

**RESOLUTION OF THE ZONING ADMINISTRATOR
OF THE COUNTY OF HUMBOLDT**

Resolution Number: 23-074

Record Number: PLN-2023-18203

Assessor's Parcel Number: 511-371-036

Resolution by the Zoning Administrator of the County of Humboldt certifying compliance with the California Environmental Quality Act and conditionally approving the Bigfoot Construction Coastal Development Permit and Special Permit.

WHEREAS, Bigfoot Construction has submitted an application and evidence in support of approving a Coastal Development Permit and Special Permit for a two-story addition of approximately 764 square feet and remodel of an existing single-family residence including an upgrade to the existing septic system; and

WHEREAS, the County Planning Division has reviewed the submitted application and evidence and has referred the application and evidence to involved reviewing agencies for site inspections, comments, and recommendations; and

WHEREAS, the Planning Division as the Lead Agency has determined that the project qualifies for categorical exemptions found in Sections 15301 (Existing Facilities) and 15302 (Replacement or Reconstruction) of the CEQA Guidelines; and

WHEREAS, Attachment 3 in the Planning Division staff report includes evidence in support of making all of the required findings for approving the proposed Coastal Development Permit and Special Permit (Record Number PLN-2023-18203); and

WHEREAS, the Humboldt County Zoning Administrator held a duly-noticed public hearing on July 20, 2023, and reviewed, considered, and discussed the application for the Coastal Development Permit and Special Permit, and reviewed and considered all evidence and testimony presented at the hearing.

Now, THEREFORE BE IT RESOLVED, that the Zoning Administrator makes all the following findings:

- 1. FINDING:** A Coastal Development Permit (CDP) for a two-story addition of approximately 764 square feet and remodel of an existing single-family residence, consisting of changes to the roof pitch, and electrical upgrades. Also proposed is the demolition of an existing chimney and an upgrade to the existing septic system to accommodate a four-bath system, and the installation of a swim spa within the existing garage. The parcel is developed with a

1,461 square foot single family residence, a shop structure, an uncovered patio, and an on-site wastewater treatment system. The property is served with community water provided by the Patrick Creek Community Services District. A Special Permit is required for Design Review.

EVIDENCE: a) Project File: PLN-2023-18203

2. FINDING: **CEQA:** The requirements of the California Environmental Quality Act have been met. The Humboldt County Zoning Administrator has considered the project and finds the proposed project is exempt from environmental review pursuant to Sections 15301 (Existing Facilities) and 15302 (Replacement or Reconstruction) of the State CEQA Guidelines.

EVIDENCE: a) The Class 1 exemption applies to the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use.

The Class 2 exemption applies to the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced.

b) A project can be disqualified from using a Categorical Exemption if any of the exceptions listed in 15300.2 apply. However, none of these exceptions apply to the proposed project.

FINDINGS FOR COASTAL DEVELOPMENT PERMIT AND SPECIAL PERMIT

3. FINDING: The proposed development is in is in conformance with all applicable policies and standards in the McKinleyville Area Plan (MCAP).

EVIDENCE: a) The purpose of the RX land use designation is to allow development of rural community neighborhoods not depending on urban levels of service, prohibiting the creation of any new parcels. The principal use is residential single-family with neighborhood commercial services. The project consists of a two-story addition of approximately 764 square feet and a

remodel of an existing single-family residence including an upgrade to the existing septic system. The property is served with community water provided by the Patrick Creek Community Services District.

- b) The project will not add to nor subtract from the Housing Inventory. The addition and improvements to the existing residence will have no effect on the Humboldt County Housing Element.
- c) According to the California Natural Diversity Database, the site has potential habitat for northern red-legged frog, dark-eyed gilia, and obscure bumble bee. The potential habitat for red-legged frog and dark-eyed gilia is located at the base of the bluff and westward, beginning approximately 220 feet west of the project site. The potential habitat for obscure bumble bee covers the subject parcel. As the project site is currently developed, further disturbance within the same footprint is not expected to adversely affect habitat for these species. The project was referred to the California Department of Fish and Wildlife and no response was received.
- d) The parcel is in an area with slope stability defined as relatively stable to moderately unstable and the project site is on flat area of the parcel on top of a bluff. The parcel is not within a Fault Hazard Zone, not mapped in an area of historic landslides, and is not located in an area of potential liquefaction. An Engineering Geologic Assessment of Slope Stability Conditions Report was prepared for the project by SHN Consulting Engineers & Geologists on August 26, 2022. The report concluded that the proposed two-story addition along the northern end of the home is irrelevant in regard to the existing geologic condition at the site and will not decrease the existing setback, and that the proposed improvement will have no effect on the existing slope stability conditions at the site. The report did however identify recommendations for maintaining the stability for the bluff into the future. These are included as ongoing conditions of project approval.

The project site is not located in any flood zones, tsunami hazard zones, or is susceptible to coastal inundation.

The project is located in an area of high fire hazard severity and is located within the State Responsibility Area and within the Arcata Fire Protection District. The Arcata Fire Protection District responds to structural fires and medical emergencies.

Based on this evidence, no threats to hazards are anticipated as a result of the project.

- e) The project was referred to the Northwest Information Center, Blue Lake Rancheria, the Wiyot Tribe, and the Bear River Band of the Rohnerville Rancheria. All three tribes responded stating that they are satisfied that the activities of the project do not appear to represent a source of significant impact on cultural resources provided the standard inadvertent discovery protocol is followed. This has been included in the conditions of approval.
- f) Sewage disposal systems placed on existing and proposed lots must meet all of the requirements of the Humboldt County Department of Environmental Health (DEH) and the Regional Water Quality Control Board (RWQCB). The project was referred to DEH and RWQCB. DEH responded recommending approval of the project and no response was received from RWQCB. The project is conditioned that the proposed septic upgrade meets the requirements of both DEH and RWQCB.
- g) The parcel is within a Coastal Scenic Area. See Design Review Authority Findings discussion below.

4. FINDING: The proposed development is consistent with the purposes of the existing RA zone in which the site is located.

- EVIDENCE:**
- a) The following uses are principally permitted within the RA zone: Single Family Residential, Second Residential Unit, General Agriculture, Cottage Industry; subject to the Cottage Industry Regulations, and Minor Utilities to serve these uses. The project consists of a two-story addition of approximately 764 square feet and remodel of an existing single-family residence including an upgrade to the existing septic system on a currently developed lot.
 - b) The proposed project would not increase ground coverage exceeding the maximum coverage allowed on the lot, all minimum yard setback requirements will be met, the two-story addition will not exceed the maximum structure height requirement, and there is ample available parking area on the lot to support the proposed two-story addition (master bedroom) and the reduction of parking space within the garage resulting from the installation of the swim spa.

5. FINDING: §313-39.1 X – No Further Subdivision Allowed

The purpose of this provision is to prohibit further subdivisions of any lots within the zone.

EVIDENCE: a) Subdivision of the subject parcel is not proposed as part of the project.

6. FINDING: §313-19.1 D – Design Review

The purpose of these regulations is to provide design review for conformance of new development with the policies and standards of the General Plan, and to provide for a design review process where neighborhoods within the same zone district desire to preserve or enhance the area's historical, cultural, or scenic values.

EVIDENCE: a) The proposed addition and remodel of the residence is consistent and compatible with the General Plan. Evidence of adherence to the Design Review findings is discussed below. The Neighborhood Design Survey, submitted by the applicant, provided information about the homes within the vicinity of the proposed project.

b) The subject parcel is not within a designated Coastal Scenic View area but is within a Coastal Scenic Area. Setbacks from roads and property lines are appropriate for protection of the scenic and visual qualities of the site given the surrounding development, vegetation, and building height. The two-story addition will increase the height of the residence to approximately 21 feet tall. The residence is not located between the closest public road and the coast. The west side of the parcel between the residence and the coast is covered with dense vegetation and the residence is on a bluff approximately 175 feet in elevation above Clam Beach Drive from which existing residences on the bluff are already visible.

The Neighborhood Design Survey submitted by the applicant profiled five homes within the general vicinity of the project. Of the homes surveyed, three had rustic architecture and two had contemporary architecture. Four of the homes surveyed utilized composite roofing and one utilized shake roofing. Three of the homes surveyed utilized wood for the exterior building siding and two utilized T-111 siding. Three of the houses surveyed exceed one story in height. The proposed addition and remodel of the residence will be aesthetically cohesive with the design of

surrounding homes. The visual impact of proposed development on neighboring parcels will be insignificant.

- c) The building site is level, and grading will not be necessary to facilitate construction. The project as proposed will not result in alterations to existing natural landforms.
- d) All new outdoor lighting shall be compatible with the existing setting and directed within the property boundaries. This has been included as a condition of approval.
- e) Staff has determined that the visual impact of the proposed project on neighboring parcels will be insignificant. The proposed height is within the range of the neighboring houses.
- f) New utilities shall be placed underground, when feasible. This has been included as a condition of approval.
- g) The proposed project meets all setback requirements for the RA zone. There are not likely to be impacts to scenic or visual qualities of the area.
- h) No off-premises signs are proposed.

7. FINDING: §313-29.1 N – Noise Impact

The purpose of these provisions is to establish regulations to maintain, within single family and multi-family structures and within structures designed for transient habitation, low exposure levels to noise associated with airports and major roads.

- EVIDENCE:** a) There will be no new noise exposure over the existing baseline noise conditions as a result of this project. U.S. Highway 101 is located approximately 170 feet lower in elevation and 450 feet west of the proposed project. As the project is to construct a two-story addition and remodel an existing residence that has been at its current location for decades, there is no evidence that the project will be exposed to noise levels beyond what is existing.

8. FINDING: Development permits shall only be issued for a lot that was created in compliance with all applicable state and local subdivision regulations.

- EVIDENCE:** a) The subject parcel has been determined to be one legal parcel per Notice of Lot Line Adjustment and Certificate of Subdivision Compliance, Instrument No. 1661688, recorded January 7, 1982.

9. FINDING: The Project and the conditions under which it may be operated or maintained will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity.

EVIDENCE: a) The proposed two-story addition and remodel will be compatible in appearance with the neighborhood and complies with all development standards of the zone district which are intended to protect public health safety and welfare. Based on staff analysis and the findings made in this report, there is no evidence that the proposed two-story addition and remodel will be materially injurious to properties or improvements in the vicinity.

10. FINDING: The proposed development does not reduce the residential density for any parcel below that utilized by the Department of Housing and Community Development in determining compliance with housing element law.

EVIDENCE: a) The existing parcel is currently developed with a permitted single-family residence. The project will not add to nor subtract from the Housing Inventory. The addition and improvements to the existing residence will have no effect on the Humboldt County Housing Element.

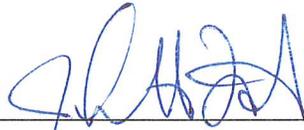
DECISION

NOW, THEREFORE, based on the above findings and evidence, the Humboldt County Zoning Administrator does hereby:

- Adopt the findings set forth in this resolution; and
- Conditionally approves the Bigfoot Construction Coastal Development Permit and Special Permit subject to the conditions of approval attached hereto as Attachment 1A.

Adopted after review and consideration of all the evidence on July 20, 2023.

I, John Ford, Zoning Administrator of the County of Humboldt, do hereby certify the foregoing to be a true and correct record of the action taken on the above-entitled matter by said Zoning Administrator at a meeting held on the date noted above.



John H. Ford
Zoning Administrator
Planning and Building Department

CONDITIONS OF APPROVAL

Approval of the Coastal Development Permit and Special Permit is conditioned upon the following terms and requirements which must be fulfilled.

1. All development shall be in accordance with approved plot plan. Changes to the approved design may be approved if in conformance with Section 312-11 - Minor Deviations.
2. The applicant shall work with the Humboldt County Department of Environmental Health and the Regional Water Quality Control Board to ensure that all of the work associated with the wastewater system upgrade conforms to both agency requirements.
3. Before any digging or excavation occurs, the applicant shall contact Underground Service Alert (USA) by dialing 811 a minimum of two working days prior to commencing any work to ensure that all existing underground utilities are identified and marked on-site.
4. All new and existing outdoor lighting shall be compatible with the existing setting and directed within the property boundaries.
5. New utilities shall be installed underground, when feasible.

Ongoing Requirements/Development Restrictions which Must be Satisfied for the Life of the Project:

1. The applicant shall adhere to the recommendations set forth in the Engineering Geologic Assessment of Slope Stability Conditions Report for the subject parcel prepared by SHN Consulting Engineers & Geologists on August 26, 2022, and listed below.
 - Ensure that no concentrated drainage is directed toward the bluff.
 - Do not remove or disturb vegetation on the bluff face; it is acting to maintain stability of the bluff by intercepting rainfall and providing root reinforcement.
 - Managing the height of trees on the slope is acceptable if the health or vitality of the tree is not compromised.
 - Do not disturb the existing condition by significant excavation along the bluff edge or by disrupting shallow soils; in general, low impact management of the area along the bluff edge is critical.

