



COUNTY OF HUMBOLDT
PLANNING AND BUILDING DEPARTMENT
CURRENT PLANNING DIVISION

3015 H Street, Eureka CA 95501
Phone: (707)445-7541 Fax: (707) 268-3792

Hearing Date: September 2, 2021

To: Humboldt County Planning Commission

From: John H. Ford, Director of Planning and Building Department

Subject: **Grouse Valley Farms, Inc. Conditional Use Permit and Special Permit**
Record Number PLN-11672-CUP
Assessor's Parcel Number (APN) 315-271-006
11525 Grouse Creek Road, Hyampom (40°43'23.87"N, 123°33'2.62"W)

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Please contact Jordan Mayor, Senior Biologist and Contract Planner, at 707-683-4711 or by email at jordan.mayor@icf.com, if you have any questions about the scheduled public hearing item.

AGENDA ITEM TRANSMITTAL

Hearing Date September 2, 2021	Subject Conditional Use Permit and Special Permit	Contact Jordan Mayor
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Project Description: Grouse Valley Farms, Inc. seeks a Conditional Use Permit for an existing outdoor and mixed-light cultivation operation 22,000 square feet (SF) in size. The outdoor cultivation area totals 19,000 SF and the mixed-light cultivation area totals 3,000 SF. The site also includes a 960-SF existing appurtenant nursery. Irrigation water is sourced from an onsite spring and a permitted (20/21-0690) 250-foot-deep groundwater well. Existing available water storage totals 99,000 gallons in 26 hard plastic tanks. Estimated annual water usage is 145,000 gallons (6.6 gallons/SF/year). Onsite trimming is done by hand and machine and drying is conducted in a gravel-floored 800-SF building. A new 3,000-SF processing and drying building is proposed to replace the existing 800-SF building. Four permanent and up to 12 seasonal employees are anticipated during peak processing activities. There is an existing septic system for the dry building and a new septic system is proposed to support a bathroom in the proposed processing building. Power is provided by two gas-powered Honda 7000 generators and a Kohler 70-kilowatt generator for backup. Thirty solar panels are proposed for the roof of the proposed processing building. A 1,600-SF cabin and three travel trailers are proposed to provide seasonal housing. A Special Permit is also required for a setback reduction from Public Lands managed by Six Rivers National Forest to allow for an approximate 300-foot setback from the cultivation area on both the north and east sides of the property.

Project Location: The project is located in Humboldt County, in the Hyampom area, on the north side of National Forest Service Road 6 (Grouse Creek Road), approximately 0.8 miles from the intersection of NFS Road 6 and County Road 311 (Lower South Fork Road), on the property known to be in Section 18 of Township 04 N, Range 06 E and Section 13, Humboldt Base & Meridian (APN: 315-271-006).

Present Plan Land Use Designations: Timberland (T); Density: 40–160 acres per dwelling unit; Slope Stability: Moderate Instability (2)

Present Zoning: TPZ

Record Number: PLN-11672-CUP

Assessor’s Parcel Number: 315-271-006

Applicant

Grouse Valley Farms, Inc.
Phil S. O’Connor, President
4666 Jacoby Creek Road
Bayside, CA 95524

Owner

Grouse Valley Farms, Inc.
Phil S. O’Connor, President
4666 Jacoby Creek Road
Bayside, CA 95524

Agent

Paul Gallegos
804 3rd Street
Eureka, CA 95501

Environmental Review: An Addendum to a previously adopted Mitigated Negative Declaration has been prepared for consideration per §15164 of the State CEQA Guidelines.

State Appeal Status: Project is NOT appealable to the California Coastal Commission

Major Issues: None

Recommended Commission Action

1. Describe the application as a public hearing;
2. Request that staff present the project;
3. Open the public hearing and receive testimony; and
4. Close the hearing and take the following action:

Find that the Commission has considered the Addendum to the adopted Mitigated Negative Declaration for the Commercial Medical marijuana Land Use Ordinance (CMMLUO) as described by Section 15164 of the State CEQA Guidelines, make the required findings for approval of the Conditional Use Permit and adopt the resolution approving the Grouse Valley Farms LLC Conditional Use Permit and Special Permit as recommended by staff and subject to the recommended conditions.

Executive Summary: Grouse Valley Farms, Inc. seeks a Conditional Use Permit to allow the continued operation of an existing outdoor and mixed-light cultivation operation totaling 22,000 square feet (SF) in size in accordance with Humboldt County Code Section 314-55.4 of Chapter 4 of Division I of Title III, CMMLUO. The outdoor cultivation area totals 19,000 SF and the mixed-light cultivation area totals 3,000 SF, all located on a single flat area. The site is designated as Timberland (T) in the Humboldt County 2017 General Plan and zoned Timber Production Zone (TPZ). The site also includes a 960-SF existing appurtenant nursery. Onsite trimming is done by hand and by machine and drying is conducted in a gravel-floored 800-SF steel building and a new 3,000-SF processing and drying building is proposed. Four permanent and up to 12 seasonal employees are anticipated during peak processing activities. Power is provided by two gas-powered Honda 7000 gasoline generators and a Kohler 70-kilowatt propane generator. Thirty solar panels are proposed for the roof of the proposed processing building. 3,000 gallons of propane storage tanks provide heaters used in the greenhouse and drying rooms. A 1,600-SF cabin and three travel trailers are proposed to provide non-permanent episodic seasonal housing for the four full-time employees, but no employees are to fully reside on site. All existing and proposed buildings and historic grading are to be permitted as a condition of approval (COA #6 through #8). One annual harvest from the outdoor cultivation will occur in October and 4-5 harvests are anticipated from the 3,000 SF mixed-light heated greenhouse. The applicant currently uses portable toilets and handwashing stations until a permitted onsite waste-water system can be installed (COA #9). The property is geographically remote and located behind a locked gate. All of the Garden perimeter is fenced and the applicant is in the process of fencing the property perimeter. Security cameras are planned for when the processing building is approved. A Special Permit is required for a setback reduction from Six Rivers National Forest to allow a 300-foot setback from the cultivation area on both the north and east sides of the property.

Water Resources

Irrigation water is sourced from an onsite spring and a 250-foot-deep permitted (20/21-0690) groundwater well drawing water from depths of 100 to 230 feet at an estimated rate of 5 gallons/minute (Attachment 3). Existing available water storage totals 99,000 gallons in 26 tanks ranging in size from 2,500 gallons to 5,000 gallons. An additional 2,500-gallon tank is reserved for fire suppression. Estimated annual water usage is 145,000 gallons (6.6 gallons/SF/year) with peak demand occurring February through June at approximately 20,000 gallons per month. A Final Lake or Streambed Alteration Agreement (1600-2018-004-R1) was issued by the California Department of Fish and Wildlife (CDFW) in January 2018 for one point of diversion on a Class III watercourse tributary to Grouse Creek. Work for the water diversion will include modification, use, and maintenance of the water diversion infrastructure. All water sources will be monitored as a condition of approval (COA #10).

Although Humboldt County's WebGIS shows no mapped streams, there are three Class III streams and associated 50-foot Streamside Management Area (SMA) buffers. The cultivation areas are outside of the SMA buffers. The Water Resource Protection Plan (WDID-B161182CHUM) prepared by Timberland

Resource Consultants in 2017 (Attachment 3) noted that the property met most standard conditions apart from site maintenance, erosion control and drainage features, stream crossing maintenance, and refuse and human waste. Measures to rectify the remaining standard conditions are underway and made a condition of approval (COA #11). Preparation of a Site Management Plan will be required to abide by State Water Resources Control Board 2019 Cannabis Policy, and this has been made a condition of approval (COA #11). In addition, if any restoration, remediation, or existing infrastructure upgrades are anticipated in streams or wetlands identified on your property, the applicant is required by the Regional Water Quality Control Board to submit a Surface Water Correction Workplan at least 60 days prior to the proposed work.

