
Engineering & Surveying  
1045 Main St., P.O. Box 396, Fortuna, CA 95540  
(707)725-5182

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NO.	DATE	DESCRIPTION	BY

1 REFLECTED CEILING ELECTRICAL PLAN - 1st FLOOR  
308-149



**ELECTRICAL LEGEND**

	CEILING MOUNTED LED FIXTURE		RECESSED LED FIXTURE
	WALL MOUNTED LED FIXTURE		LED PENDANT LIGHT
	CEILING MOUNTED EXHAUST FAN		UNDER-CABINET LED LIGHT
	CEILING MOUNTED SMOKE DETECTOR		CEILING MOUNTED CARBON MONOXIDE DETECTOR
	JUNCTION BOX		110V DUPLEX RECEPTACLE
	220V DUPLEX RECEPTACLE		DUPLEX, GROUND FAULT PROTECTED RECEPTACLE
	FIRE ALARM PULL STATION		FIRE ALARM CONTROL UNIT
	FIRE ALARM CONTROL UNIT		FIRE ALARM CONTROL UNIT

**NOTES**

1. 6'-0" CEILING UNLESS NOTED OTHERWISE.
2. CONTRACTOR TO COORDINATE WITH OWNER FOR DIMMER LOCATIONS.
3. PLATE & EXPOSURE STILES BY OTHERS.
4. PROVIDE 2" CLEARANCE FROM METAL PANEL TO ATTIC FOR FURDUE.
5. TV LOCATIONS - RUN ONE CAT-5 & ONE CAT-6 FROM FLOOR TO TV WALL MOUNTING LOCATION IN LIVING ROOM.

**ELECTRICAL NOTES**

1. ALL BATHROOM, LAUNDRY AND KITCHEN SHALL BE GFCI PROTECTED.
2. BATHROOM FANS TO BE INSTALLED TO EXTERIOR RAISED FOR A MIN. 5' AIR CLEARANCE PER LOCAL CODES.
3. LIGHTING REQUIRED AT EACH EXIT.
4. ALL GENERAL USE 120V, 15 & 20 AMP OUTLETS SHALL BE GFCI PROTECTED.
5. ALL GENERAL USE 15 & 20 AMP OUTLETS ARE REQUIRED TO BE TAMPER RESISTANT.
6. ONE ELECTRICAL METER SHALL BE PROVIDED FOR EACH PRIMARY USE ON LOCAL PANELS.
7. OVER CURRENT DEVICES (CIRCUIT BREAKERS) SHALL BE LOCATED IN THE MAIN ELECTRICAL PANEL OR IN THE MAIN ELECTRICAL PANEL (SEE THE OPERATING HANDLE OF THE SWITCH OR CIRCUIT BREAKER, THE FLOOR OR WORKING PLATFORM).
8. ALL ELECTRICAL PANELS SHALL BE LOCATED IN THE MAIN ELECTRICAL PANEL OR IN THE MAIN ELECTRICAL PANEL (SEE THE OPERATING HANDLE OF THE SWITCH OR CIRCUIT BREAKER, THE FLOOR OR WORKING PLATFORM).
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12. ALL ELECTRICAL PANELS SHALL BE LOCATED IN THE MAIN ELECTRICAL PANEL OR IN THE MAIN ELECTRICAL PANEL (SEE THE OPERATING HANDLE OF THE SWITCH OR CIRCUIT BREAKER, THE FLOOR OR WORKING PLATFORM).
13. ALL ELECTRICAL PANELS SHALL BE LOCATED IN THE MAIN ELECTRICAL PANEL OR IN THE MAIN ELECTRICAL PANEL (SEE THE OPERATING HANDLE OF THE SWITCH OR CIRCUIT BREAKER, THE FLOOR OR WORKING PLATFORM).
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17. ALL ELECTRICAL PANELS SHALL BE LOCATED IN THE MAIN ELECTRICAL PANEL OR IN THE MAIN ELECTRICAL PANEL (SEE THE OPERATING HANDLE OF THE SWITCH OR CIRCUIT BREAKER, THE FLOOR OR WORKING PLATFORM).