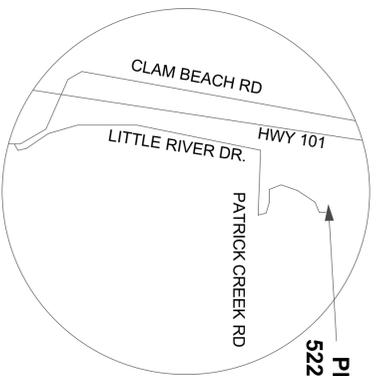
Informational Notes:

1. The applicant is responsible for receiving all necessary permits and/or approvals from other state and local agencies.
2. This permit shall expire and become null and void at the expiration of one (1) year after all appeal periods have lapsed (see "Effective Date"); except where construction under a valid building permit or use in reliance on the permit has commenced prior to such anniversary date. The periods within which construction or use must be commenced may be extended as provided by Section 312-10.5 of the Humboldt County Code.
3. The applicant is required to pay for permit processing on a time and material basis as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of Supervisors. The Department will provide a bill to the applicant after the decision. Any and all outstanding Planning fees to cover the processing of the application to decision by the Hearing Officer shall be paid to the Humboldt County Planning Division, 3015 "H" Street, Eureka.
4. If cultural resources are encountered during construction activities, the contractor on site shall cease all work in the immediate area and within a 50-foot buffer of the discovery location. A qualified archaeologist as well as the appropriate Tribal Historic Preservation Officer(s) are to be contacted to evaluate the discovery and, in consultation with the applicant and lead agency, develop a treatment plan in any instance where significant impacts cannot be avoided.

The Native American Heritage Commission (NAHC) can provide information regarding the appropriate Tribal point(s) of contact for a specific area; the NAHC can be reached at 916-653-4082. Prehistoric materials may include obsidian or chert flakes, tools, locally darkened midden soils, ground stone artifacts, shellfish or faunal remains, and human burials. If human remains are found, California Health and Safety Code 7050.5 requires that the County Coroner be contacted immediately at 707-445-7242. If the Coroner determines the remains to be Native American, the NAHC will then be contacted by the Coroner to determine appropriate treatment of the remains pursuant to PRC 5097.98. Violators shall be prosecuted in accordance with PRC Section 5097.99

The applicant is ultimately responsible for ensuring compliance with this condition.

Location Map

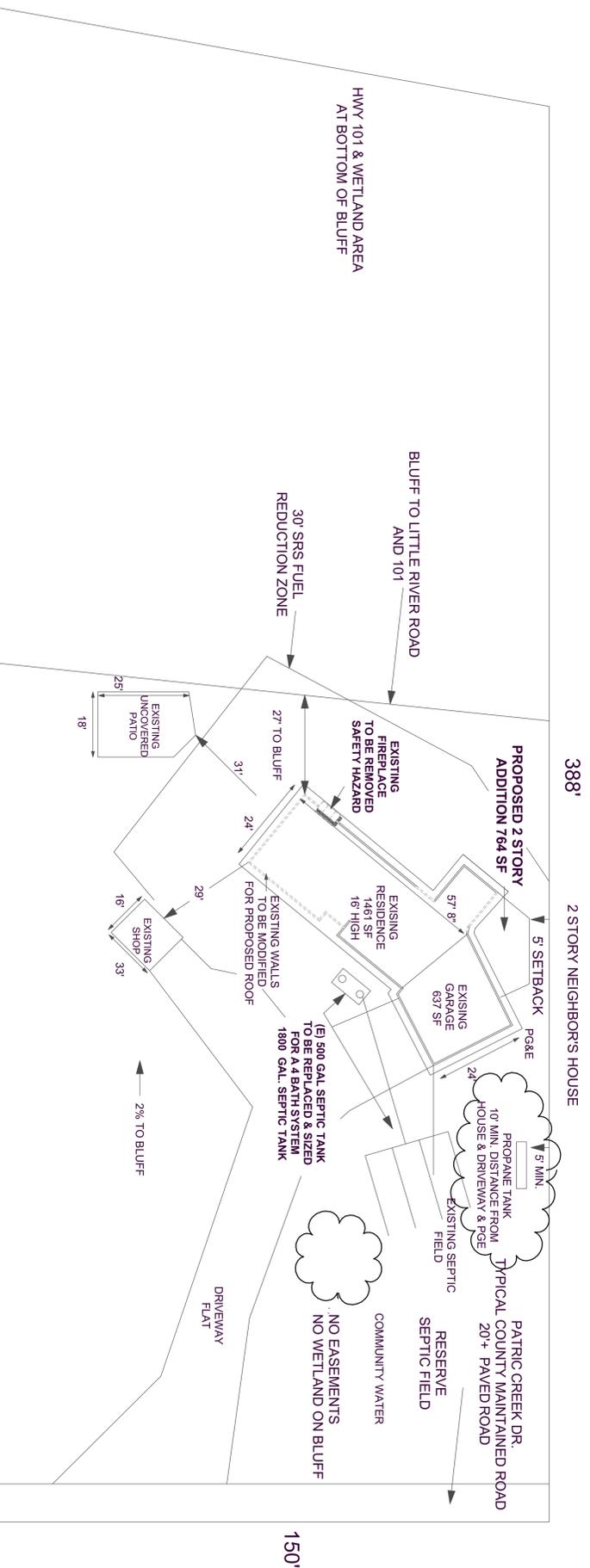


PROJECT SITE
5222 PATRICK CR.

GENERAL CONSTRUCTION NOTES
ALL BUILDING MUST COMPLY WITH THE FOLLOWING
 2019 CALIFORNINA RESIDENTIAL BUILDING CODE
 2019 CALIFORNIA PLUMBING CODE
 2019 CALIFORNIA ENERGY CODE

PROJECT DISCRPTION
 DEMOLISH EXISTING FIREPLACE
 CHANGE THE ROOF PITCH IN LIVING ROOM AREA
 ADDITION TO THE NORTH SIDE
 UPGRADE EXISTING SEPTIC SYSTEM
 UPGRADE ELECTRICAL

Received 6/14/2023 HCP&B



PLOT PLAN WITH PROPOSED MODIFICATIONS

SCALE: 1" = 20'



PROJECT NOTES
 5222 PATRICK CR.
 MCKINLEYVILLE, CALIF. 95519
 RX
 511-371-036
 1.24 ACRES
 NONE
 2% ON TOP OF BLUFF
 NO MAJOR CHANGE
 NONE ON TOP BLUFF
 COMMUNITY
 PG&E
 SBC OVERHEAD
 PROPANE
 CABLE
 N/A
 NONE
 N/A
 WTR STORAGE

SHEET INDEX	
A.0	PLOT PLAN
A0.1	FOUNDATION PLAN
A1.1	FLOOR PLANS
A1.2	FRAMING PLAN
A2.1	ELEVATIONS W & S
A2.2	ELEVATIONS E & N
A3.0	SECTIONS
A4.0	ELECTRICAL
A4.1	SWIM SPA
T24.1	T24 ENERGY
T24.2	T24 ENERGY
T24.3	T24 ENERGY
S.1	ENGINEERING
S.2	GEOTECHNICAL

Roshawan Beere Addition
 5222 Patrick Cr. APN 511-371-036
 McKinleyville, Calif. 95519

OWNER

ROSHAWAN BEERE
 707-502-6008
 don_roshan@9900.com

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 2/1/2023 BLD-2022-574807

SHEET TITLE

PLOT PLAN

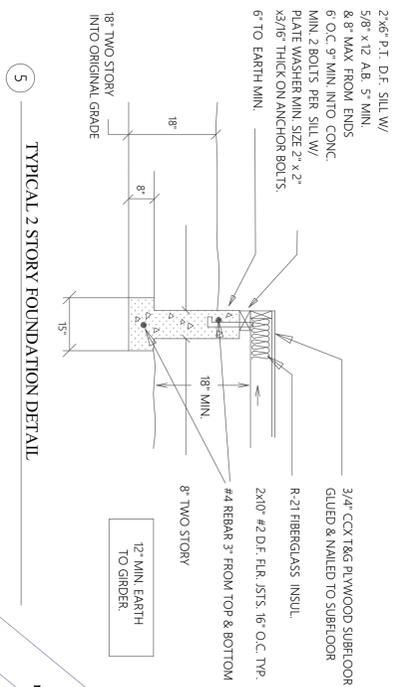
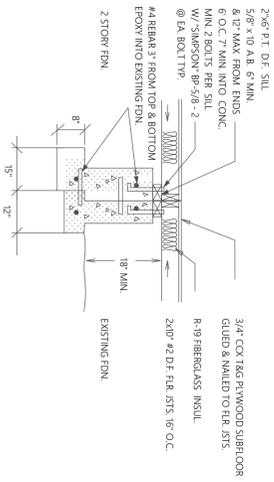
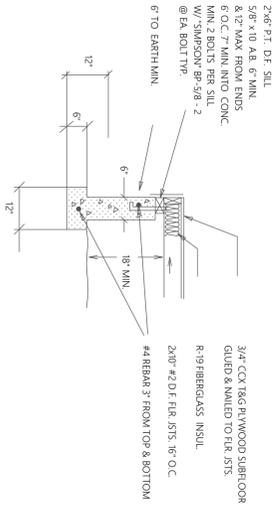
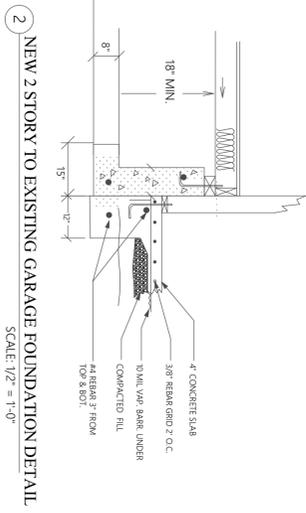
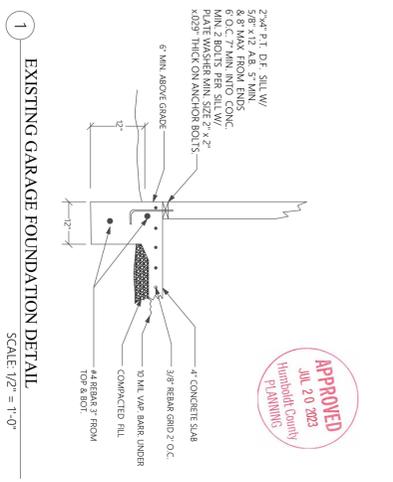
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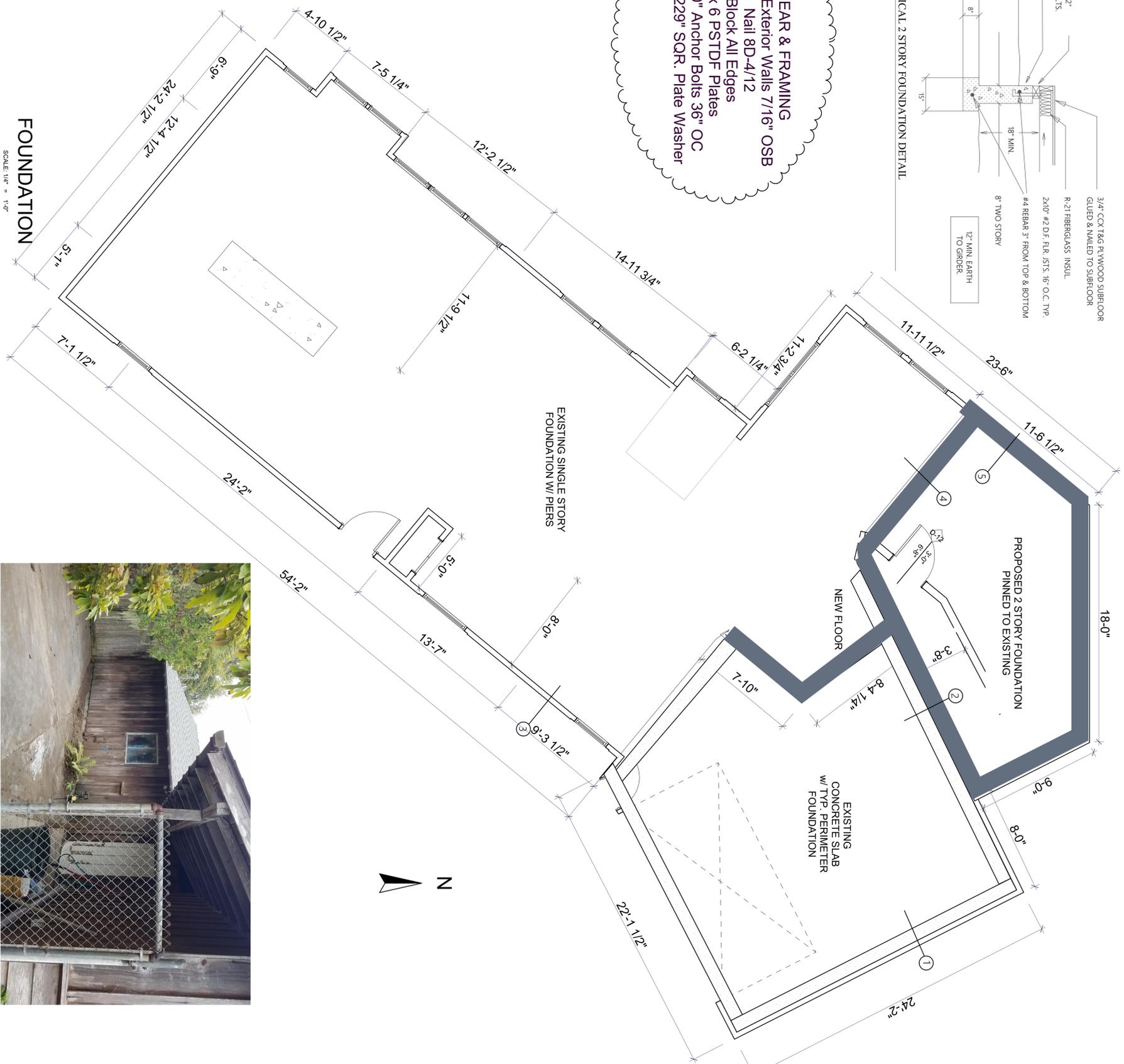
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 707-845-5130
 T Hopkins