Biological Resources

A Biological Resource Assessment report prepared for the project by TransTerra Consulting in October 2019 was submitted for the project. Per the report, the nearest NSO activity center is approximately 1.1 miles southwest of the property. The most recent observation in the NSO database was negative in 2004. Another activity center, 1.5 miles northwest from the property, had positive observations within the 1-mile buffer as recent as 2004. Critical habitat for NSO is located approximately 0.6 mile from the project area. According to the Biological Assessment, the project area had been logged and had also burned recently and much of the area was dominated by burned snags with regeneration of fire-adapted species below. The area had also been disturbed by logging and other development. Due to previous clearing and fire damage, nesting habitat for owls and other raptors was not observed near the project site.

Per the applicant, power is provided by two gas-powered Honda 7000 generators and a Kohler 70-kilowatt propane generator for backup for fans and supplemental lighting in the mixed-light greenhouse and nursery and drying building. The Honda 7000 generators' noise level is between 52 and 58 decibels and will generate less than 50 decibels of noise at 100 feet at load. Generator containment sheds are proposed which will meet the performance standards for noise set by Department Policy Statement No. 16-005 which requires noise levels be at or below 50 decibels at 100 feet or edge of habitat, whichever is closer. As a result, the project is conditioned to ensure the combination of background, generator, and greenhouse fan or other operational equipment-created noise meets the noise level threshold. Conformance will be evaluated using current auditory disturbance guidance prepared by the United States Fish and Wildlife Service. In addition, solar power is proposed on the proposed processing building and the project is conditioned to convert the primary source of power to solar by January 1, 2026 (COA #15).

The project has been conditioned to ensure supplemental lighting associated with the one mixed-light greenhouse and the appurtenant nursery cultivation area is fully contained with blackout tarps and have all outside lighting on timers or motion sensors to reduce light exposure to wildlife and their potential habitat and avoid heavy equipment operations during the NSO critical period (February 1–July 31) or perform protocol-level surveys prior to initiating that work. Furthermore, the project is conditioned to adhere to Dark Sky Association standards for greenhouse lighting and security lighting, refrain from using synthetic netting, ensure refuse is contained in wildlife-proof storage and refrain from using anticoagulant rodenticides to further protect wildlife. As proposed and conditioned, the project is consistent with CMMLUO performance standards and CDFW guidance and will not negatively affect NSO or other sensitive species.

Tribal Cultural Resources Coordination

There are no known tribal cultural resources on the project site. The project was referred to the Northwest Information Center (NWIC) and the Tsnungwe Council in 2017. The NWIC responded that their office has no record of any previous cultural resource studies for the project area but that the project area has the possibility of containing unrecorded archaeological site(s), and a study is recommended prior to commencement of project activities. The Tsnungwe Council was consulted with who had no objections to the project. Ongoing conditions of approval are incorporated regarding the Inadvertent Discoveries Protocol to protect cultural resources and tribal cultural resources.

Six Rivers National Forest

The project was referred to the US Forest Service who responded to recommend denial of the project and denial of the 600-foot setback waiver request. Stated comments from USFS were that cannabis cultivation is federally illegal and transportation of cannabis across federal lands is also illegal. This is a standard comment from the USFS given the federal status of cannabis. The USFS did not express any specific concerns related to this specific operation. The adjacent public land is subject to the Land and Resource Management Plan - Six Rivers National Forest 1995 (L&RMP). The project is consistent with the L&RMP because the cultivation activities will minimize impacts on biological resources and wildlife through measures to reduce potential light and noise impacts. The light source used in the greenhouses will comply with the International Dark Sky Association standards for Lighting Zone 0 and Lighting Zone 1 and be designed to regulate light spillage onto neighboring properties resulting from backlight, upright, or glare. Further, the combination of background, generator, and greenhouse fan or other operational equipment created noise will not result in the harassment of NSO species as the project is required to meet the performance standards for noise set by CMMLUO Section 55.4.11 (o) requirements. Further, the project will also protect fisheries and aquatic habitat on forest lands by maintaining buffers from streams and by avoiding surface water diversions during the forbearance period. Water will be sourced from a permitted well onsite. The applicant will use a drip irrigation method. Additional protection methods include monitoring the use of pesticides, rodenticides and fertilizers, and adhering to the County's Fire Safe Regulations and providing adequate road access. The L&RMP's provisions for protection of heritage resources are consistent with the proposed project as consultation with Tribal Historic Preservation Officers occurred. Lastly, the project is consistent with recreational use on public lands as the proposed project is not located near developed campgrounds and trails.

Access

The project site is approximately 55 miles from Willow Creek. From Willow Creek, follow Highway 299 east to Underwood Mountain Road, continue on Undermountain Road to Hyampom, turn right on to County Road 311/Lower Trinity Road, continue straight on to Lower South Fork Road to the project site. As requested from Public Works, a Road Evaluation Report was prepared for National Forest System Road 6 from County Road 311 to the private driveway and concluded that the road segment is developed to the equivalent of a road category 4 standard.

Environmental review for this project was conducted and based on the results of that analysis, staff finds that all aspects of the project have been considered in a previously adopted MND that was adopted for the CMMLUO and has prepared an addendum to this document for consideration by the Planning Commission (See Attachment 2 for more information).

The project was referred to the Northern Humboldt Union High School District who responded that the project is not located within 600 feet of a school or a school bus stop. The School District recommended denial of the project given the federal legal status and the possibility that current and/or future students might pass by the location on the way to and from school. No specific concerns related to this actual operation were raised and the county is unaware of any reasons why this operation would negatively impact the school district. This operation has not been the subject of any complaints or specific public safety concerns.

RECOMMENDATION: Based on a review of Planning Division reference sources and comments from all involved referral agencies, Planning staff believes that the applicant has submitted evidence in support of making all of the required findings for approval of the Conditional Use Permit and Special Permit.

ALTERNATIVES: The Planning Commission could elect not to approve the project, or to require the applicant to submit further evidence, or modify the project. If modifications may cause potentially significant impacts, additional CEQA analysis and findings may be required. These alternatives could be implemented if the Commission is unable to make all of the required findings. Planning staff has stated that the required findings in support of the proposal have been made. Consequently, Planning staff does not recommend further consideration of any alternative.

The Planning Commission could also decide the project may have environmental impacts that would require further environmental review pursuant to CEQA. Staff did not identify any potential impacts. As the lead agency, the Department has determined that the project is consistent with the MND for the CMMLUO as stated above. However, the Commission may reach a different conclusion. In that case, the Commission should continue the item to a future date at least 2 months later to give staff the time to complete further environmental review.

**RESOLUTION OF THE PLANNING COMMISSION
OF THE COUNTY OF HUMBOLDT
Resolution Number 21-
Record Number PLN-11672-CUP
Assessor's Parcel Number: 315-271-006**

Resolution by the Planning Commission of the County of Humboldt certifying compliance with the California Environmental Quality Act (CEQA) and conditionally approves the Grouse Valley Farms, Inc., Conditional Use Permit and Special Permit.