**ENERGY COMPLIANCE NOTES**

1. ALL INSTALLED OUTDOOR LIGHTING, WHERE THE BOTTOM OF THE LUMINAIRE IS LOCATED AT OR ABOVE FINISHED FLOOR LEVEL, SHALL BE CONTROLLED BY AUTOMATIC LIGHTING CONTROLS THAT MEET ALL OF THE FOLLOWING REQUIREMENTS:
  - A. SHALL BE AUTOMATIC SENSORS OR OTHER LIGHTING CONTROL SYSTEMS THAT ARE CAPABLE OF AUTOMATICALLY REDUCING THE LIGHTING OUTPUT TO 10% OF THE FULL OUTPUT OR PROVIDE CONTINUOUS DIMMING FROM 10% TO 100% OF THE FULL OUTPUT.
  - B. SHALL BE CAPABLE OF AUTOMATICALLY REDUCING THE LIGHTING OUTPUT TO 10% OF THE FULL OUTPUT OR PROVIDE CONTINUOUS DIMMING FROM 10% TO 100% OF THE FULL OUTPUT.
  - C. SHALL BE CAPABLE OF AUTOMATICALLY REDUCING THE LIGHTING OUTPUT TO 10% OF THE FULL OUTPUT OR PROVIDE CONTINUOUS DIMMING FROM 10% TO 100% OF THE FULL OUTPUT.

**PLUMBING NOTES**

1. SHOWERS AND TUB SHOWERS COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE.
2. THERMOSTATIC OR COMBINATION PRESSURE BALANCE AND THERMOSTATIC TYPES THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION SHALL BE PROVIDED.
3. APPROVED NON-ADJUSTABLE BACKFLOW PREVENTION DEVICES SHALL BE PROVIDED ON HOSE BIBBS.

**MECHANICAL NOTES**

1. ALL ELECTRICAL AND/OR GAS METERS SHALL BE REMOUNTED FOR EACH PRIMARY USE ON LOCAL PANELS.
2. ONE ELECTRIC AND/OR GAS METER SHALL BE REMOUNTED FOR EACH PRIMARY USE ON LOCAL PANELS.
3. OVERHEAD VENT MUST TERMINATE OUTSIDE OF BUILDING, MAX LENGTH 14' OR TO MAINTAIN CLEARANCES.
4. FROSTED AIR DUCT AND/OR EXHAUST WATER HEATER SHALL BE OK, APPROVED, LISTED AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
5. CONTROLS FOR GAS VALVES SHALL BE OPERABLE WITH ONE HAND AND DO NOT REQUIRE BOTH HANDS TO OPERATE. CONTROLS SHALL BE LOCATED TO ACCESSIBLE REACH RANGES.

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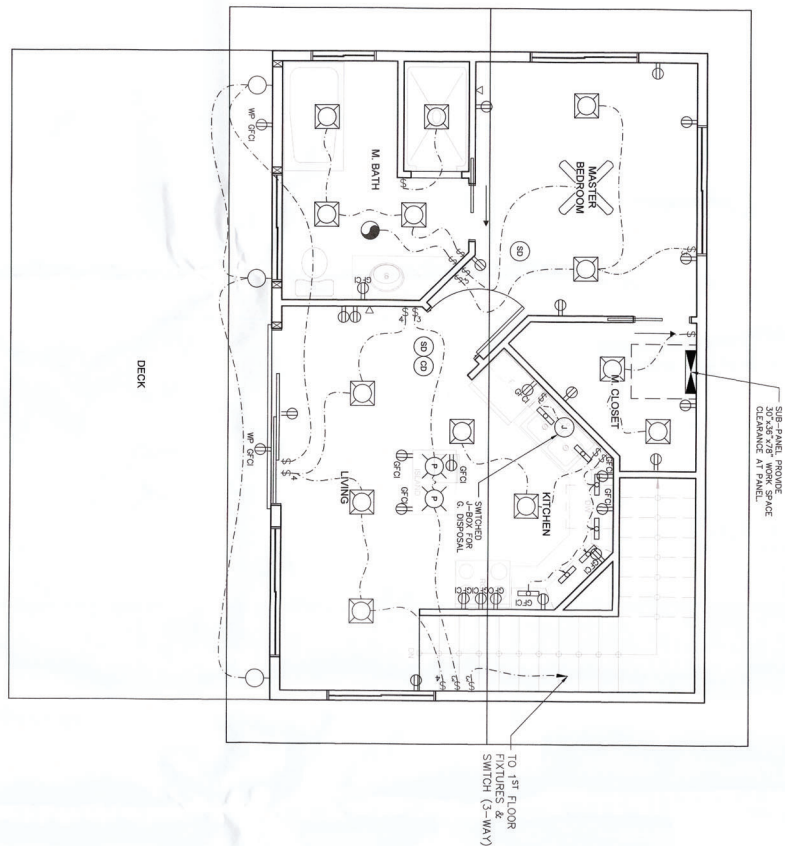
**A.M. Baird**  
Engineering & Surveying  
1045 Main St., P.O. Box 396, Fortuna, CA 95540  
(707)725-5182