CONTRACTOR
 OWNER- CONTRACTOR

ENGINEER



SHEAR & FRAMING
 Shear All Exterior Walls 7/16" OSB
 Nail 8D-4/12
 Block All Edges
 2 x 6 PSTDF Plates
 5/8 x 10" Anchor Bolts 36" OC
 3" 3" x 0.229" SQR. Plate Washer



WEST SIDE OF GARAGE WHERE NEW 2 STORY WILL BE ADDED

TD DESIGN COMPANY
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T Hopkins

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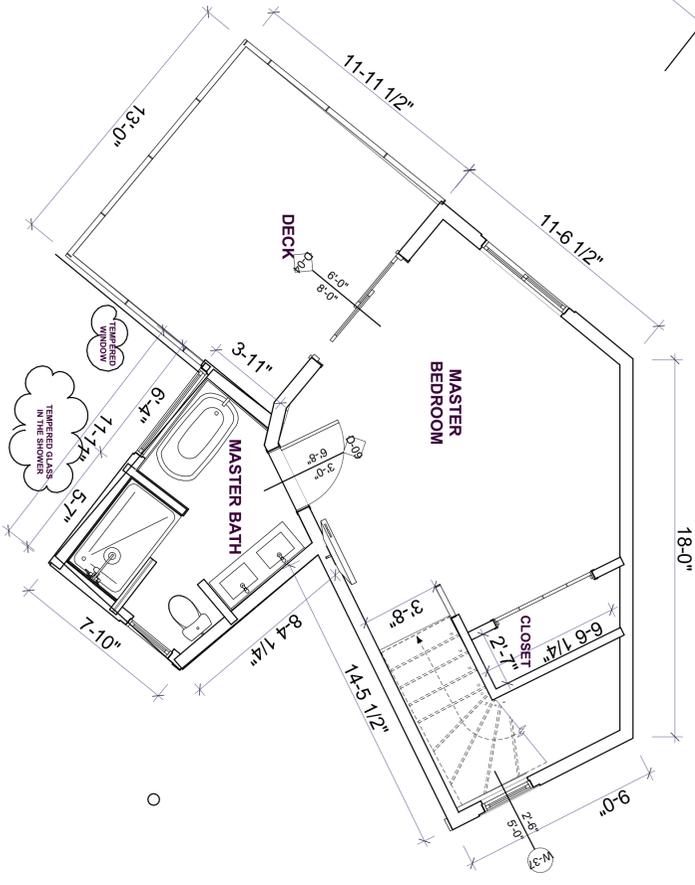
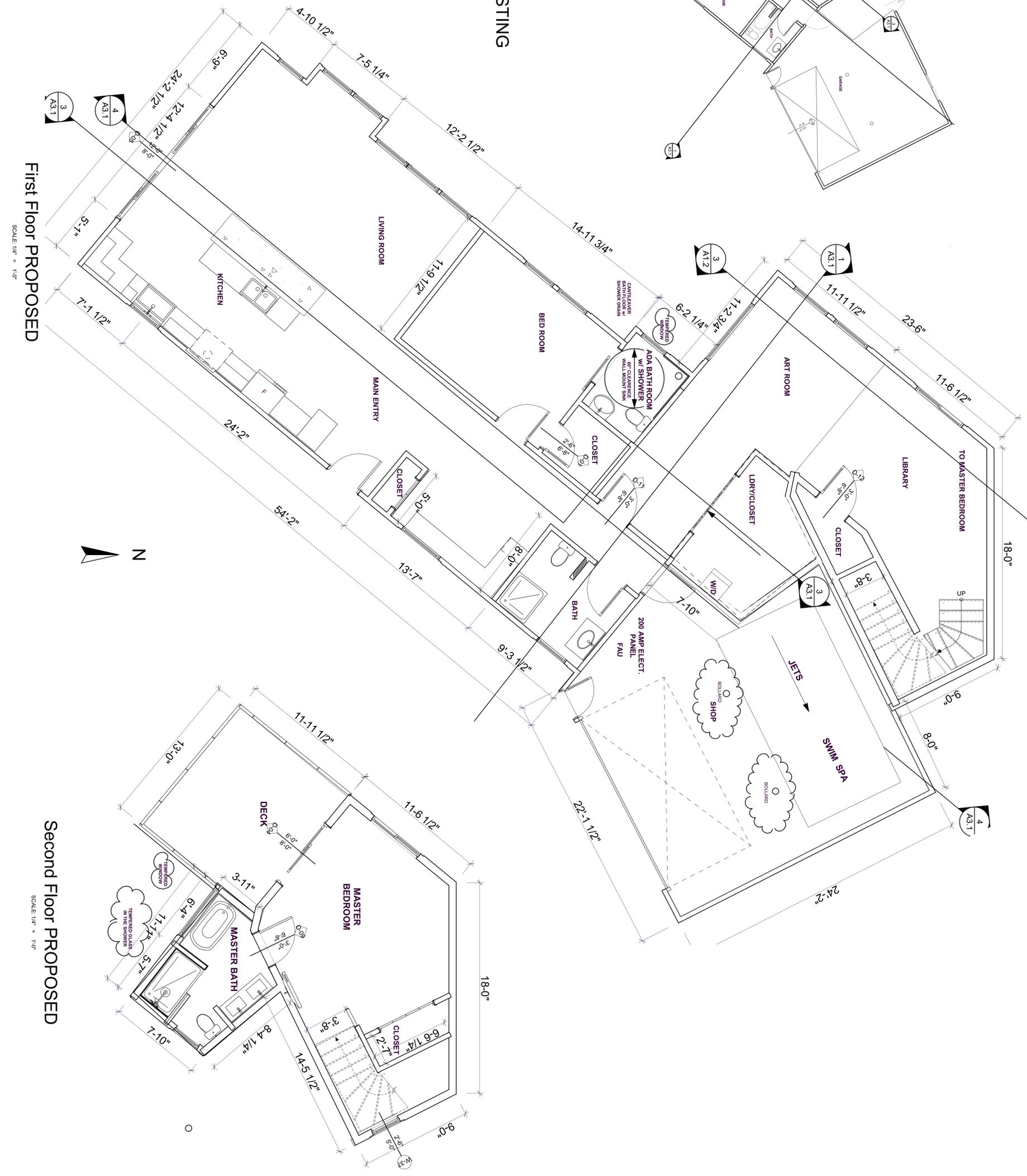
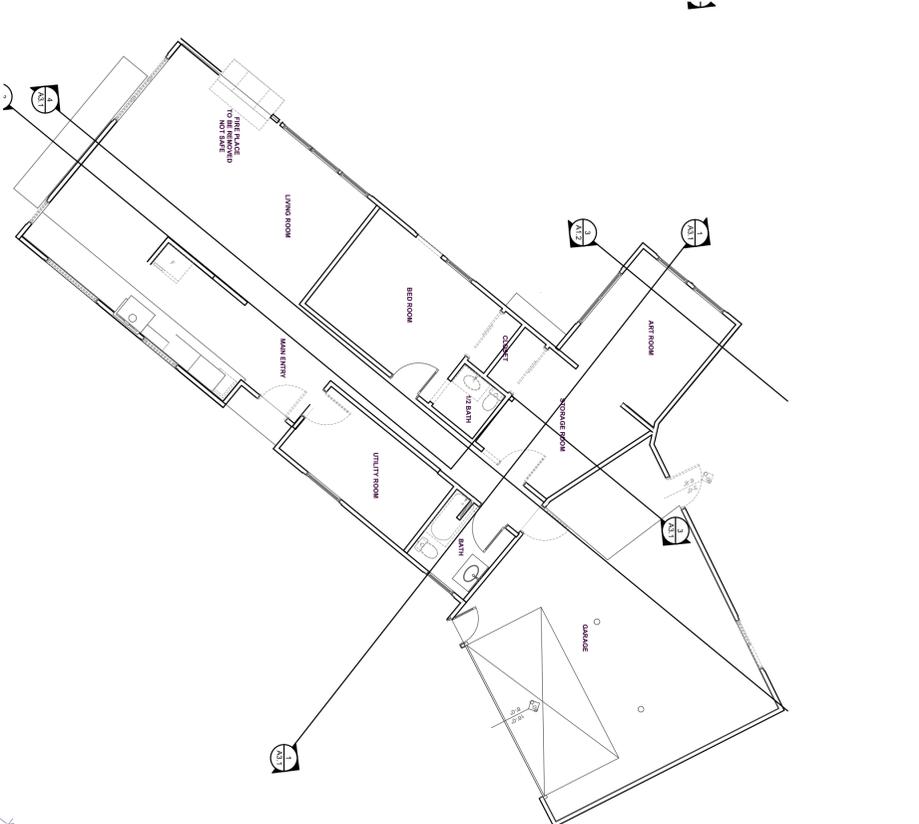
Roshawan Beere Addition
 5222 Patrick Cr. APN 511-371-036
 McKinleyville, Calif. 95519

OWNER
ROSHAWAN BEERE
 707-502-6008
 don_roshawan@proton.com

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SHEET TITLE
FOUNDATION PLAN

AO.1

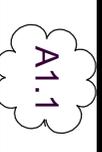


Roshawan Beere Addition
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2/1/2023 BLD-2022-574807

SHEET TITLE
FLOOR PLANS



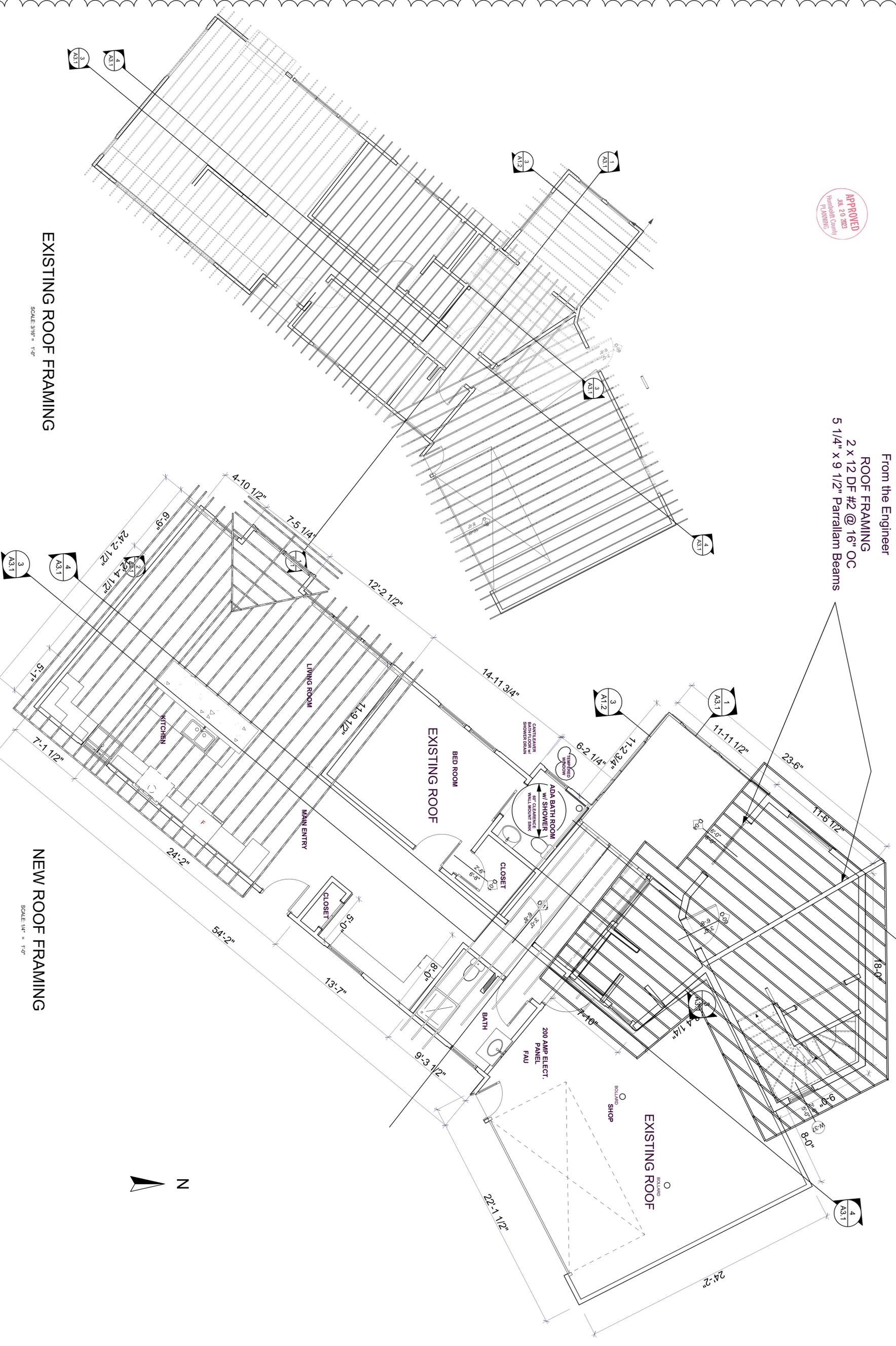
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CONTRACTOR
OWNER- CONTRACTOR