WHEREAS, Grouse Valley Farms, Inc., submitted an application and evidence in support of approving a Conditional Use Permit for the continued operation of an existing 22,000-square-foot (SF) cannabis cultivation operation with an additional 960-SF nursery and ancillary drying and processing facilities, and a Special Permit for a setback reduction from Six Rivers National Forest to allow for a 300-foot setback from the cultivation area on both the north and east side of the property; and

WHEREAS, the County Planning Division, the lead agency, prepared an Addendum to the Final Mitigated Negative Declaration (MND) prepared for the Commercial Medical Marijuana Land Use Ordinance (CMMLUO) adopted by the Humboldt County Board of Supervisors on January 26, 2016. The proposed project does not present substantial changes that would require major revisions to the previous MND. No new information of substantial importance that was not known and could not be known at the time was presented as described by §15162(c) of CEQA Guidelines; and

WHEREAS, the Humboldt County Planning Commission held a duly noticed public hearing on **September 2, 2021**, and reviewed, considered, and discussed the application for a Conditional Use Permit and Special Permit and reviewed and considered all evidence and testimony presented at the hearing.

Now, THEREFORE BE IT RESOLVED, that the Planning Commission makes all the following findings:

- 1. FINDING:** **Project Description:** The application is a Conditional Use Permit for an existing outdoor and mixed light cultivation operation totaling 22,000 SF in size. The outdoor cultivation area totals 19,000 SF and the mixed-light cultivation area totals 3,000 SF. A Special Permit is also required for a setback reduction from Six Rivers National Forest to allow a 300-foot setback from the cultivation area on both the north and east side of the property. The site also includes a 960-SF existing nursery. Power provided by generators. Thirty solar panels are proposed for the roof of a proposed processing building. Irrigation water is sourced from an onsite spring and a permitted (20/21-0690) groundwater well. Existing available water storage totals 99,000 gallons in 26 tanks. Estimated annual water usage is 145,000 gallons (6.6 gallons/SF/year).

EVIDENCE: a) Project File: PLN-11672-CUP

- 2. FINDING:** **CEQA.** The requirements of CEQA have been complied with. The Humboldt County Planning Commission has considered the Addendum to and the MND prepared for the CMMLUO adopted by the Humboldt County Board of Supervisors on January 26, 2016.

EVIDENCE: a) Addendum prepared for the proposed project.
b) The proposed project does not present substantial changes that would require major revisions to the previous MND. No new information of

substantial importance that was not known and could not be known at the time was presented as described by §15162(c) of CEQA Guidelines.

- c) A Water Resource Protection Plan was prepared by Timberland Resource Consultants in 2017 to show compliance with the North Coast Regional Water Quality Control Board Order No. 2015-0023.
- d) A Biological Resource Assessment Report was prepared by TransTerra Consulting in 2019, which recommended following all recommendations and best management practices outlined by existing agency policies for minimizing impacts on natural resources.
- e) The site is accessed from Highway 299 east to Underwood Mountain Road, continue on Undermountain Road to Hyampom, turn right on to County Road 311/Lower Trinity Road, continue straight on to Lower South Fork Road to the project site. The Road Evaluation Report concluded that the road segment (NFS 6) is developed to the equivalent of a road category 4 standard.

FINDINGS FOR CONDITIONAL USE PERMIT AND SPECIAL PERMIT

3. FINDING The proposed development is in conformance with the County General Plan, Open Space Plan, and the Open Space Action Program.

EVIDENCE a) General agriculture is a use type permitted in the Timberland (T) land use designation. The proposed cannabis cultivation, an agricultural product, is within land planned and zoned for agricultural purposes, consistent with the use of Open Space land for managed production of resources. The use of an agricultural parcel for commercial agriculture is consistent with the Open Space Plan and Open Space Action Program. Therefore, the project is consistent with and complimentary to the Open Space Plan and its Open Space Action Program.

4. FINDING The proposed development is consistent with the purposes of the existing Timber Production Zone (TPZ) in which the site is located.

EVIDENCE a) The TPZ-Zone is applied to areas of the County in which timber production is the desirable predominant use and general agriculture is the secondary use.
b) All general agricultural uses are principally permitted in the TPZ-Zone.
c) Humboldt County Code Section 314-55.4.8.2.2 allows cultivation of up to 43,560 SF of existing outdoor cannabis and up to 22,000 SF of existing mixed-light cannabis on a parcel over 5 acres subject to approval of a Conditional Use Permit and a determination that the cultivation was in existence prior to January 1, 2016. The application for 22,000 SF of outdoor and mixed-light cultivation on a 42-acre parcel is consistent with this and with the cultivation area verification prepared by the County.

5. FINDING The proposed development is consistent with the requirements of the CMMLUO Provisions of the Zoning Ordinance.

EVIDENCE a) The CMMLUO allows existing cannabis cultivation to be permitted in areas zoned TPZ (Section 314-55.4.8.2.2).

- b) The parcel was created in compliance with all applicable state and local subdivision regulations, as it was created in its current configuration by deed recorded May 14, 2013, before the establishment of county and state subdivision regulations that would have applied to the creation of the parcel.
- c) The project will obtain water from a permitted groundwater well and diversionary water source.
- d) The site is accessed directly off of Grouse Creek Road and the Road Evaluation Report concluded that the road segment is developed to the equivalent of a road category 4 standard.
- e) The slope of the land where cannabis will be cultivated is less than 15%.
- f) The location of the cultivation complies with all setbacks required in Section 314-55.4.11.d. It is more than 30 feet from any property line and more than 600 feet from any school, church, public park, or tribal cultural resource. A Special Permit is also required for a setback reduction from Six Rivers National Forest to allow a 300-foot setback from the cultivation area on both the north and east side of the property.

6. FINDING

The cultivation of 22,000 SF of outdoor and mixed-light cannabis cultivation and the conditions under which it may be operated or maintained will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity.

EVIDENCE

- a) The site is located off Grouse Creek Road, which is maintained by the U.S. Forest Service.
- b) The site is in a rural part of the county where the typical parcel size is over 40 acres and many of the land holdings are very large. The proposed cannabis will not be in a location where there is an established neighborhood or other sensitive receptor such as a school, church, park or other use which may be sensitive to cannabis cultivation. Approving cultivation on this site and the other sites which have been approved or are in the application process will not change the character of the area due to the large parcel sized in the area.
- c) Per the applicant, two Honda 7000 generators are used onsite for the fans and supplemental lighting within the mixed-light greenhouse, nursery and for drying. Three thousand gallons of propane storage tanks provide heaters used in the greenhouse and drying rooms. The applicant will be converting from generator power to solar power.
- d) Irrigation water will come from an existing point of diversion and groundwater well that has been permitted by the Environmental Health Department.
- e) Provisions have been made in the applicant's proposal to protect water quality and thus runoff to adjacent property and infiltration of water to groundwater resources will not be affected.

7. FINDING

The proposed development does not reduce the residential density for any parcel below that utilized by the Department of Housing and Community Development in determining compliance with housing element law.

EVIDENCE

- a) The parcel was not included in the housing inventory of Humboldt County's 2019 Housing Element but does have the potential to support one housing unit. The approval of cannabis cultivation on this parcel will not conflict with the ability for a residence to be constructed on this parcel.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Humboldt County Planning Commission does hereby:

- Adopt the findings set forth in this resolution; and
- Conditionally approves the Conditional Use Permit and Special Permit for Grouse Valley Farms, Inc., based upon the Findings and Evidence and subject to the conditions of approval attached hereto as Attachment 1 and incorporated herein by reference; and