October 2, 2021  
REGISTERED PROFESSIONAL ENGINEER  
No. 22481  
DATE 03/17/21

SCALE: AS SHOWN  
DRAWN BY: SALS  
CHKD. A.M.B.  
DATE 03/17/21  
ASCENSO RESIDENCE  
APN: 111-133-034 & 111-133-035  
117 & 125 SHAKER STREET SHELTER COVE,  
CALIFORNIA  
NEW CONSTRUCTION  
REFLECTED CEILING PLAN  
PLN-2021-17288 Ascenso  
JOB NO. 20-4952  
A-102.1



1 REFLECTED CEILING/ELECTRICAL PLAN  
3/8" = 1'-0"



A-102.2

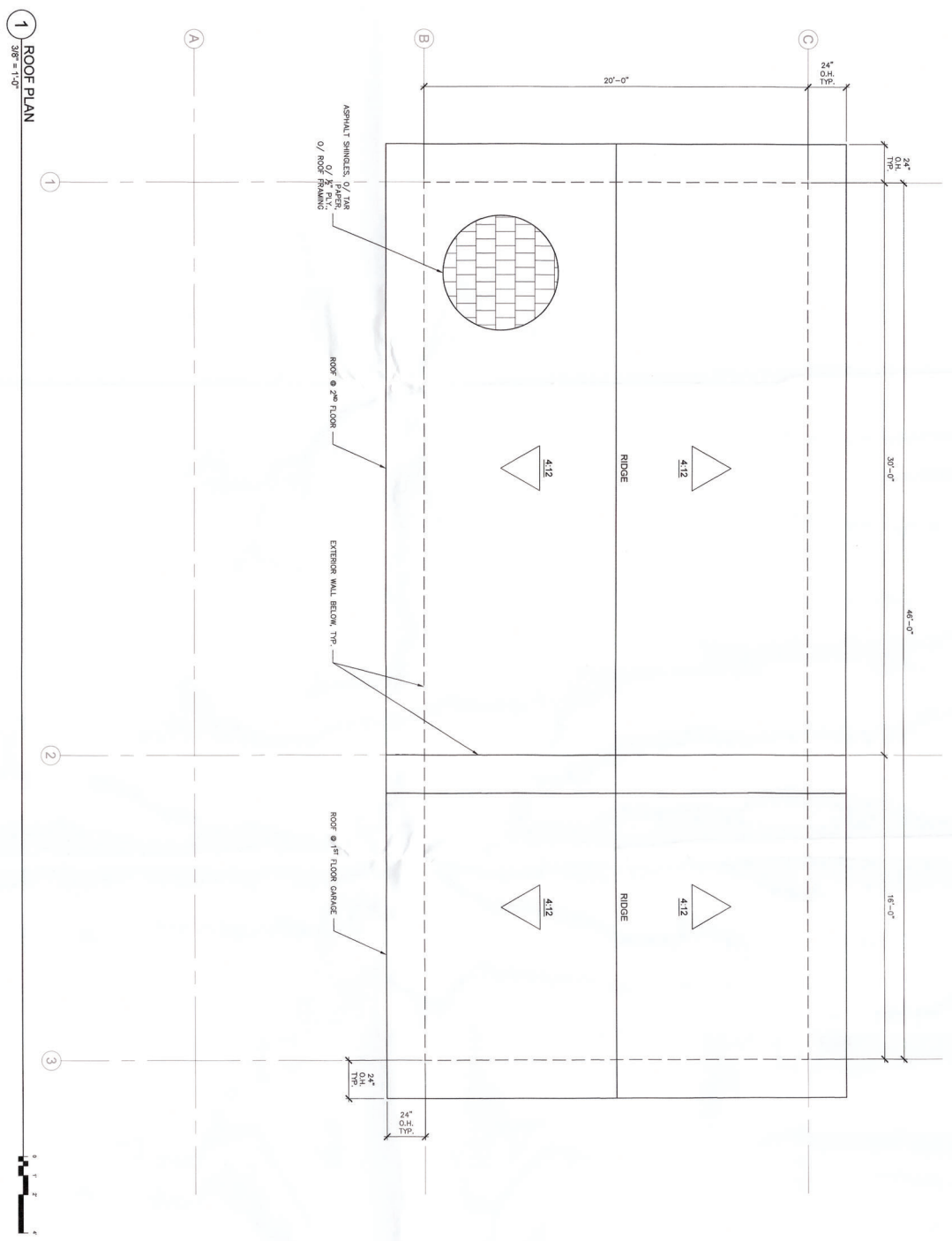
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DRAWN BY	S.M.S.
CHECKED BY	A.M.B.
DATE	03/17/21