ENGINEER



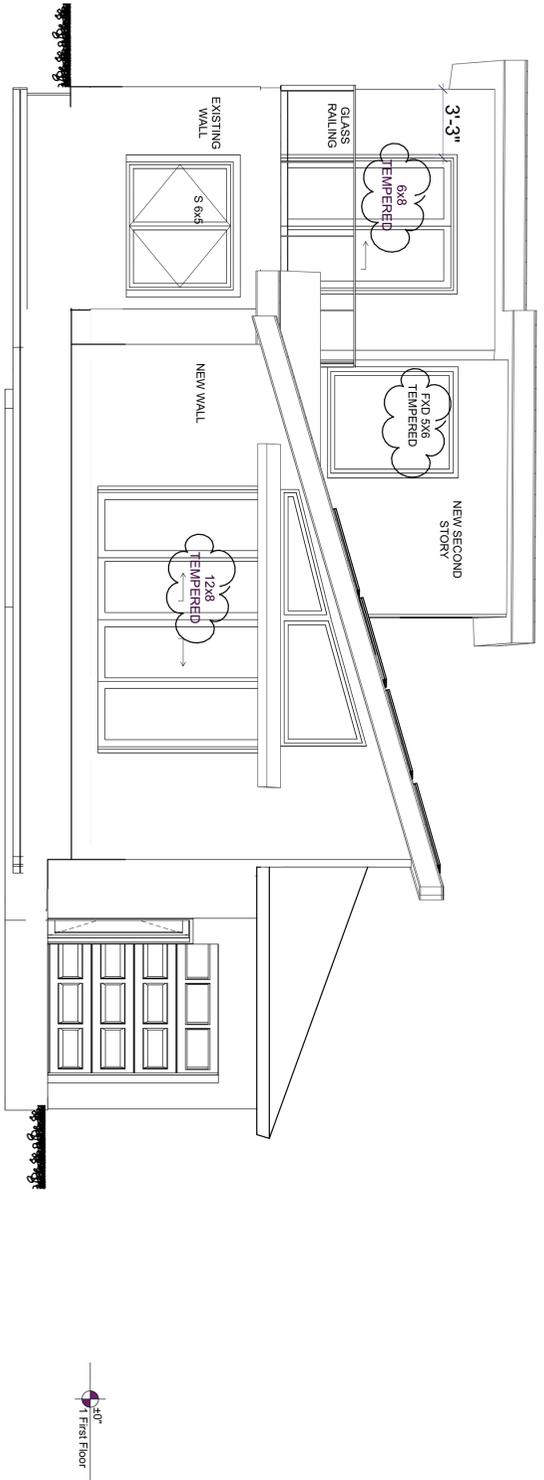
AS PER PAGE S-1
 From the Engineer
ROOF FRAMING
 2 x 12 DF #2 @ 16" OC
 5 1/4" x 9 1/2" Parralliam Beams



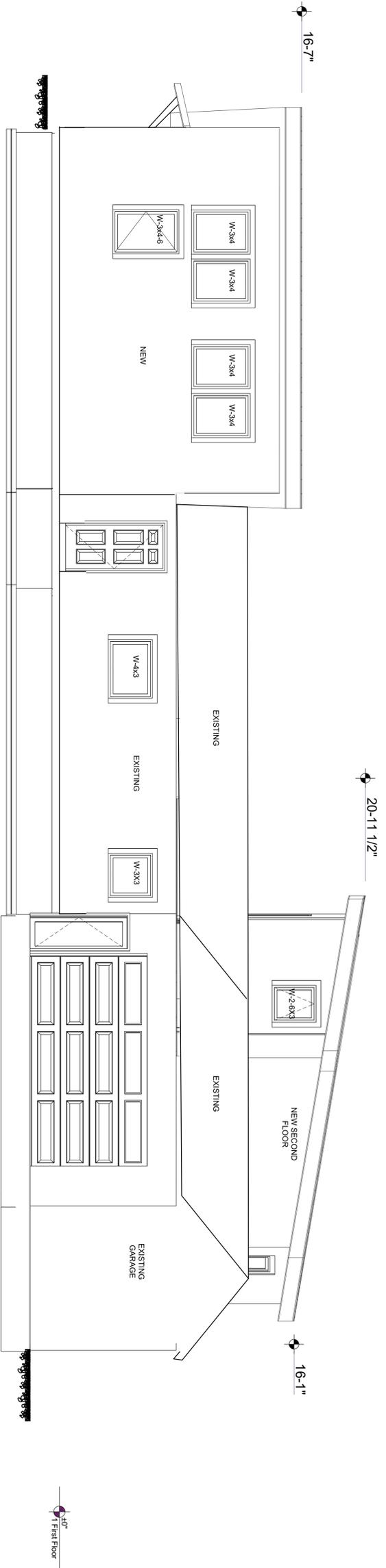
EXISTING ROOF FRAMING
 SCALE: 3/16" = 1'-0"

NEW ROOF FRAMING
 SCALE: 1/4" = 1'-0"

	DRAWN BY: T.I. Design Company Tom Hopkins PO Box 251 Trinidad, Calif. 95570 707-845-5150
	CONTRACTOR OWNER - CONTRACTOR T Hopkins
ENGINEER	OWNER ROSHAWAN BEERE 707-502-6008 don_roshan@9900.com
SHEET TITLE ROOF FRAMING	REVISIONS 2/1/2023 BLD-2022-574807
A1.3	Roshawan Beere Addition 5222 Patrick Cr. APN 511-371-036 McKinleyville, Calif. 95519



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



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Roshawan Beere Addition
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McKinleyville, Calif. 95519

OWNER

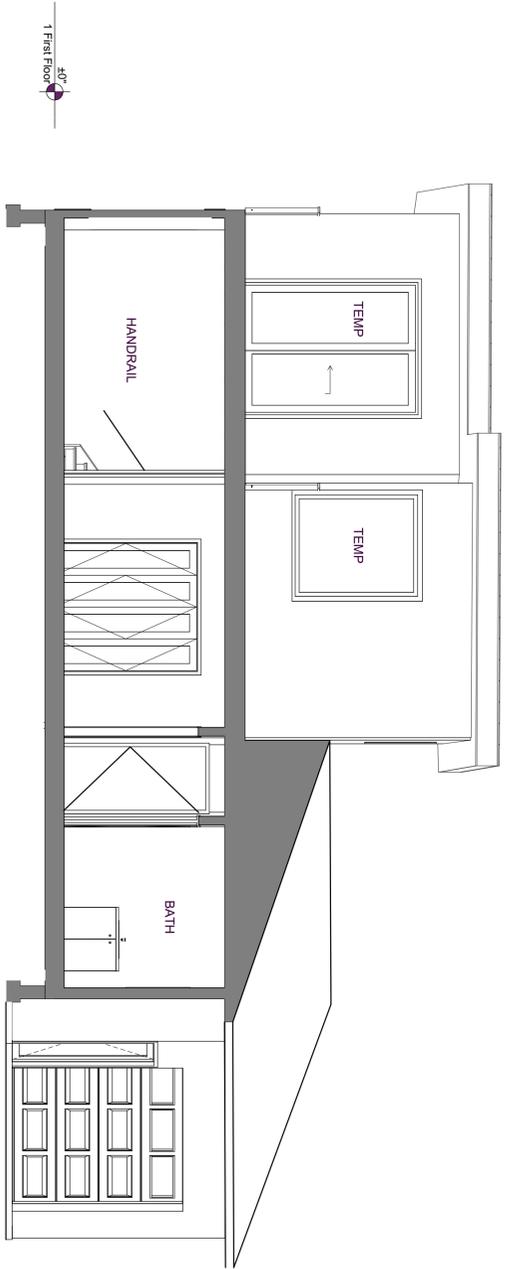
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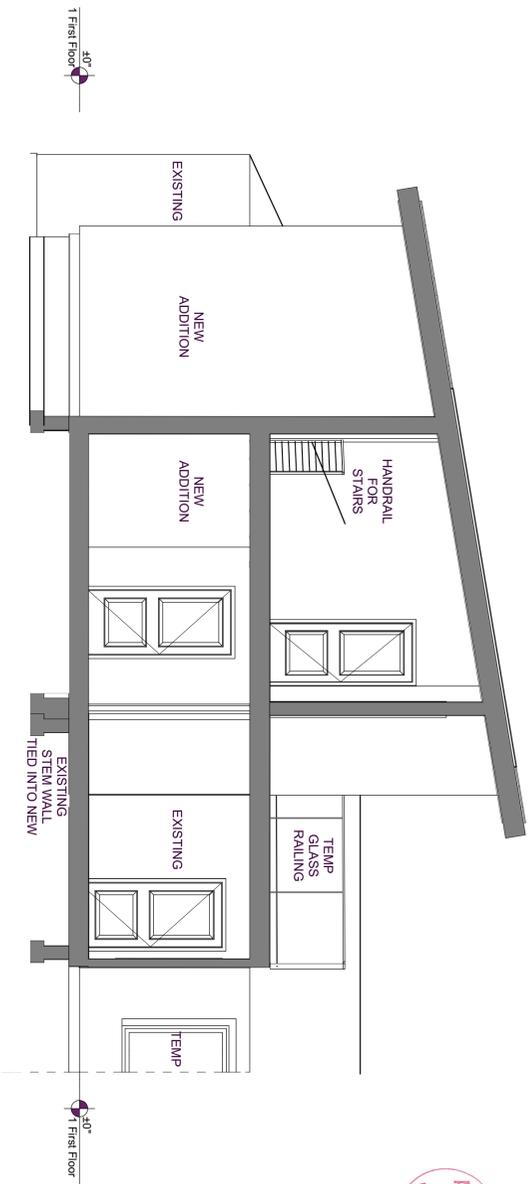
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ELEVATIONS E & S

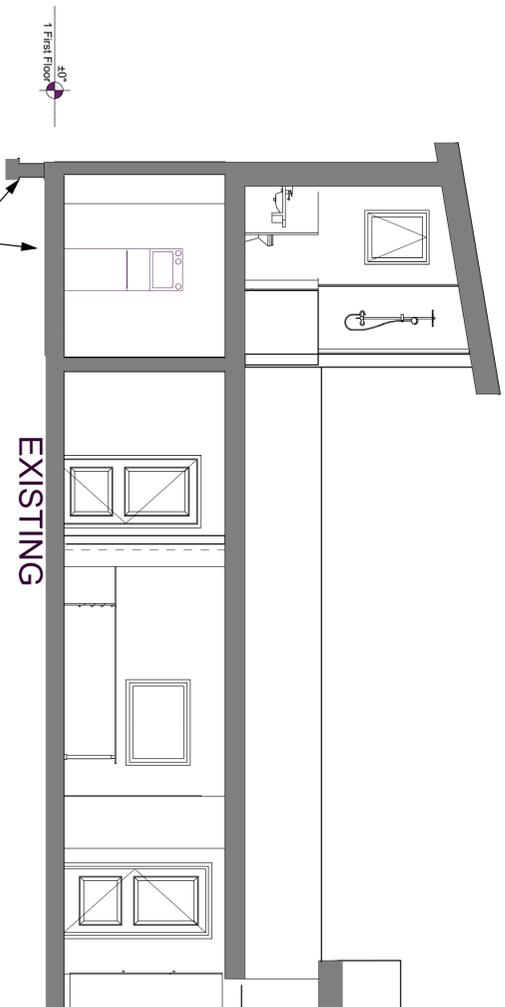
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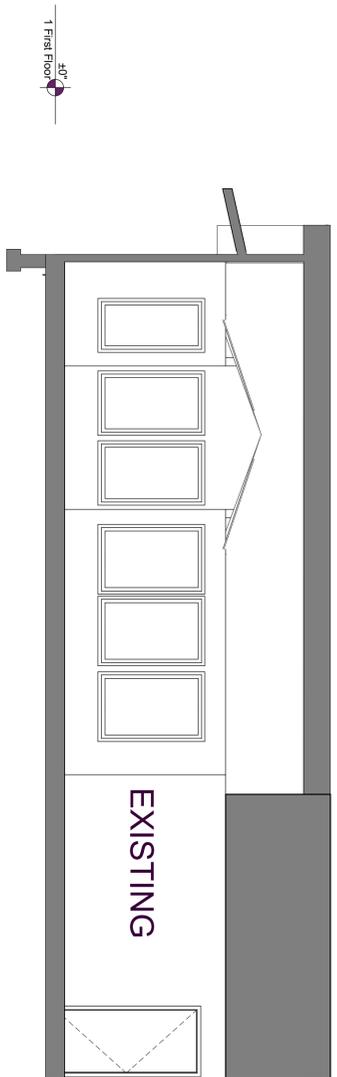
LKG NORTH AT ADDITION
SCALE: 1/4" = 1'-0"



ADDITION LKG EAST
SCALE: 1/4" = 1'-0"



NEW FLOOR &
LKG EAST @ NEW BATH
SCALE: 1/4" = 1'-0"



LKG WEST LIV RM
SCALE: 1/4" = 1'-0"