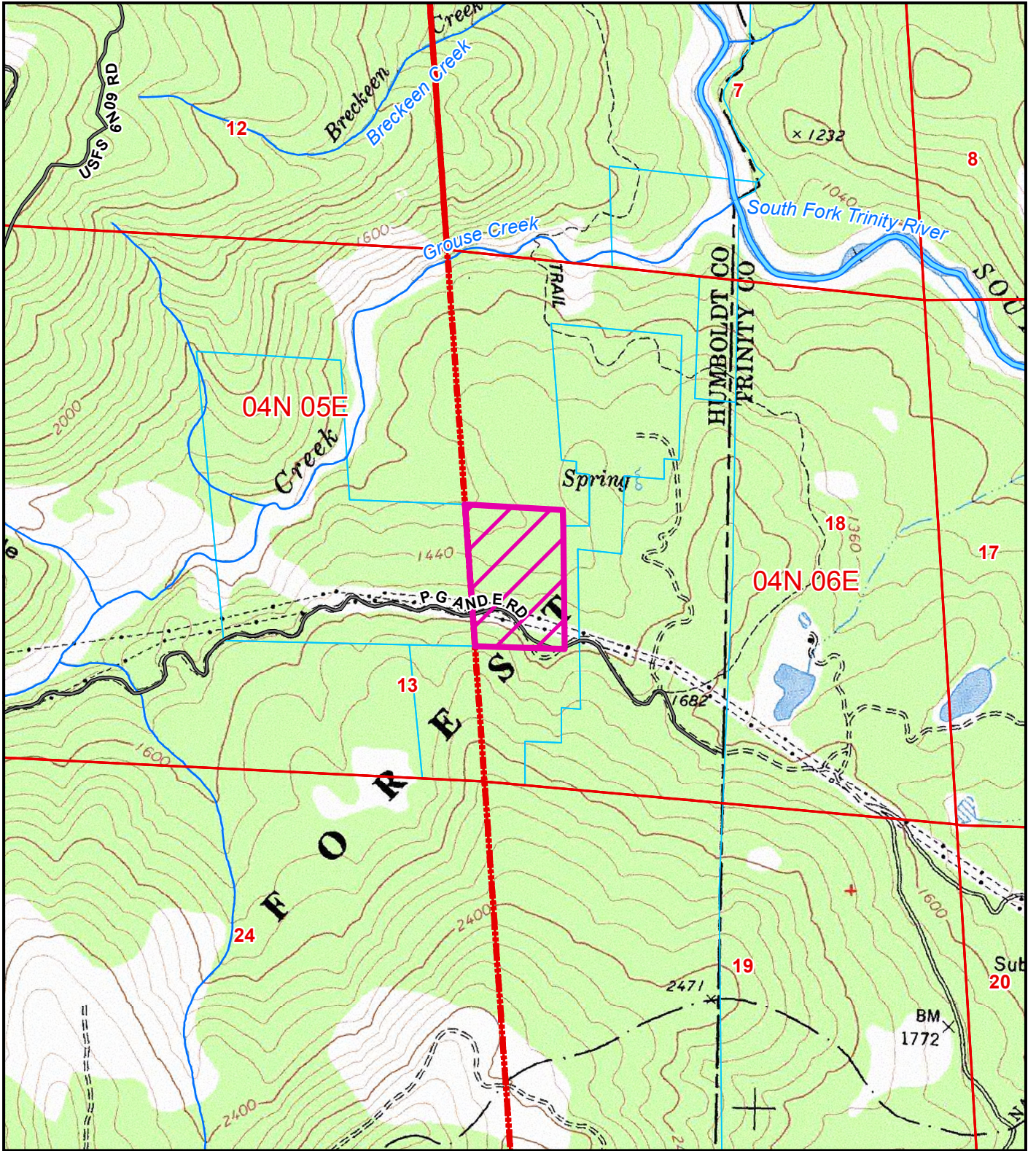
Adopted after review and consideration of all the evidence on **September 2, 2021**.

The motion was made by COMMISSIONER _____ and second by COMMISSIONER _____ and the following ROLL CALL vote:

AYES:	COMMISSIONERS:
NOES:	COMMISSIONERS:
ABSENT:	COMMISSIONERS:
ABSTAIN:	COMMISSIONERS:
DECISION:	

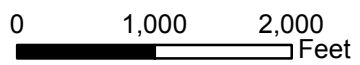
I, John Ford, Secretary to the Planning Commission of the County of Humboldt, do hereby certify the foregoing to be a true and correct record of the action taken on the above entitled matter by said Commission at a meeting held on the date noted above.

 John Ford, Director
 Planning and Building Department

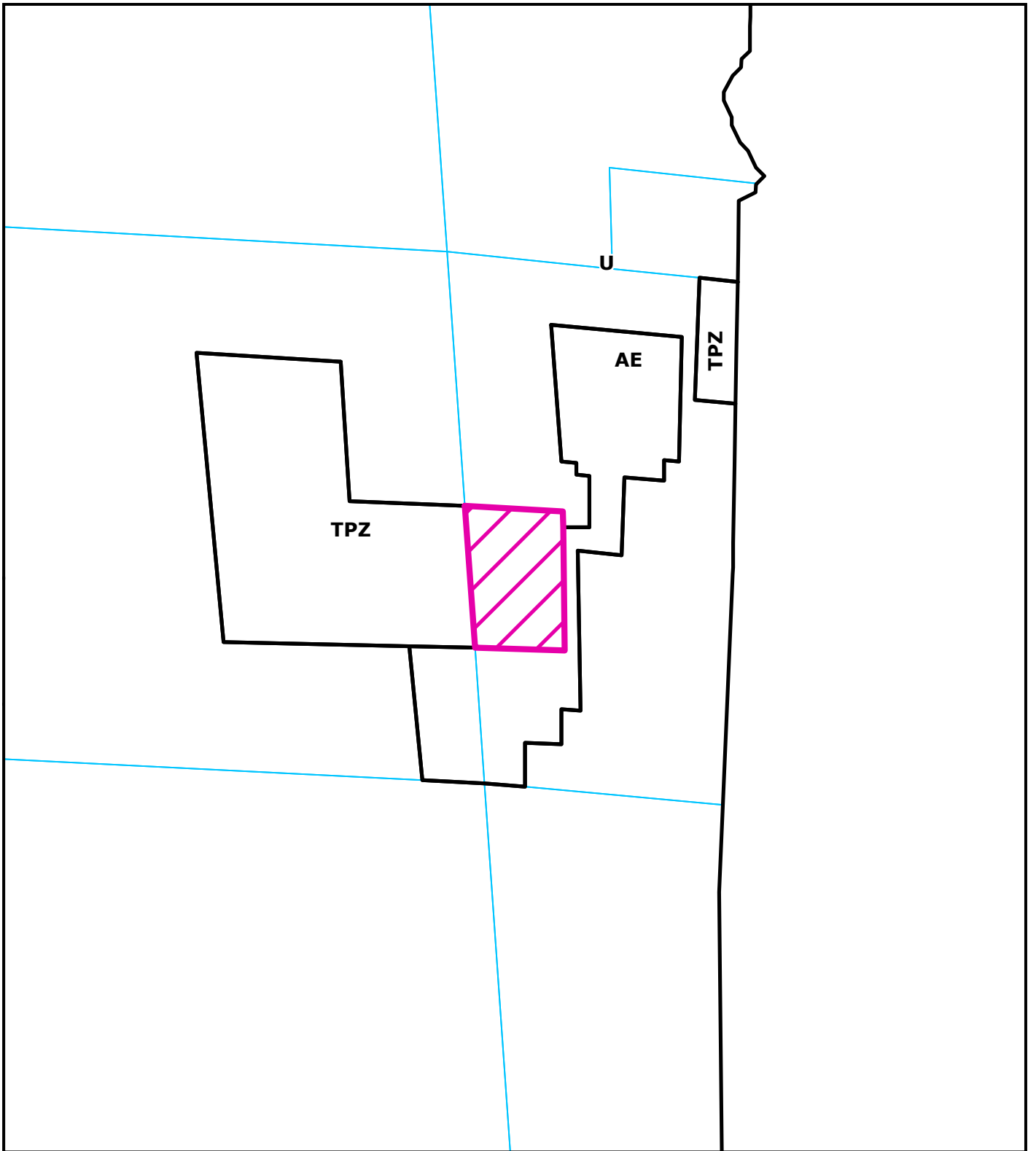


Project Area = 

TOPO MAP
PROPOSED GROUSE VALLEY FARMS INC
KORBEL AREA
CUP-16-328
APN: 315-271-006
T04N R06E S18 HB&M (SIMS MOUNTAIN)

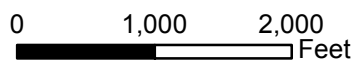


This map is intended for display purposes and should not be used for precise measurement or navigation. Data has not been completely checked for accuracy.