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ASCENSO RESIDENCE  
APN: 111-133-034 & 111-133-035  
117 & 125 SHAKER STREET SHELTER COVE,  
CALIFORNIA  
NEW CONSTRUCTION  
REFLECTED CEILING PLAN  
October, 2021  
Page 21



1 ROOF PLAN  
S&P = 1/8"



A-103

NO.	DATE	DESCRIPTION	BY
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ASCENSO RESIDENCE  
 APN: 111-133-034 & 111-133-035  
 117 & 125 SHAKER STREET SHELTER COVE,  
 CALIFORNIA

NEW CONSTRUCTION

PLN-2021-17288 Ascenso

ROOF PLAN

SCALE: AS SHOWN  
 DRAWN BY: S.M.S.  
 CHECKED: A.M.B.  
 DATE: 03/17/21

REGISTERED PROFESSIONAL ENGINEER  
 No. 52481  
 State of California

October 2, 2021

**A.M. Baird**  
 Engineering & Surveying

1045 Main St., P.O. Box 396, Fortuna, CA 95540  
 (707)725-5182

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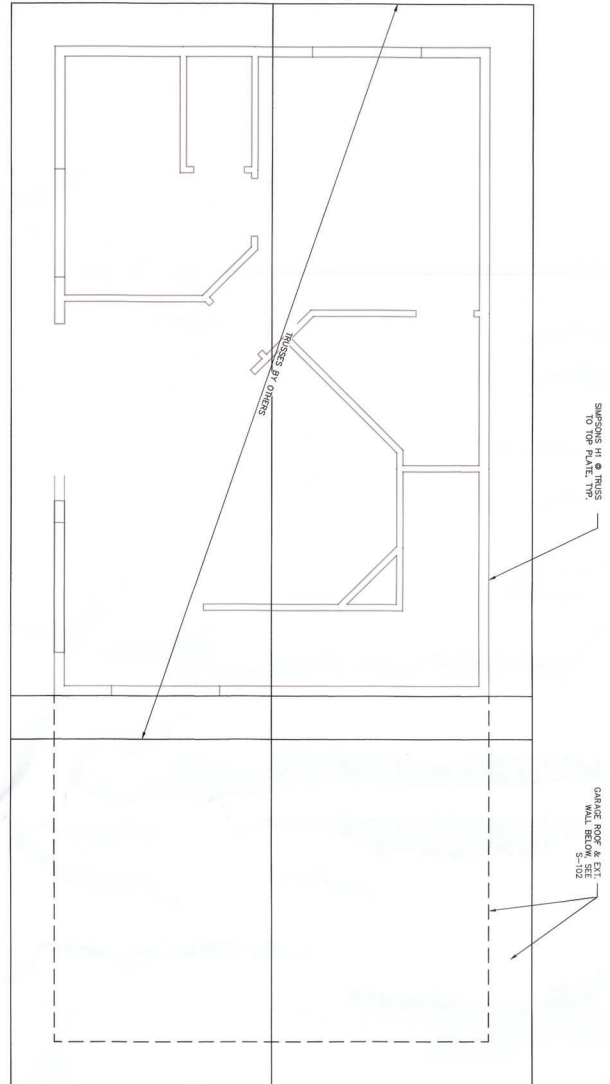