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SHEET TITLE
SECTIONS

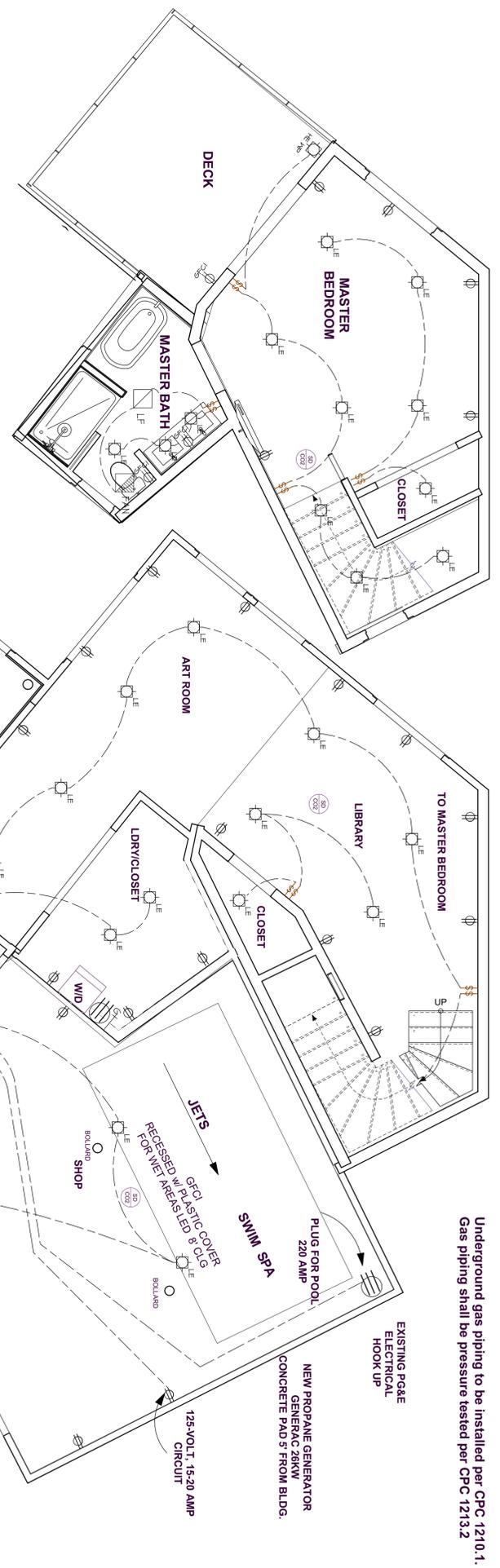
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ELECTRICAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2016 CALIFORNIA ELECTRICAL CODE, THE CEC 2019 RESIDENTIAL LIGHTING STANDARDS, THE NEC AND ALL LOCAL JURISDICTION AMENDMENTS AND STATE OF CALIFORNIA REGULATIONS.
2. ALL NEW LIGHTING IN NEW ADDITIONS AND AREAS OF REMODEL SHALL BE HIGH EFFICACY (HEI) WITH 1/8" COMPLIANT LAMPS AND CONTROLLED BY DIMMER SWITCH OR VACANCY SENSOR.
3. ALL RECEPTACLES 120 VOLT, 15 AND 20 AMP SHALL BE LISTED TAMPER RESISTANT RECEPTACLES PER CEC 406.11. RECEPTACLE OUTLET LOCATIONS SHALL COMPLY WITH CEC 210.52.
4. PROVIDE GFCI PROTECTED OUTLETS AT ALL 120 VOLT, 15 AND 20 AMP RECEPTACLES INSTALLED IN KITCHEN, LAUNDRY, FAMILY LIVING, BEDROOMS AND OTHER AREAS AS DESCRIBED IN CEC 210.8.A.
5. RECEPTACLES AT KITCHEN COUNTERTOPS SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM A RECEPTACLE... PER CEC 210.52(B). TYPICAL MOUNTING HEIGHT FOR COUNTERTOP RECEPTACLES IS 42" ABOVE FINISH FLOOR TO CENTER OF BOX MOUNT IN HORIZONTAL POSITION.
6. ANY EXISTING SMOKE ALARMS THAT ARE MORE THAN 10 YEARS OLD WILL BE REPLACED. INSTALL NEW SMOKE DETECTORS IN ACCORDANCE WITH CEC 814 AT LOCATIONS INDICATED ON THE DRAWINGS. WHERE DETECTOR OCCURS AT SLOPED CEILING, MOUNT WITHIN 12" OF THE HIGHEST POINT. VERIFY THAT INSTALLED LOCATION IS A MINIMUM OF 20 FEET HORIZONTAL DISTANCE FROM PERMANENT COOKING EQUIPMENT. VERIFY THAT NO DETECTORS ARE INSTALLED WITHIN 36" OF THE TIP OF ANY CEILING FAN.
7. PROVIDE ARC-FAULT PROTECTION FOR ALL OUTLETS IN LOCATIONS DESCRIBED IN NEC 210.12 (A) INCLUDING: KITCHEN, LAUNDRY, FAMILY LIVING, BEDROOMS, DINING, ETC.
8. PROVIDE MANUFACTURER TECHNICAL SPECIFICATIONS FOR ALL LED FIXTURES TO CONFIRM COMPLIANCE WITH CA ENERGY CODE I19 REGARDING CERTIFICATED LED FIXTURES.
9. PROVIDE AT LEAST TWO SEPARATE 20 AMP CIRCUITS FOR SMALL APPLIANCES IN KITCHEN, PANTRY, DINING ROOM AND SIMILAR AREAS, WITH NO OTHER OUTLETS ON THE CIRCUITS PER CEC 210.11 (C)1 AND 210.52 (B).
10. ALL OUTDOOR LIGHTING SHALL BE HIGH EFFICACY FIXTURES CONTROLLED BY BOTH A MANUAL SWITCH AND A PHOTOCELL WITH MOTION DETECTOR.
11. ALL HARDWIRED LIGHTING IN BEDROOMS, HALLWAYS, STAIRS, DINING ROOM, FAMILY ROOM AND ALL OTHER ROOMS MUST BE CONTROLLED BY A MANUAL, ON/OCCUPANT SENSOR, OR CONTROLLED BY A DIMMER.
12. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET FROM A RECEPTACLE OUTLET PER CEC 210.52 (A).
13. CONTROL SWITCH FOR EXHAUST FAN AT BATHROOMS AND KITCHEN FOR INDOOR AIR QUALITY AND MECHANICAL VENTILATION SHALL OPERATE SEPARATELY FROM LIGHTING SWITCH PER CALIFORNIA ENERGY CODE SEC 150.0.
14. FOR ANY DWELLING WITH FUEL BURNING APPLIANCE OR WITH AN ATTACHED GARAGE, CARBON MONOXIDE ALARMS SHALL BE PROVIDED OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF ANY BEDROOM AND ON EVERY LEVEL INCLUDING BASEMENTS. CARBON MONOXIDE ALARMS MUST BE HARDWIRED WITH BATTERY BACKUP AND MUST BE INTERCONNECTED. CARBON MONOXIDE ALARMS MUST BE INSTALLED PER MANUFACTURER SPECIFICATIONS, WHERE MORE THAN ONE CARBON MONOXIDE DETECTOR IS REQUIRED, THE ALARM SHALL BE INTERCONNECTED IN A MANNER THAT THE ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT PER CRC 315.1.
15. ALL PERMANENTLY INSTALLED HIGH EFFICACY LUMINAIRES SHALL BE SWITCHED SEPARATELY FROM LOW EFFICACY LUMINAIRES.
16. EXHAUST FANS SHALL BE SWITCHED SEPARATELY EXCEPT WHEN LIGHTING INTEGRAL TO THE FAN IS INSTALLED THAT MEETS REQUIREMENTS OF SECTION 150.0(2).
17. ALL RECESSED LIGHTING FIXTURES IN SPACES WHERE INSULATION IS REQUIRED SHALL BE IC RATED AND SHALL BE AIRTIGHT.
18. PROVIDE ONE 20AMP CIRCUIT DEDICATED TO EACH BATHROOM PER CEC 210.11(C)
19. MOUNT WALL SWITCHES, 48" TO CENTERLINE ABOVE SUB-FLOOR UNLESS NOTED OTHERWISE. MOUNT RECEPTACLE OUTLETS 12" TO CENTERLINE ABOVE SUB-FLOOR UNLESS NOTED OTHERWISE.
20. KITCHEN ISLANDS AND PENINSULAS SHALL BE PROVIDED WITH AT LEAST ONE GFCI PROTECTED RECEPTACLE WHICH SHALL BE INSTALLED NOT MORE THAN 12" BELOW THE COUNTERTOP WHERE THE COUNTERTOP EXTENDS NO MORE THAN 6" BEYOND ITS SUPPORT BASE PER CEC 210.52 (B) (3) (C).
21. ALL 15 AND 20 AMP RECEPTACLES INSTALLED IN A WET LOCATION OR OUTDOORS SHALL BE GFCI PROTECTED AND HAVE AN ENCLOSURE THAT IS WEATHERPROOF PER CEC 406.8 (B) (1). INSTALL AT LEAST ONE OUTDOOR OUTLET ACCESSIBLE AT GRADE LEVEL, IN FRONT AND BACK OF DWELLING.
22. CONTRACTOR SHALL PROVIDE UFER OR OTHER APPROVED GROUND PER CEC 250, OR VERIFY COMPLIANCE OF EXISTING GROUND.
23. ALL LIGHTING ATTACHED TO THE RESIDENCE OR TO OTHER BUILDINGS ON THE SAME LOT MUST BE HIGH EFFICACY, AND MUST BE CONTROLLED BY A MANUAL ON, AND OFF SWITCH AND ONE OF THE FOLLOWING:
 - i. PHOTOCONTROL AND MOTION SENSOR
 - ii. PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL
 - iii. ASTRONOMICAL TIME CLOCK CONTROL THAT AUTOMATICALLY TURNS THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS.
24. THE EXISTING DWELLING UNIT IS EQUIPPED WITH A 4.5KW ROOF MOUNTED SOLAR PV SYSTEM INSTALLED IN 2016. INCLUDED IN THE SCOPE OF THIS PROJECT THE EXISTING SYSTEM WILL BE REMOVED AND THEN REINSTALLED IN ACCORDANCE WITH CEC 110.10.



Second Floor Electrical
SCALE: 1/4" = 1'-0"



SPAN NOTES

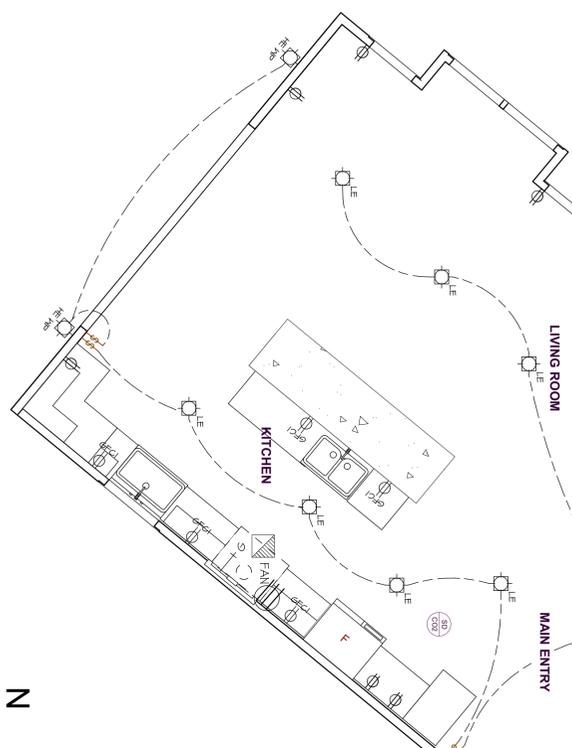
Receptacles shall be located at least 1.83m (6ft) measured horizontally from the inside walls of the spa or hot tub. CEC 680.43 (A)(1) Switches shall be located at least 1.5m (5ft), measured horizontally, from the inside walls of the spa or hot tub CEC 43(C) Bonding shall be per CEC 43(D) & (E) All electrical equipment located 1.5m (5ft) of the inside wall of the spa or hot tub shall be grounded. CEC 680.43(F)(1). Electrical equipment shall not be installed in rooms that do not have drainage that prevents water accumulation during normal operation of filler maintenance. Proper drainage shall be provided if it does not already exist. CEC 680.12

One or more means to simultaneously disconnect all underground conductors shall be provided for all utilization equipment other than lighting. Each means shall be readily accessible and within sight from its equipment and shall be located at least 1.5m (5ft) horizontally from the inside walls to a pool, spa, fountain or hot tub unless separated from the open water by a permanently installed barrier that provides a 1.5m (5ft) reach path or greater. This horizontal distance shall be measured from the water's edge along the shortest path required to reach the disconnect. CEC 680.13

ELECTRICAL LEGEND

	SMOKE & CARBON MONOXIDE DETECTOR (HARDWIRED)		LOW EFFICIENCY RECESSED LIGHT FIXTURE
	EXHAUST FAN		HIGH EFFICIENCY RECESSED LIGHT FIXTURE
	EXHAUST FAN W/ FLOOR LIGHT		LOW EFFICIENCY CEILING MOUNTED LIGHT FIXTURE
	WALL SWITCH		LOW EFFICIENCY WALL MOUNTED LIGHT FIXTURE
	JAMB OR DOOR ACTIVATED SWITCH		HIGH EFFICIENCY WATER PROOF WALL MOUNTED LIGHT FIXTURE
	THREE WAY WALL SWITCH		HIGH EFFICIENCY WATER PROOF RECESSED LIGHT FIXTURE
	DIMMER / VACANCY SENSOR SWITCH		UNDER-CABINET FLUORESCENT LIGHT FIXTURE
	VACANCY SENSOR SWITCH		FLUORESCENT LIGHT FIXTURE
	DUPLEX RECEPTACLE		LED SECURITY LIGHT W/ PHOTOCELL & MOTION SENSOR
	ARC FAULT CIRCUIT INTERRUPTER OUTLET		TRACK LIGHT
	GROUND FAULT CIRCUIT INTERRUPTER OUTLET		HIGH EFFICIENCY STEP LIGHT
	4 POLE RECEPTACLE		CABLE TV OUTLET
	JUNCTION BOX		CAT 6 CABLE OUTLET
	GAS VALVE		220V RECEPTACLE
	HOSE BIBB		