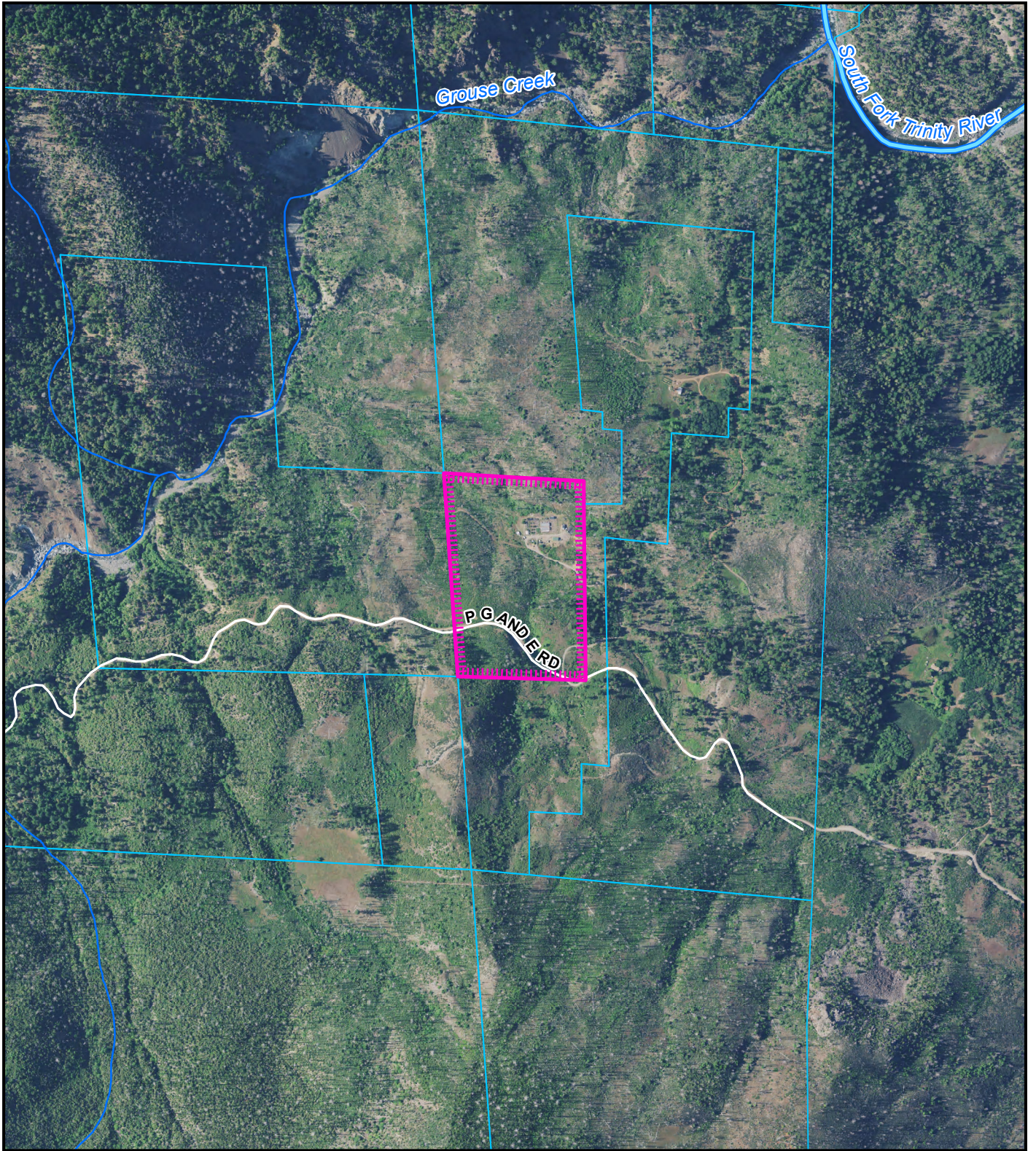


Project Area = 

**ZONING MAP
 PROPOSED GROUSE VALLEY FARMS INC
 KORBEL AREA
 CUP-16-328
 APN: 315-271-006
 T04N R06E S18 HB&M (SIMS MOUNTAIN)**



This map is intended for display purposes and should not be used for precise measurement or navigation. Data has not been completely checked for accuracy.

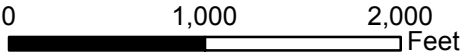


Project Area = 

**AERIAL MAP
PROPOSED GROUSE VALLEY FARMS INC
KORBEL AREA
CUP-16-328
APN: 315-271-006
T04N R06E S18 HB&M (SIMS MOUNTAIN)**



This map is intended for display purposes and should not be used for precise measurement or navigation. Data has not been completely checked for accuracy.