1 2nd FLOOR ROOF & CEILING FRAMING PLAN  
1/4" = 1'-0"

FLOOR/CEILING  
FRAMING OPTIONS:  
1. 2nd FLOOR-CEILING JOISTS @ 12" O.C.  
2. 2nd FLOOR-CEILING JOISTS @ 12" O.C.  
3. 2nd FLOOR-CEILING JOISTS @ 12" O.C. PROVIDE BEAMS w/  
LUS HANGERS FOR JOIST TO BEAM  
CONNECTIONS.



S-103

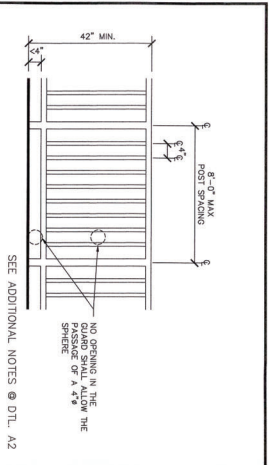
APN: 111-133-034 & 111-133-035 117 & 125 SHAKER STREET SHELTER COVE, CALIFORNIA	SCALE: 1/4" = 1'-0"	DATE: 03/17/21
PROJECT: NEW CONSTRUCTION	DRAWN BY: SAKS	CHECKED BY: A.M.B.
PLN-2021-17288 Ascenso	DATE: 03/17/21	DATE: 03/17/21
2nd FLOOR ROOF & CEILING FRAMING PLAN		



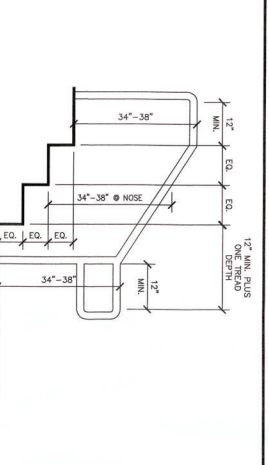
**A.M. Baird**  
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October 2, 2021



A1 TYPICAL GUARD  
SCALE: 3/4"=1'-0"



A2 TYPICAL STAIR & HANDRAIL  
SCALE: 3/4"=1'-0"

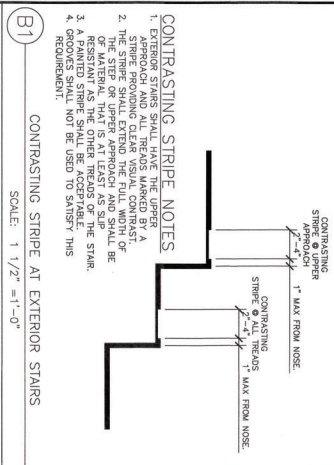
**STAIR NOTES**

1. STAIR RISES SHALL BE LESS THAN 30" FROM GRADE OR DO NOT EXCEED GUARD FROM GRADE.
2. MIN. HEADROOM OF 6'-8" MEASURED FROM STAIR RISE & RUN SHOULD BE MAINTAINED WITHIN 36" TO 7' MAX.
3. STAIR RISES & RUNS SHOULD BE UNIFORM.
4. RISES 10" MIN. TO 7" MAX.
5. RISES 10" MIN. TO 7" MAX.
6. EXPOSED SPACED UNDER STAIRS IN UNIFORM.
7. RISES SHALL BE SOLID OR PROVIDE 4" MAX. SPACING.
8. PROVIDED RUN IS LESS THAN 11" AND A SOLID RISE IS PROVIDED.