First Floor Electrical
SCALE: 1/4" = 1'-0"

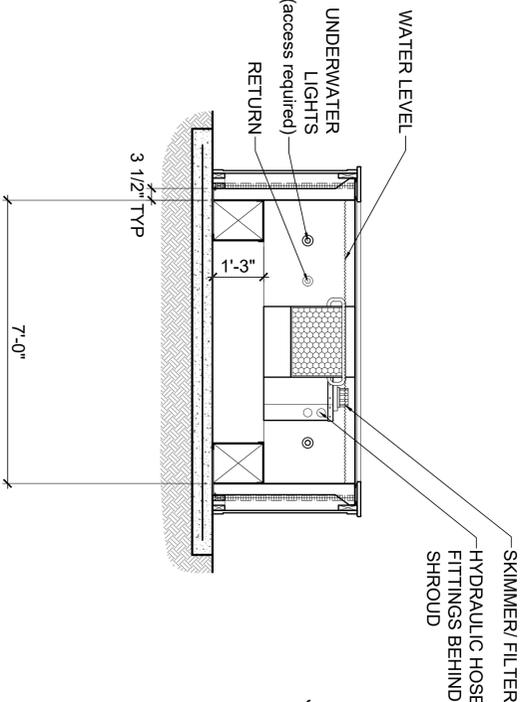


<p>DRAWN BY: T.L. Design Company Tom Hopkins PO Box 251 Trinidad, Calif. 95570 707-845-5130</p> <p>T Hopkins</p>	<p>CONTRACTOR OWNER - CONTRACTOR</p>	<p>ENGINEER</p>	<p>OWNER ROSHAWAN BEERE 707-502-6008 don_roshan@proton.com</p>	<p>REVISIONS 2/17/2023 BLD-2022-574807 4/21/23</p>	<p>SHEET TITLE ELECTRICAL</p>	<p>A4.0</p>
	<p>II DISKIN COMPANY</p>			<p>OWNER ROSHAWAN BEERE 707-502-6008 don_roshan@proton.com</p>	<p>REVISIONS 2/17/2023 BLD-2022-574807 4/21/23</p>	<p>SHEET TITLE ELECTRICAL</p>

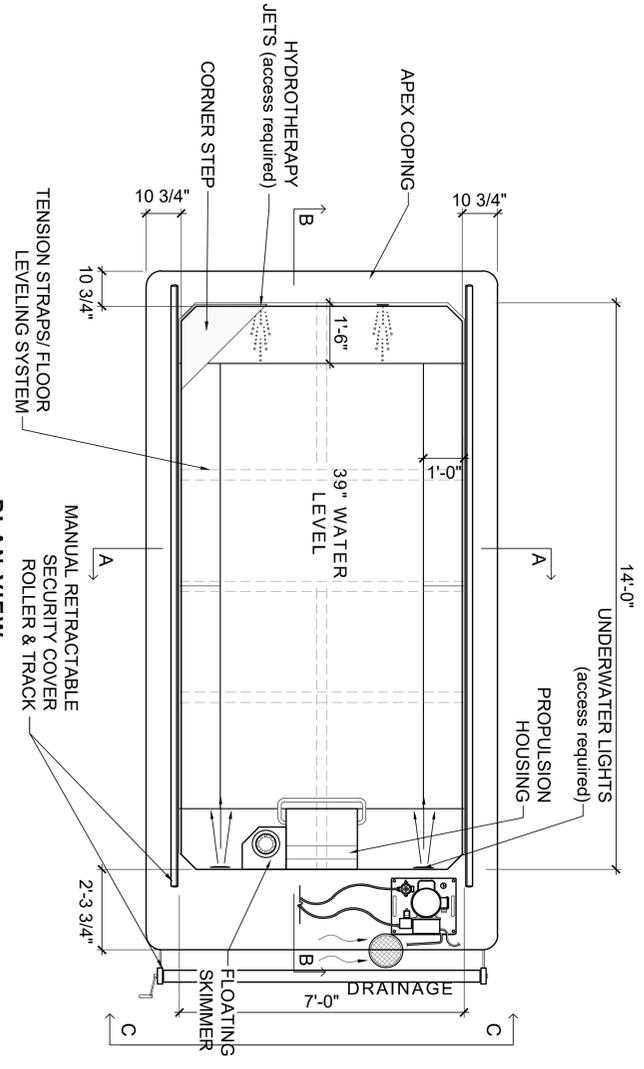
Roshawan Beere Addition
5222 Patrick Cr. APN 511-371-036
McKinleyville, Calif. 95519

GENERAL NOTES:

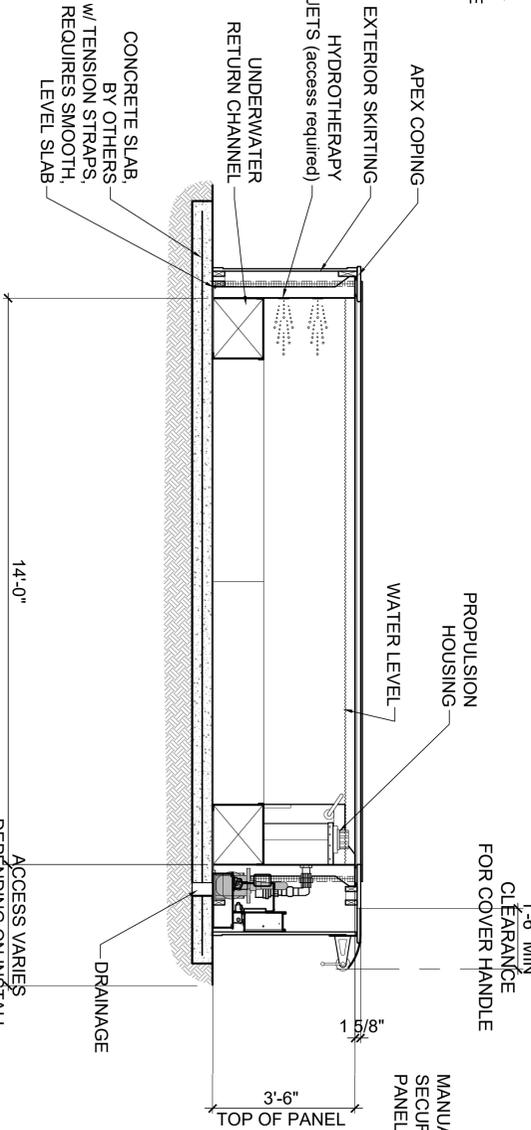
- POOL SITE MUST BE CAPABLE OF SUPPORTING A LOAD OF 75 LBS/SF FOR EVERY FOOT OF POOL HEIGHT. IF POURING A CONCRETE SLAB, IT SHOULD EXTEND A MINIMUM OF 6 IN BEYOND THE POOL'S BOTTOM FLANGE. THE EQUIPMENT END SHOULD EXTEND ENOUGH TO SUPPORT POOLSIDE EQUIPMENT IF NEEDED - SEE PERTINENT DETAILS.
- CONTRACTOR TO VERIFY SITE CONDITIONS PRIOR TO INSTALLATION.
- ACCESS MUST BE MAINTAINED TO THE WATER-QUALITY SYSTEM, AS WELL AS TO THE POWER UNIT, WHEN A HYDRAULIC TREADMILL OR AN AUTOMATIC RETRACTABLE SECURITY COVER IS SPECIFIED & TO THE EXTERIOR OF THE PANEL WHERE OPTIONAL JETS AND/OR LIGHTS ARE INSTALLED.
- ENDLESS POOLS CANNOT STRESS ENOUGH THE NECESSITY OF DRAINAGE AT THE POOL SITE. FLOOR DRAINS OR SUMP SYSTEMS SHOULD BE LOCATED ADJACENT TO THE POOL AND TESTED TO ENSURE WATER DRAINS PROPERLY.
- THE POOL SHOULD BE BONDED TO ITS ASSOCIATED EQUIPMENT & SLAB OR DECKING, IF APPLICABLE, IN ACCORDANCE WITH LOCAL CODE.
- THE ENDLESS POOL SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES. REQUIRED PERMITTING IS THE SOLE RESPONSIBILITY OF THE OWNER.
- THE ENTIRE ENDLESS POOL SYSTEM IS ETL LISTED, REF #2001779 AND CONFORMS TO UL STANDARD #1563. INDIVIDUALLY, ALL ELECTRICAL COMPONENTS OF THE ENDLESS POOL ARE UL or CSA APPROVED.
- ALL ELECTRIC CIRCUITS MUST BE GFCI/RCD PROTECTED.
- THIS DRAWING MAY NOT REFLECT ALL THE OPTIONS SELECTED BY THE OWNER.



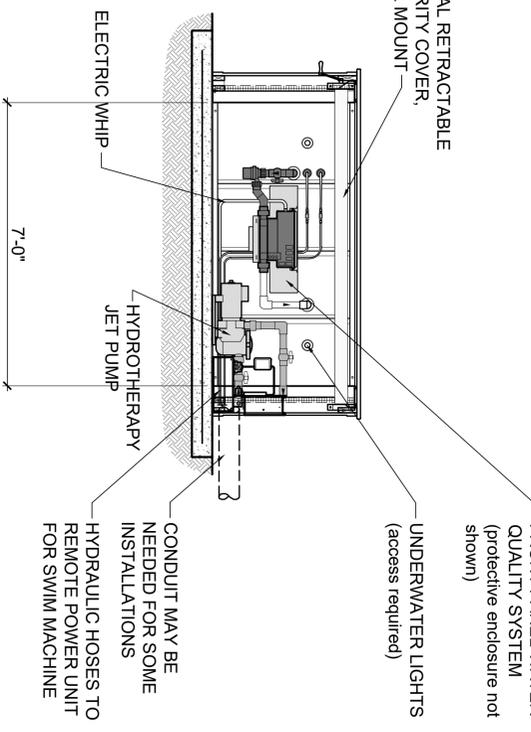
SECTION A-A
SCALE: Not To Scale



PLAN VIEW
SCALE: Not To Scale



SECTION B-B
SCALE: Not To Scale



ELEVATION C-C
SCALE: Not To Scale

POOL CONFIGURATION
(For Additional Information, Request Appropriate Detail Drawings from your Design Representative)

- Width 7 ft Inside Dimension
- Length 14 ft Inside Dimension
- Height 42 in Panel
- Tension Straps/ Floor Leveling System (Detail EP-2.1)
- Patterned Liner (Color: Grey Mosaic)
- Skirting (Color: Weathered Grey)
- Apex Coping (Color: Arctic Ice)
- Underwater Return Channel (Color: Sapphire)
- Manual Retractable Security Cover, Front Skirting Mount (Details Sect 6)
- Poolside Water Quality System (Details EP-7.0 thru 7.2, EP-3.6)
- Corner Step, Rear Right Side (Details EP-8.4, EP-8.5, EP-8.6)
- Rear Hydrotherapy Jets (Detail EP-7.4A)
- Front Underwater Lights (Detail EP-7.3)
- Hydraulic Power Unit, 5 HP (Detail EP-7.1.0)



**FULLY ABOVE GROUND ORIGINAL
MODULAR SWIM SPA**

PRELIMINARY SPAPLANS



Client Name: **Danielle Graham**
Client Address: 5222 Patrick Creek Dr
McKinleyville, CA 95519
Client #: **2707211**

DRAWING NO.