VICINITY MAP
NOT TO SCALE



IMAGE SOURCE: ESRI 2018

GROUSE VALLEY FARMS INC

APN: 315-271-006

AERIAL MAP

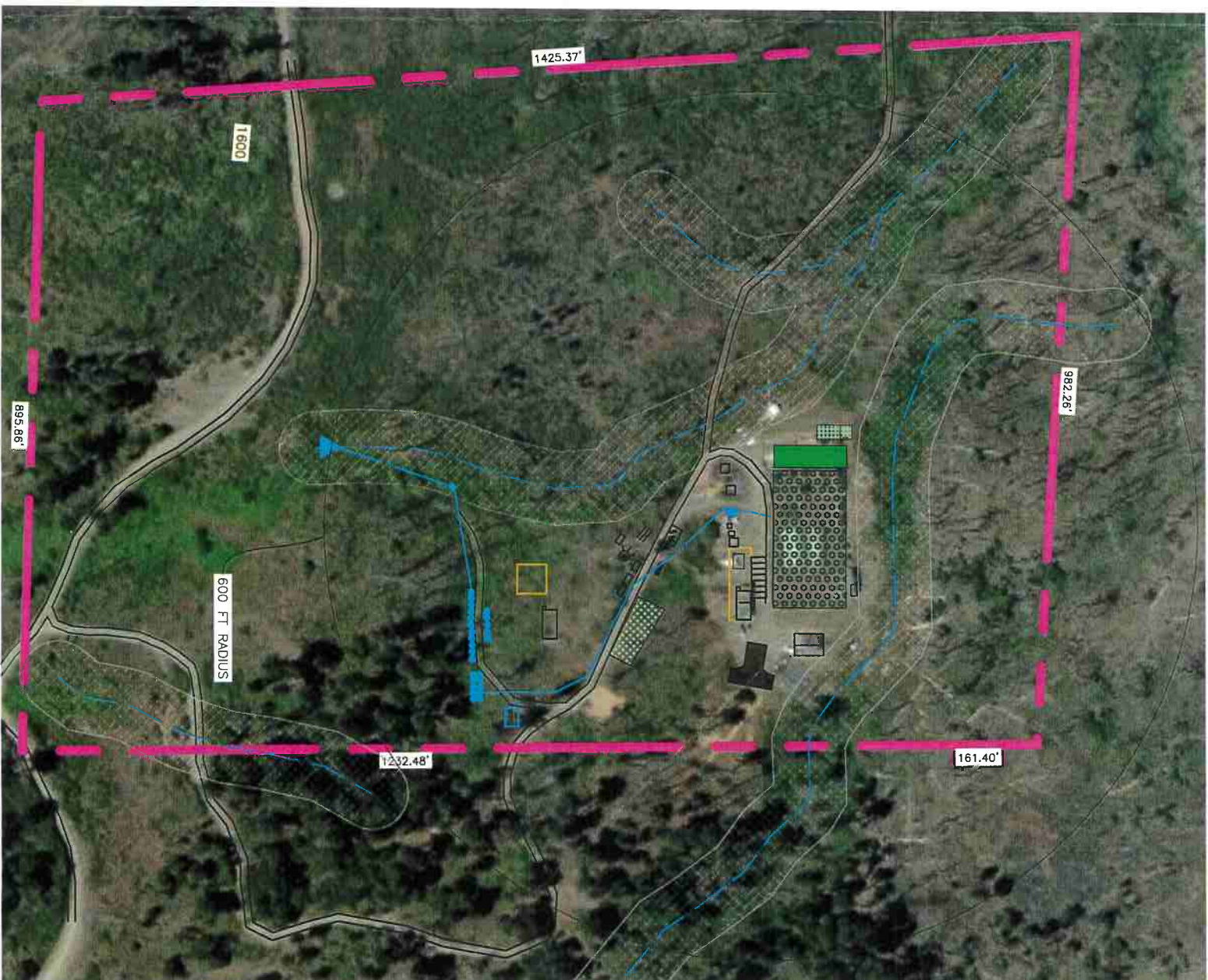


IMAGE SOURCE: BING 2018



PROJECT DIRECTIONS
FROM: WILLOW CREEK, CA
-FOLLOW 299-E TO UNDERWOOD MOUNTAIN RD (15.9 MI)
-CONTINUE ON UNDERWOOD MOUNTAIN TO HYAMPON (27 MI)
-TURN RIGHT ONTO CO RD31(LOWER TRINITY RD)(7 MI)
-CONTINUE ON STRAIGHT ONTO LOWER SOUTH FORK RD (6.1 MI)

TRAVEL TIME
APPROXIMATELY: 2 H 6 MIN (55.3 MI)

PROJECT INFORMATION
LAT/LONG: 40.2914, -123.6351
APN: 315-271-006
APPLICANT: GROUSE VALLEY FARMS, INC
PARCEL SIZE: ± 30.27 AGRES
ZONING: TPZ
APPLICATION TYPE: 3 OUTDOOR

COASTAL ZONE: N
100 YEAR FLOOD: N

AGENT:
KAYLE SAXON
GREEN ROAD CONSULTING INC
1650 CENTRAL AVE, SUITE C
MCKINLEYVILLE, CA 95519
707-630-5041

SHEET INDEX
CP-COVER PAGE
C1-PARCEL OVERVIEW

PROPERTY LINES, DISTANCES, AND BUILDING LOCATIONS ARE APPROXIMATE AND BASED ON AERIAL MAPS AND GPS DATA TAKEN IN THE FIELD.

PROJECT INFORMATION

PROPERTY OWNER	GROUSE VALLEY FARMS, INC.
ADDRESS	APN: 315-271-006
SHEET INFO	COVER PAGE



NO.	NOTES	DATE
1	NOTES-INITIAL	00/00/00
2	NOTES-INITIAL	00/00/00
3	NOTES-INITIAL	00/00/00
4	NOTES-INITIAL	00/00/00
5	NOTES-INITIAL	00/00/00
6	NOTES-INITIAL	00/00/00

DATE	4/22/21
DRAFTER	XX
SCALE	AS SHOWN
SHEET	CP

ATTACHMENT 1

RECOMMENDED CONDITIONS OF APPROVAL

APPROVAL OF THE CONDITIONAL USE PERMIT AND SPECIAL PERMIT IS CONDITIONED ON THE FOLLOWING TERMS AND REQUIREMENTS WHICH MUST BE SATISFIED BEFORE THE PROVISIONAL CANNABIS CULTIVATION PERMIT CAN BE FINALIZED.

A. General Conditions

1. The applicant is responsible for obtaining all necessary County and State permits and licenses, and for meeting all requirements set forth by other regulatory agencies.
2. The applicant is required to pay for permit processing on a time and material basis as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of Supervisors. The Planning and Building Department will provide a bill to the applicant after the decision. Any and all outstanding planning fees to cover the processing of the application to decision by the Hearing Officer shall be paid to the Humboldt County Planning Division, 3015 "H" Street, Eureka.
3. The applicant is responsible for costs for post-approval review for determining project conformance with conditions. A deposit is collected to cover this staff review. Permit conformance with conditions must be demonstrated prior to release of building permit or initiation of use and at time of annual inspection. A conformance review deposit as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of Supervisors (currently \$750) shall be paid within 60 days of the effective date of the permit or upon filing of the Compliance Agreement (where applicable), whichever occurs first. Payment shall be made to the Humboldt County Planning Division, 3015 "H" Street, Eureka.
4. A Notice of Determination (NOD) will be prepared and filed with the County Clerk for this project in accordance with the State CEQA Guidelines. **Within 3 days of the effective date of permit approval** the Department will file the NOD and will charge this cost to the project.
5. Within 60 days of the effective date of permit approval, the applicant shall execute a Compliance Agreement with the Humboldt County Planning and Building Department detailing all necessary permits and infrastructure improvements described under Conditions of Approval #6 through #14. The agreement shall provide a timeline for completing all outstanding items. All activities detailed under the agreement must be completed to the satisfaction of the Planning and Building Department before the permit may be finalized and no longer considered provisional.
6. The applicant shall secure permits for all structures related to the cannabis cultivation and other commercial cannabis activity, including but not limited to, existing and proposed greenhouses, water tanks over 5,000 gallons, existing and proposed structures associated with drying and storage or any activity with a nexus to cannabis, and any noise containment structures as necessary. The plans submitted for building permit approval shall be consistent with the project description and the approved project site plan. A letter or similar communication from the Building Division verifying that all structures related to the cannabis cultivation are permitted will satisfy this condition.
7. The approved building plans shall meet all applicable fire codes, including fire suppression infrastructure requirements deemed necessary for the project by the Building Inspection Division. Sign-off on the Occupancy Permit by the Building Division shall satisfy this requirement.
8. The applicant shall submit a grading, erosion and sediment control plan shall be prepared by a qualified engineer. The plan shall identify the cubic yards of all grading that has been completed, and any proposed. A letter or similar communication from the Building Division verifying that all

grading related to the cannabis cultivation operation are permitted, or not needed, will satisfy this condition.