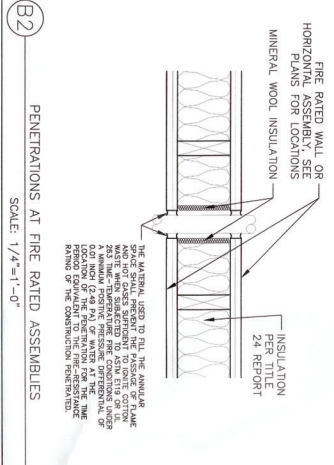
**HANDRAIL & GUARD NOTES**

1. HANDRAILS SHALL BE 1 1/2" HIGH AND 2" WIDE.
2. HANDRAILS SHALL BE 1 1/2" HIGH AND 2" WIDE.
3. HANDRAILS SHALL BE 1 1/2" HIGH AND 2" WIDE.
4. HANDRAILS SHALL BE 1 1/2" HIGH AND 2" WIDE.
5. HANDRAILS SHALL BE 1 1/2" HIGH AND 2" WIDE.
6. HANDRAILS SHALL BE 1 1/2" HIGH AND 2" WIDE.
7. HANDRAILS SHALL BE 1 1/2" HIGH AND 2" WIDE.
8. HANDRAILS SHALL BE 1 1/2" HIGH AND 2" WIDE.
9. HANDRAILS SHALL BE 1 1/2" HIGH AND 2" WIDE.
10. HANDRAILS SHALL BE 1 1/2" HIGH AND 2" WIDE.

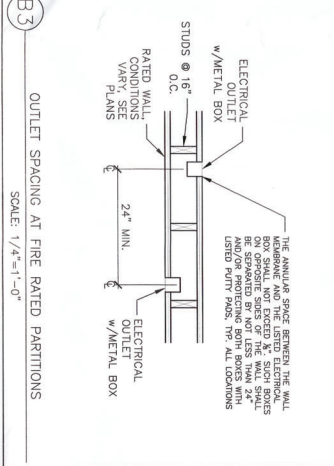
A4 TYPICAL HANDRAIL SECTION  
SCALE: 3" = 1'-0"



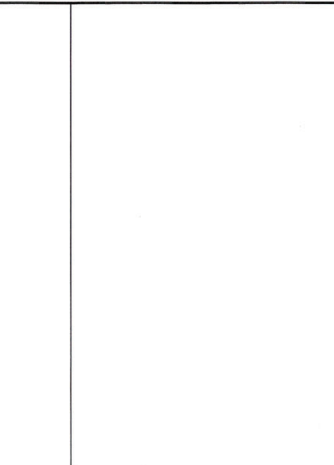
B1 CONTRASTING STRIPE AT EXTERIOR STAIRS  
SCALE: 1 1/2" = 1'-0"



B2 PENETRATIONS AT FIRE RATED ASSEMBLIES  
SCALE: 1/4"=1'-0"



B3 OUTLET SPACING AT FIRE RATED PARTITIONS  
SCALE: 1/4"=1'-0"



C2 TYP. 1-HOUR SEPARATION WALL  
SCALE: 3/4"=1'-0"

**RATED ASSEMBLY NOTE**

1. SEE B1 & B2 A-G2 FOR ALLOWABLE PENETRATIONS IN ASSEMBLIES.

**INSULATION:**

SEE A RESISTANCE 0.075 O.C. OF 2 1/2\"/>

C2 TYP. 1-HOUR SEPARATION WALL  
SCALE: 3/4"=1'-0"





### Attachment 3

#### Referral Agency Comments and Recommendation

<b>Referral Agency</b>	<b>Response</b>	<b>Recommendation</b>	<b>On File</b>	<b>Attached</b>
Humboldt County Assessor	✓	Approval	✓	
California Coastal Commission		No Response		
California Department of Fish and Wildlife		No Response		
CalFire	✓	No Comment	✓	
Shelter Cove Resort Improvement Services District		No Response		
County Building Inspection Division	✓	Recommend Approval/No Comment	✓	
Code Enforcement		No Response		
County Counsel		No Response		
County P/W, Land Use Division	✓	Comments	✓	
Division of Environmental Health		No Response		
Shelter Cove Resort Fire Protection District		No Response		
Intertribal Sinkyone Wilderness Council		No Response		
Bear River Band		No Response		
Shelter Cove Resort Improvement Services District	✓	Water hookup confirmed	✓	
Shelter Cove VFPD		No Response		
Northwest Information Center	✓	Comments	✓	
Aviation		No Response		