DRAWN BY:
T Design Company
Tom Hopkins
PO Box 251
Trinidad, Calif. 95570
707-845-5130
T Hopkins

CONTRACTOR
OWNER - CONTRACTOR

ENGINEER

Roshawan Beere Addition
5222 Patrick Cr. APN 511-371-036
McKinleyville, Calif. 95519

OWNER

ROSHAWAN BEERE
707-502-6008
don_roshan@proton.com

REVISIONS
21/12/23 BLD-2022-574807

SHEET TITLE
SWIM SPA

A4.1

CERTIFICATE OF COMPLIANCE
 Project Name: 23735 Roshawan Beere Addn
 Calculation Date/Time: 2023-12-14T11:00:11-08:00
 Calculation Description: Title 24 Analysis
 Input File Name: 23735 Roshawan Beere Addition.tbl/35

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ON-GUARD SURFACE CONSTRUCTIONS

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Ceiling R-value	Interior / Exterior R-value	U-factor	Assembly Layers
Garage Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.377	Inside Finish Gypsum Board Exterior Finish: All Other Siding
Default Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-13	None / None	0.101	Inside Finish: Gypsum Board Exterior Finish: 1 Coat Stucco
R-21 Wall	Exterior Walls	Wood Framed Wall	2x6 @ 16 in. O. C.	R-21	None / None	0.068	Inside Finish: Gypsum Board Exterior Finish: All Other Siding
R-15 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-15	None / None	0.095	Inside Finish: Gypsum Board Exterior Finish: All Other Siding
R-30 Roof w/Attic	Ceiling/Ceilings	Wood Framed Ceiling	2x10 @ 24 in. O. C.	R-30	None / None	0.033	Roofing: Light Roof (Insulation Single) Siding/Shedding/Decking Roof Deck: Wood Cavity / Frame: R-19 / 2x6
Default Wall	Interior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-13	None / None	0.092	Inside Finish: Gypsum Board Other Side Finish: System Board
Interior R-21 Wall	Interior Walls	Wood Framed Wall	2x6 @ 16 in. O. C.	R-21	None / None	0.064	Inside Finish: Gypsum Board Other Side Finish: System Board
Attic Garage Roof Conn	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / None	0.644	Roofing: Light Roof (Insulation Single) Siding/Shedding/Decking Roof Deck: Wood Cavity / Frame: R-19 / 2x6

Report Generation Path: 13142023_12-16
 HERS Builder: CHEERS
 Report Version: 2019.2.000
 Report Generated: 2023-12-14 13:01:26

CERTIFICATE OF COMPLIANCE
 Project Name: 23735 Roshawan Beere Addn
 Calculation Date/Time: 2023-12-14T11:00:11-08:00
 Calculation Description: Title 24 Analysis
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WATER HEATING - HERS VERIFICATION

01	02	03	04	05	06	07	08
Name	Peak Load	Parallel Pipe	Compact Distribution	Recirculation Type	Recirculation Control	Control DHW	Heat Recovery
DHW Sys. 1 - J17	Not Required	Not Required	Not Required	None	Not Required	Not Required	Not Required

SPACE CONDITIONING SYSTEMS

01	02	03	04	05	06	07	08	09	10	11
Name	System Type	Heating/Cooling Name	For Name	Distribution Name	Required Name	Status	Verified Heating Condition	Verified Cooling Condition	Control	Count
HVAC1	Heating and cooling system	Heating Component 1	HVAC Sys. 1	Air Distribution System 1	n/a	n/a	No	1	1	1

HVAC - HEATING UNIT TYPES

01	02	03	04
Name	System Type	Number of Units	Heating Efficiency
Heating Component 1	Central Gas Furnace	1	A/E: 78

Report Generation Path: 13142023_12-16
 HERS Builder: CHEERS
 Report Version: 2019.2.000
 Report Generated: 2023-12-14 13:01:26

RESIDENTIAL MEASURES SUMMARY

Requirement	Requirement Addressed	Compliance Method	Compliance Reference	Compliance Status
RES-1.1	Water Heating	Water Heating	Water Heating	Compliant
RES-1.2	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-1.3	Water Heating	Water Heating	Water Heating	Compliant
RES-1.4	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-1.5	Water Heating	Water Heating	Water Heating	Compliant
RES-1.6	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-1.7	Water Heating	Water Heating	Water Heating	Compliant
RES-1.8	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-1.9	Water Heating	Water Heating	Water Heating	Compliant
RES-1.10	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-1.11	Water Heating	Water Heating	Water Heating	Compliant
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RES-1.95	Water Heating	Water Heating	Water Heating	Compliant
RES-1.96	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-1.97	Water Heating	Water Heating	Water Heating	Compliant
RES-1.98	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-1.99	Water Heating	Water Heating	Water Heating	Compliant
RES-1.100	Space Conditioning	Space Conditioning	Space Conditioning	Compliant



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ON-GUARD SURFACE CONSTRUCTIONS

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Ceiling R-value	Interior / Exterior R-value	U-factor	Assembly Layers
Attic Roofing	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / None	0.644	Roofing: Light Roof (Insulation Single) Siding/Shedding/Decking Roof Deck: Wood Cavity / Frame: R-19 / 2x6
Attic Foundation	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / None	0.644	Roofing: Light Roof (Insulation Single) Siding/Shedding/Decking Roof Deck: Wood Cavity / Frame: R-19 / 2x6
Default Floor	Floor/Decks	Wood Framed Floor	2x6 @ 16 in. O. C.	R-19	None / None	0.047	Floor Surface: Carpeted Siding/Shedding/Decking Roof Deck: None Cavity / Frame: R-19 / 2x6
R-19 floor Composite	Floor/Decks	Wood Framed Floor	2x6 @ 16 in. O. C.	R-19	None / None	0.048	Floor Surface: Carpeted Siding/Shedding/Decking Roof Deck: None Cavity / Frame: R-19 / 2x6
R-0 Garage Roof Deck	Ceiling/Below	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / None	0.481	Over Ceiling: R-0.5 Insulation Cavity / Frame: R-19 / 2x6 Inside Finish: Gypsum Board
Default Roof	Ceiling/Below	Wood Framed Ceiling	2x4 @ 16 in. O. C.	R-19	None / None	0.048	Over Ceiling: R-0.5 Insulation Cavity / Frame: R-19 / 2x6 Inside Finish: Gypsum Board
R-30 Roof Deck 2x4 Z-Br.	Ceiling/Below	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-30	None / None	0.032	Over Ceiling: R-0.5 Insulation Cavity / Frame: R-19 / 2x6 Inside Finish: Gypsum Board

Report Generation Path: 13142023_12-16
 HERS Builder: CHEERS
 Report Version: 2019.2.000
 Report Generated: 2023-12-14 13:01:26

CERTIFICATE OF COMPLIANCE
 Project Name: 23735 Roshawan Beere Addn
 Calculation Date/Time: 2023-12-14T11:00:11-08:00
 Calculation Description: Title 24 Analysis
 Input File Name: 23735 Roshawan Beere Addition.tbl/35

(Page 12 of 13)

HVAC - COOLING UNIT TYPES

01	02	03	04	05	06	07	08
Name	System Type	Number of Units	Efficiency EER/ESEER	Efficiency SEER	Zone(s) Controlled	Manufacturer's Compressor	HERS Verification
Cooling Component 1	No Cooling	1	n/a	n/a	Not Zoned	Single Speed	n/a

HVAC - DISTRIBUTION SYSTEMS

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15
Name	Type	Design Supply	Humid	Supply Return	Supply Return	Duct Leakage	HERS Status	Verified Heating Condition	Verified Cooling Condition	New Ducts	40% Ducts	HERS Status	Verified Heating Condition	Verified Cooling Condition
Distribution on System 1	Underside	Non-ducted	Non-ducted	Non-ducted	Non-ducted	Non-ducted	None	None	None	None	None	None	None	None
Distribution on System 1	Underside	Non-ducted	Non-ducted	Non-ducted	Non-ducted	Non-ducted	None	None	None	None	None	None	None	None

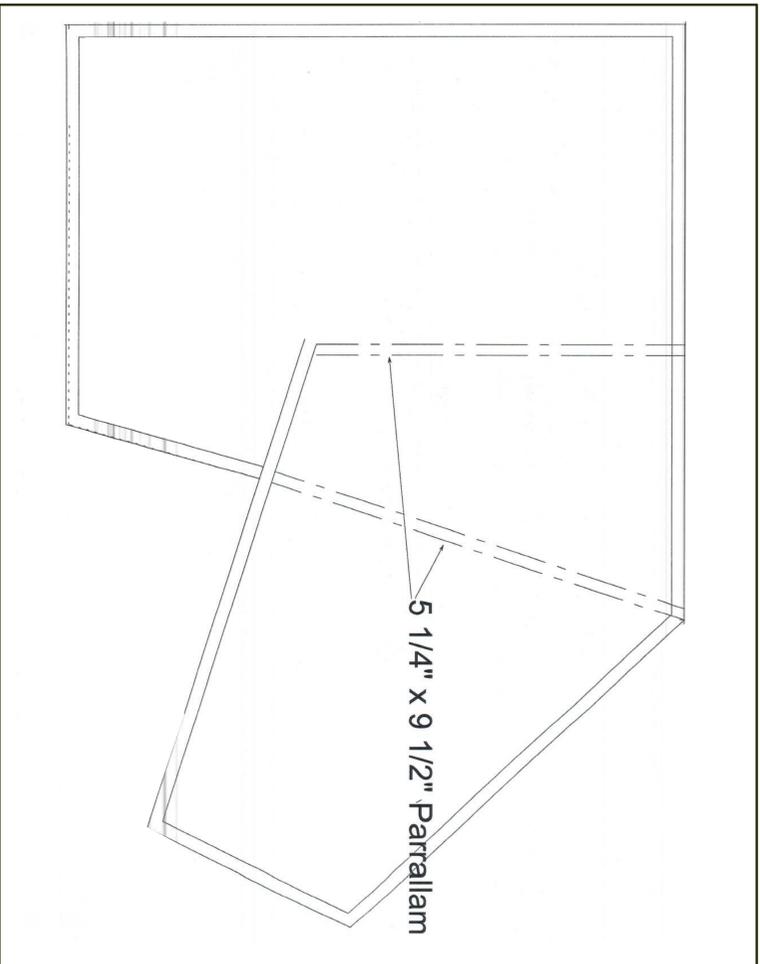
HVAC - DUCT SYSTEMS

01	02	03	04
Name	System Type	Est. Power (kW/CFM)	Notes
HVAC Sys. 1	HVAC Sys. 1	0.0	n/a

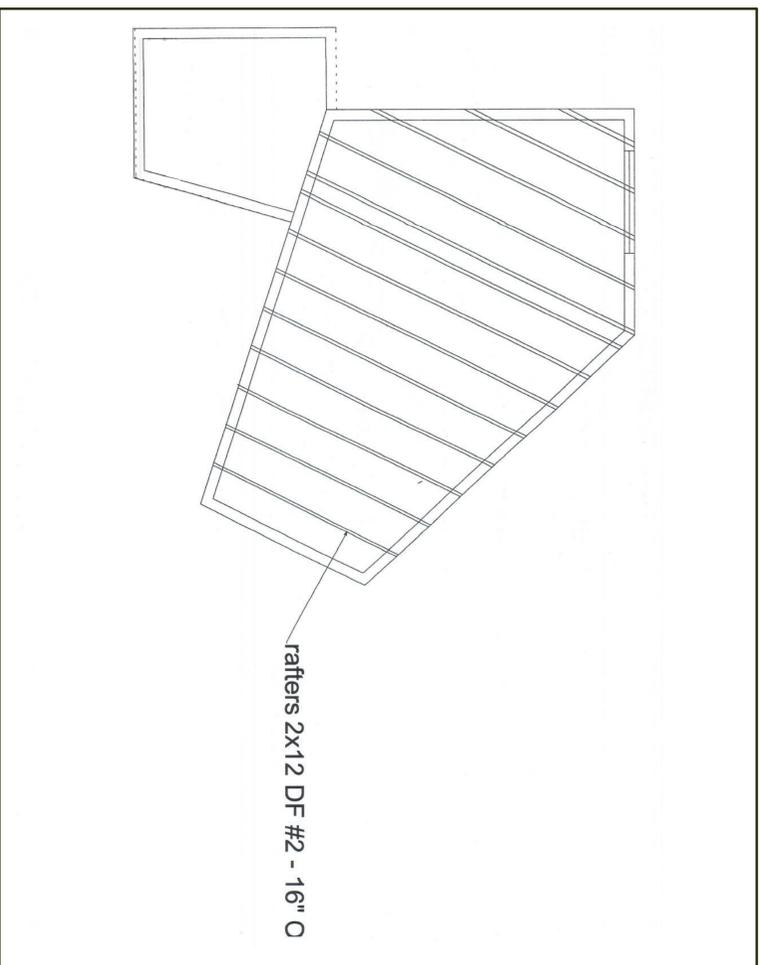
Report Generation Path: 13142023_12-16
 HERS Builder: CHEERS
 Report Version: 2019.2.000
 Report Generated: 2023-12-14 13:01:26

RESIDENTIAL MEASURES SUMMARY

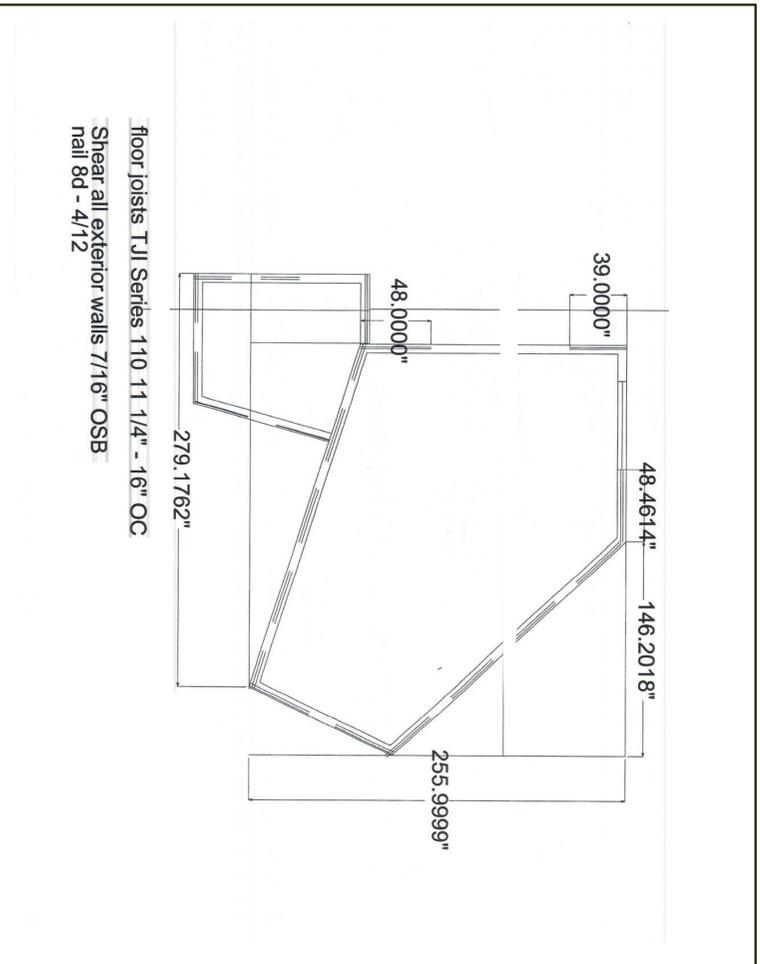
Requirement	Requirement Addressed	Compliance Method	Compliance Reference	Compliance Status
RES-1	Water Heating	Water Heating	Water Heating	Compliant
RES-2	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-3	Water Heating	Water Heating	Water Heating	Compliant
RES-4	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-5	Water Heating	Water Heating	Water Heating	Compliant
RES-6	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-7	Water Heating	Water Heating	Water Heating	Compliant
RES-8	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-9	Water Heating	Water Heating	Water Heating	Compliant
RES-10	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-11	Water Heating	Water Heating	Water Heating	Compliant
RES-12	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-13	Water Heating	Water Heating	Water Heating	Compliant
RES-14	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-15	Water Heating	Water Heating	Water Heating	Compliant
RES-16	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-17	Water Heating	Water Heating	Water Heating	Compliant
RES-18	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-19	Water Heating	Water Heating	Water Heating	Compliant
RES-20	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-21	Water Heating	Water Heating	Water Heating	Compliant
RES-22	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-23	Water Heating	Water Heating	Water Heating	Compliant
RES-24	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-25	Water Heating	Water Heating	Water Heating	Compliant
RES-26	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-27	Water Heating	Water Heating	Water Heating	Compliant
RES-28	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-29	Water Heating	Water Heating	Water Heating	Compliant
RES-30	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-31	Water Heating	Water Heating	Water Heating	Compliant
RES-32	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-33	Water Heating	Water Heating	Water Heating	Compliant
RES-34	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-35	Water Heating	Water Heating	Water Heating	Compliant
RES-36	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-37	Water Heating	Water Heating	Water Heating	Compliant
RES-38	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-39	Water Heating	Water Heating	Water Heating	Compliant
RES-40	Space Conditioning	Space Conditioning	Space Conditioning	Compliant
RES-41	Water Heating			