9. The applicant shall finalize the existing Onsite Wastewater Treatment System (OWTS) permit with the Division of Environmental Health (DEH). The Onsite Wastewater Treatment System Design Report prepared by Trinity Valley Consulting Engineers provided the necessary details necessary for DEH. A letter or similar communication from DEH verifying that the OWTS is permitted will satisfy this condition.
10. The applicant shall install water monitoring devices on each source—the well, point of diversion, and storage tanks as applicable—to monitor water used for cannabis irrigation separate from domestic use.
11. The applicant shall implement all corrective actions detailed in the Water Resource Protection Plan (WRPP) prepared for the site in February 2017 by Timberland Resource Consultants, including secondary containment of all fuels, and the recommendations of a Site Management Plan to be developed for the parcel, pursuant to Tier 1 enrollment under the State Water Resources Control Board (SWRCB) Cannabis Cultivation Policy, in congruence with Order WQ 2017-0023-DWQ General Waste Discharge Requirements for Dischargers of Waste Associated with Cannabis Cultivation Activities. Preparation of a Site Management Plan will be required to abide by State Water Resources Control Board 2019 Cannabis Policy. A letter or similar communication from the SWRCB verifying that all their requirements have been met will satisfy this condition. Specifically, the WRPP recommends the following be completed:
 - a. Road Point (RP) 1: Install critical dip as per the specification of the attached best management practices (BMPs).
 - b. RP 2: Install a Type 1 rolling dip to create a more durable and permanent drainage feature.
 - c. RP 3: Monitor 12-inch ditch relief culvert that was functioning properly.
 - d. RPs 4 and 5: Install Type 1 rocked rolling dips.
 - e. RP 6: Install a 40-foot section of 12-inch ditch relief culvert and establish a 20-foot section of inside ditch with rock around the inlet of the ditch relief culvert.
 - f. RP 7: Install a critical dip per the specification of the WRPP BMP.
 - g. RP 8: Re-establish as a Type 1 rocked rolling dip.
 - h. RPs 9 and 10: Install rock fords.
12. The applicant shall cause to be recorded an "ACKNOWLEDGMENT OF NO AVAILABLE EMERGENCY RESPONSE AND FIRE SUPPRESSION SERVICES" for the parcel(s) on a form provided by the Humboldt County Planning Division. Document review fees as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of Supervisors will be required.
13. The applicant shall be compliant with the County of Humboldt's Certified Unified Program Agency requirements regarding hazardous materials. A written verification of compliance shall be required before any provisional permits may be finalized. Ongoing proof of compliance with this condition shall be required at each annual inspection in order to keep the permit valid.
14. The applicant shall execute and file with the Planning Division the statement titled, "Notice and Acknowledgment regarding Agricultural Activities in Humboldt County," ("Right to Farm" ordinance) as required by the Humboldt County Code and available at the Planning Division.
15. The use of generators as a primary power source for cannabis and cannabis related activities shall cease by December 31, 2025. The applicant shall either connect to a utility or have an alternative source of power starting January 1, 2026.

B. Ongoing Requirements/Development Restrictions Which Must be Satisfied for the Life of the Project:

1. The combination of background, generator and greenhouse fan or other operational equipment created noise must not result in the harassment of northern spotted owl species as required to meet

the performance standards for noise set by Department Policy Statement No. 16-005 clarifying Commercial Medical Marijuana Land Use Ordinance (CMMLUO) Section 55.4.11 (o) requirements. The combined noise levels measured at 100 feet or the edge of habitat, whichever is closer, shall be at or below 50 decibels. Conformance will be evaluated using current auditory disturbance guidance prepared by the United States Fish and Wildlife Service, and further consultation where necessary. A building permit shall be obtained should any structures be necessary for noise attenuation.

2. The light source used in the greenhouse should comply with the International Dark Sky Association standards for Lighting Zone 0 and Lighting Zone 1 and be designed to regulate light spillage onto neighboring properties resulting from backlight, uplight, or glare. Should the Humboldt County Planning Division receive complaints that the lighting is out of alignment or not complying with these standards, within 10 working days of receiving written notification that a complaint has been filed, the applicant shall submit written verification that the lights' shielding and alignment has been repaired, inspected and corrected as necessary.
3. Should the Humboldt County Planning Division receive complaints that the lighting or noise is not complying with the standards listed above in items B.1. and B.2., within 10 working days of receiving written notification that a complaint has been filed, the applicant shall submit written verification that the lights' shielding and alignment, and noise levels have been repaired, inspected, and corrected as necessary.
4. Ensure all generators and fuel be located on stable surfaces with secondary containment and with a minimum 200-foot buffer from all waterways measured horizontally from the outer edge of the riparian drip zone.
5. Prohibition on use of synthetic netting. To minimize the risk of wildlife entrapment, Permittee shall not use any erosion control materials that contain synthetic (e.g., plastic or nylon) netting, including photo- or biodegradable plastic netting. Geotextiles, fiber rolls, and other erosion control measures shall be made of loose-weave mesh, such as jute, hemp, coconut (coir) fiber, or other products without welded weaves.
6. All refuse shall be contained in wildlife-proof storage containers, at all times, and disposed of at an authorized waste management facility.
7. Should any wildlife be encountered during work activities, the wildlife shall not be disturbed and be allowed to leave the work site unharmed.
8. The use of anticoagulant rodenticide is prohibited.
9. The operator shall provide information to all employees about the potential health impacts of cannabis use on children. Information shall be provided by posting the brochures from the Department of Health and Human Services titled "Cannabis Palm Card" and "Cannabis Rack Card." This information shall also be provided to all employees as part of the employee orientation.
10. All components of the project shall be developed, operated, and maintained in conformance with the Project Description, the approved Site Plan, the Plan of Operations, and these conditions of approval. Changes shall require modification of this permit except where consistent with Humboldt County Code Section 312-11.1, Minor Deviations to Approved Plot Plan. If offsite processing is chosen to be the preferred method of processing, this permit shall be modified to identify the offsite licensed facility.
11. Cannabis cultivation and other commercial cannabis activity shall be conducted in compliance with all laws and regulations as set forth in the CMMLUO and the Medicinal and Adult-Use Cannabis Regulation and Safety Act (MAUCRSA), as applicable to the permit type.

12. If operating pursuant to a written approved compliance agreement, permittee shall abate or cure violations at the earliest feasible date, but in no event no more than 2 years from the date of issuance of a provisional clearance or permit. Permittee shall provide plans for curing such violations to the Planning and Building Department within 1 year of issuance of the provisional clearance or permit. If good faith effort toward compliance can be shown within the 2 years following the issuance of the provisional clearance or permit, the Department may, at the discretion of the Director, provide for extensions of the provisional permit to allow additional time to meet the outstanding requirements.
13. Possession of a current, valid required license, or licenses, issued by any agency of the State of California in accordance with the MAUCRSA, and regulations promulgated thereunder, as soon as such licenses become available.
14. Compliance with all statutes, regulations, and requirements of the SWRCB and the Division of Water Rights, at a minimum to include a statement of diversion of surface water from a stream, river, underground stream, or other watercourse required by Water Code Section 5101, or other applicable permit, license, or registration, as applicable.
15. Confinement of the area of cannabis cultivation, processing, manufacture, or distribution to the locations depicted on the approved site plan. The commercial cannabis activity shall be set back at least 30 feet from any property line, and 600 feet from any school, school bus stop, church or other place of religious worship, or tribal cultural resources, except where a reduction to this setback has been approved pursuant to Section 55.4.11(d).
16. Maintain enrollment in Tier 1, 2, or 3, certification with North Coast Regional Water Quality Control Board Order No. R1-2015-0023, if applicable, or any substantially equivalent rule that may be subsequently adopted by the County of Humboldt or other responsible agency.
17. Comply with the terms of any applicable Lake and Stream Alteration (1600 or 1602) Permit obtained from the California Department of Fish and Wildlife.
18. Comply with the terms of a less-than-3-acre conversion exemption or timberland conversion permit, approved by the California Department of Forestry and Fire Protection, if applicable.
19. Consent to an annual on-site compliance inspection, with at least 24 hours prior notice, to be conducted by appropriate County officials during regular business hours (Monday through Friday, 9:00 a.m. to 5:00 p.m., excluding holidays).
20. Refrain from the improper storage or use of any fuels, fertilizer, pesticide, fungicide, rodenticide, or herbicide.
21. Pay all applicable application, review for conformance with conditions and annual inspection fees.
22. Fuel shall be stored and handled in compliance with applicable state and local laws and regulations, including the County of Humboldt's Certified Unified Program Agency program, and in such a way that no spillage occurs.
23. The master log books maintained by the applicant to track production and sales shall be maintained for inspection by the County.
24. Pay all applicable taxes as required by the Humboldt County Commercial Marijuana Cultivation Tax Ordinance (Humboldt County Code Section 719-1 et seq.).