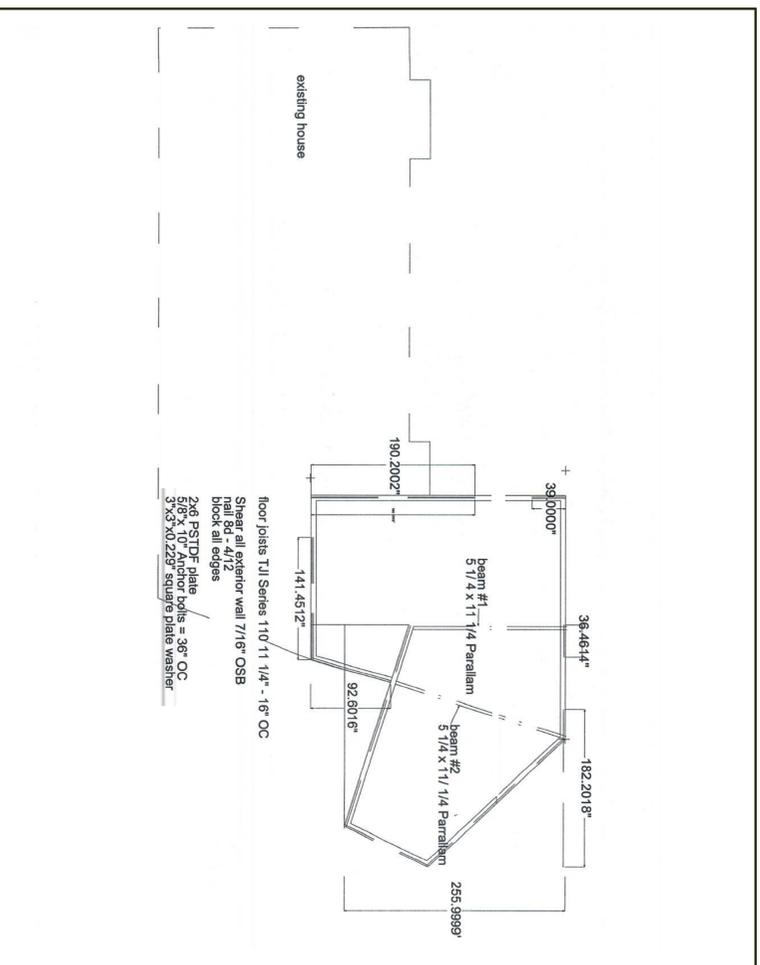
Beams for Roof S.1



Second Floor Rafters S.2



Floor Joist & Shear S.3



Beams and Shear Walls S.4



DRAWN BY:
T.I. Design Company
Tom Hopkins
PO Box 251
Trinidad, Calif. 95570
707-845-5130

T Hopkins

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OWNER - CONTRACTOR

ENGINEER

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95519
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chapman@tiddpool.com

Roshawan Beere Addition
5222 Patrick Cr. APN 511-371-036
McKinleyville, Calif. 95519

OWNER

ROSHAWAN BEERE
707-502-6008
don_roshan@shaco.com

REVISIONS
2/1/2023 BLD-2022-574807

SHEET TITLE
STRUCTURAL

S.1

Patrick Creek Addition Structural Drawings
from Chapman Engineering

Scale 1" = 1'-0"



Phone: (707) 441-8855 Email: info@sstv-eng.com Web: sstv-eng.com
812 W. Wabash Avenue Eureka, CA 95501-2138

Reference: 022123

August 26, 2022

Roshawn Beere
P.O. Box 10
Bayside, CA 95525

Subject: Engineering Geologic Assessment of Slope Stability Conditions, 5222 Patrick Creek Road, McKinleyville, California

Roshawn Beere:

As requested, we are providing this engineering geologic assessment of slope stability conditions at your property at 5222 Patrick Creek Road in McKinleyville. We understand you are in the process of remodeling the existing structure at the site and are planning a small addition to the north side of the home. The Humboldt County Planning Department has requested this assessment to evaluate the existing geologic condition at the site and the potential for the proposed addition to impact the existing conditions.

The site occurs at the crest of the bluff slope at the seaward edge of Dows Prairie; therefore, the evaluation focuses on the stability conditions along the bluff slope and assumes an economic lifespan of 75 years as a baseline for the evaluation. The work scope for this assessment includes a review of pertinent geologic and historic literature, interpretation of historic aerial photographs, and a site reconnaissance. We visited the site on Friday, July 29, 2022, and evaluated geologic conditions in the site and vicinity. We were provided with an undated plot plan of existing conditions and a plan of proposed property upgrades, prepared by T1 Design Company, that was used during our site visit. This evaluation is based on available information relative to historic conditions and qualitative site observations; subsurface investigation and/or quantitative slope stability modeling is beyond the scope of this investigation.

Site Conditions

The subject parcel is located near the crest of the bluff slope at the western edge of Dows Prairie, a gently sloping marine terrace remnant that lies just east of Clam Beach. The site is directly north of the mouth of Patrick Creek, and south of the Little River. The parcel is characterized by a low gradient upper surface with an elevation of about 200 feet, with a distinct and sharp slope break that defines the crest of a steep bluff slope that is heavily vegetated (locally with older, well-established alder trees). U.S. Highway 101 is located along the back edge of Clam Beach below the site, adjacent to a series of small, linear ponds that occur along the base of the bluff slope.

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Roshawn Beere
Engineering Geologic Assessment of Slope Stability Conditions, 5222 Patrick Creek Road, McKinleyville, CA
August 26, 2022
Page 3

the reach of the ocean and any form of coastal erosion. North of Patrick Creek, to the Little River valley, there are few deviations along the straight bluff crest to suggest significant landsliding along the bluff slope.

The linear ponds along the base of the bluff slope are historic remnants of mining. From 1897, for no more than about 10 years, "black sands" along Clam Beach were dredged for gold. Historic accounts indicate the ponds were a result of the sand mining and they have persisted ever since. Presence of the ponds along the base of the bluff slope at this time indicate the absence of significant landslides for the past 120+ years, as they would have encroached onto the ponds. The old highway alignment occurs between the ponds and the base of the bluff slope north of Patrick Creek and remains visible today, providing additional historic context relative to stability along the bluff slope.

Review of historic aerial photography does not reveal evidence of historic landslides along the bluff face. Photo evidence of bare areas or disrupted vegetation are not apparent in the photo record we observed. Site reconnaissance suggests very slow rates of mass wasting, mostly occurring within a few feet of the bluff crest, in sandy material most likely related to the thin veneer of windblown sand at the site. The bluff slope maintains a dense layer of brushy groundcover and trees, including some larger alders that suggest relative stability along the slope.

Conclusions

The site occurs along a former sea cliff that has been removed from the erosive effects of the ocean; it is essentially a dormant feature formed by processes it is no longer subject to. Retreat rates along the sea cliff appear nominal over historic time, as evidenced by the former highway alignment and remnant mining ponds that persist at the base of the slope. In the absence of significant environmental change, which is not expected, we expect the site to continue to experience low rates of landsliding.

Seismic shaking induced landsliding may impact the bluff in the future, although the absence of significant deviations along the linear bluff crest suggests these are likely to be shallow and associated with nominal retreat of the overall bluff slope.

As such, it appears the existing 27-foot setback remains a reasonable buffer to mitigate the risk associated with the slope stability hazard along with the bluff slope at the site.

The proposed two-story addition along the northern end of the home is irrelevant in regard to the existing geologic condition at the site and will not decrease the existing setback. The proposed improvement will have no effect on the existing slope stability conditions at the site.

In terms of maintaining a stable bluff slope into the future, ensure that no concentrated drainage is directed toward the bluff. Do not remove or disturb vegetation on the bluff face; it is acting to maintain stability of the bluff by intercepting rainfall and providing root reinforcement. Managing the height of trees on the slope is acceptable if the health or vitality of the tree is not compromised. Do not disturb the existing condition by significant excavation along the bluff edge or by disrupting shallow soils; in general, low impact management of the area along the bluff edge is critical.



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Roshawn Beere
Engineering Geologic Assessment of Slope Stability Conditions, 5222 Patrick Creek Road, McKinleyville, CA
August 26, 2022
Page 2

The area is underlain by the early to middle Pleistocene age Ebor Formation, which consists of poorly consolidated marine, estuarine, and fluvial siltstone, sandstone, and conglomerate. Ebor Formation sediments are deposited on top of Cretaceous age Franciscan lithology; regionally, a relationship that is spelled farther north at the mouth of the Little River, but Franciscan materials are not exposed along Clam Beach. The Ebor Formation is locally sandy in the project vicinity; the material is referred to as "Coarse Sands" on some geologic maps; the lower part of the bluff slope, therefore, is composed of sandy Ebor Formation sediments.

Dows Prairie is a remnant of an uplifted late Pleistocene age marine terrace surface. Marine terraces consist of subaerial platforms; low gradient erosional surfaces formed in the near-shore marine environment during previous high stands related to Pleistocene sea level fluctuations. These subaerial platforms are covered by a few tens of feet of near-shore marine sediments (marine terrace deposits) that are typically unconsolidated beds of sand and conglomerate. Along Clam Beach, the marine terrace deposits are exposed in the upper part of the bluff slope and represent the subgrade material beneath the existing residence. During our site reconnaissance, we noted the surficial soils are loose and consist of clean fine sands, suggesting a veneer of windblown sand is present along the crest of the bluff slope.

The site is about a mile southwest of the mapped trace of the Trinidad fault, which is considered an "active" fault by the State of California. Approximately located faults are mapped along Patrick Creek, but these are poorly understood and not considered active by the state. The site lies above the tsunami inundation zone.

The site is developed with an existing residence, with a detached shop and wooden patio as shown on available site plans. The residence is located 27 feet from the well-defined bluff crest at the time of this reporting. As described above, the bluff slope is steep and heavily vegetated; it is generally inaccessible. The terrace surface beneath the site slopes gently to the east, away from the bluff slope. The existing septic tank and wastewater disposal field are located on the eastern (landward) side of the residence. The parcel is bordered by residential properties to the north and south.

Proposed Improvements

We understand the primary proposed improvements consists of a 754 square foot, two-story addition at the northern end of the existing residence. The addition would utilize a perimeter spread footing foundation pinned to the existing foundation. The proposed addition would be located at the north end of the structure, not on the coastal side of the structure; therefore, the existing structural setback from the bluff slope would not be affected.

Bluff Slope at the Site

South of the mouth of the Little River at Moonstone Beach, the coastline along Clam Beach is relatively straight and the bluff slope along the back edge of the beach is relatively linear and parallels the coastline. The bluff slope is a former sea cliff, but regional tectonic uplift has elevated the slope beyond



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Roshawn Beere
Engineering Geologic Assessment of Slope Stability Conditions, 5222 Patrick Creek Road, McKinleyville, CA
August 26, 2022
Page 4

We use that this engineering geologic evaluation of slope stability conditions at the site provides the information that you need at this time. Should you require additional information, or clarification of the information provided herein, please do not hesitate to contact our office at (707) 441-8855.

Respectfully,

SHN



Gary D. Simpson
Sr. Engineering Geologist

GDS:ame



T1 DESIGN COMPANY
DRAWN BY:
Tom Hopkins
PO Box 251
Trinidad, Calif. 95570
707-445-5190

T Hopkins

CONTRACTOR

OWNER - CONTRACTOR

ENGINEER

Roshawan Beere Addition
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OWNER

ROSHAWAN BEERE
707-502-6008
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REVISIONS
2/17/2023 BLD-2022-574807

SHEET TITLE

SITE
GEOTECHNICAL

S.2