Performance Standards for Cultivation and Processing Operations

25. Pursuant to the MAUCRSA, Health and Safety Code Section 19322(a)(9), an applicant seeking a cultivation license shall "provide a statement declaring the applicant is an 'agricultural employer,' as defined in the Alatorre-Zenovich-Dunlap-Berman Agricultural Labor Relations Act of 1975 (Part 3.5 commencing with Section 1140) of Division 2 of the Labor Code), to the extent not prohibited by law."
26. Cultivators shall comply with all applicable federal, state, and local laws and regulations governing California Agricultural Employers, which may include federal and state wage and hour laws, Cal/OSHA, OSHA, the California Agricultural Labor Relations Act, and the Humboldt County Code (including the Building Code).
27. Cultivators engaged in processing shall comply with the following Processing Practices:
 - a. Processing operations must be maintained in a clean and sanitary condition including all work surfaces and equipment.
 - b. Processing operations must implement protocols which prevent processing contamination and mold and mildew growth on cannabis.
 - c. Employees handling cannabis in processing operations must have access to facemasks and gloves in good operable condition as applicable to their job function.
 - d. Employees must wash hands sufficiently when handling cannabis or use gloves.
28. All persons hiring employees to engage in commercial cannabis cultivation and processing shall comply with the following Employee Safety Practices:
 - a. Cultivation operations and processing operations must implement safety protocols and provide all employees with adequate safety training relevant to their specific job functions, which may include:
 - (1) Emergency action response planning as necessary;
 - (2) Employee accident reporting and investigation policies;
 - (3) Fire prevention;
 - (4) Hazard communication policies, including maintenance of material safety data sheets;
 - (5) Materials handling policies;
 - (6) Job hazard analyses; and
 - (7) Personal protective equipment policies, including respiratory protection.
 - b. Cultivation operations and processing operations must visibly post and maintain an emergency contact list which includes at a minimum:
 - (1) Operation manager contacts;
 - (2) Emergency responder contacts; and
 - (3) Poison control contacts.
 - c. At all times, employees shall have access to safe drinking water and toilets and handwashing facilities that comply with applicable federal, state, and local laws and regulations. Plumbing facilities and water source must be capable of handling increased usage without adverse consequences to neighboring properties or the environment.
 - d. Onsite housing provided to employees shall comply with all applicable federal, state, and local laws and regulations.
29. All cultivators shall comply with the approved processing plan as to the following:
 - a. Processing practices
 - b. Location where processing will occur
 - c. Number of employees, if any
 - d. Employee Safety Practices
 - e. Toilet and handwashing facilities
 - f. Plumbing and/or septic system and whether or not the system is capable of handling increased usage
 - g. Drinking water for employees
 - h. Plan to minimize impact from increased road use resulting from processing

- i. Onsite housing, if any
30. Term of Commercial Cannabis Activity Special Permit. Any Commercial Cannabis Cultivation Special Permit issued pursuant to the CMMLUO shall expire 1 year after date of issuance, and on the anniversary date of such issuance each year thereafter, unless an annual compliance inspection has been conducted and the permittees and the permitted site have been found to comply with all conditions of approval.
 31. If the inspector or other County official determines that the permittees or site do not comply with the conditions of approval, the inspector shall serve the permit holder with a written statement identifying the items not in compliance, and the action that the permit holder may take to cure the noncompliance, or file an appeal within 10 days of the date that the written statement is delivered to the permit holder. Personal delivery or mailing the written statement to the mailing address listed on the application by regular mail, plus 3 days after date of mailing, shall constitute delivery. The permit holder may request a reinspection to determine whether or not the permit holder has cured all issues of noncompliance. Failure to request reinspection or to cure any items of noncompliance shall terminate the Special Permit, immediately upon the expiration of any appeal period, or final determination of the appeal if an appeal has been timely filed pursuant to Section 55.4.13.
 32. Permit Renewals to Comply with Updated Laws and Regulations. Permit renewal is subject to the laws and regulations effective at the time of renewal, which may be substantially different than the regulations currently in place and may require the submittal of additional information to ensure that new standards are met.
 33. Acknowledgements to Remain in Full Force and Effect. Permittee acknowledges that the County reserves the right to reduce the size of the area allowed for cultivation under any clearance or permit issued in accordance with this section in the event that environmental conditions, such as a sustained drought or low flows in the watershed in which the cultivation area is located, will not support diversions for irrigation.
 34. Transfers. Transfer of any leases or permits approved by this project is subject to the review and approval of the Planning Director for conformance with CMMLUO eligibility requirements and agreement to permit terms and acknowledgments. The fee for required permit transfer review shall accompany the request. The request shall include the following information:
 - a. Identifying information for the new owner(s) and management as required in an initial permit application;
 - b. A written acknowledgment by the new owner in accordance as required for the initial permit application;
 - c. The specific date on which the transfer is to occur;
 - d. Acknowledgement of full responsibility for complying with the existing permit; and
 - e. Execution of an Affidavit of Non-diversion of Medical Cannabis.
 35. Inspections. The permit holder and subject property owner are to permit the County or representative(s) or designee(s) to make inspections at any reasonable time deemed necessary to assure that the activities being performed under the authority of this permit are in accordance with the terms and conditions prescribed herein.

Informational Notes:

1. Pursuant to Section 314-55.4.11(a) of the CMMLUO, if upon inspection for the initial application, violations of any building or other health, safety, or other state or county statute, ordinance, or regulation are discovered, the Planning and Building Department may issue a provisional clearance or permit with a written approved Compliance Agreement. By signing the agreement, the permittee agrees to abate or cure the violations at the earliest opportunity but in no event more than 2 years after the date of issuance of the provisional clearance or permit. Plans for curing the violations shall

be submitted to the Planning and Building Department by the permittee within 1 year of the issuance of the provisional certificate or permit. The terms of the compliance agreement may be appealed pursuant to Section 314-55.4.13 of the CMMLUO.

2. This provisional permit approval shall expire and become null and void at the expiration of 1 year after all appeal periods have lapsed (see "Effective Date"), except where the Compliance Agreement per Condition of Approval #6 has been executed and the corrective actions pursuant to the agreement are being undertaken. Once building permits have been secured and/or the use initiated pursuant to the terms of the agreement, the use is subject to the Permit Duration and Renewal provisions set forth in Conditions of Approval #26 and 27 of the Ongoing Requirements/Development Restrictions, above.
3. If cultural resources are encountered during construction activities, the contractor onsite shall cease all work in the immediate area and within a 50-foot buffer of the discovery location. A qualified archaeologist and the appropriate Tribal Historic Preservation Officer(s) are to be contacted to evaluate the discovery and, in consultation with the applicant and the lead agency, develop a treatment plan in any instance where significant impacts cannot be avoided.

Prehistoric materials may include obsidian or chert flakes, tools, locally darkened midden soils, groundstone artifacts, shellfish or faunal remains, and human burials. If human remains are found, California Health and Safety Code 7050.5 requires that the County Coroner be contacted immediately at 707-445-7242. If the Coroner determines the remains to be Native American, the Native American Heritage Commission will then be contacted by the Coroner to determine appropriate treatment of the remains pursuant to Public Resources Code (PRC) Section 5097.98. Violators shall be prosecuted in accordance with PRC Section 5097.99.

4. The applicant shall be aware that the Federal Government considers the cultivation of cannabis to be an illegal activity. This project is accessed by using roads that pass-through lands owned by the Federal Government. The Federal Government may not allow the applicant to use these roads to transport cannabis. In such case, Humboldt County will not provide relief to the applicant. Approval of this permit does not authorize transportation of cannabis across Federal lands.

ATTACHMENT 2

**CEQA ADDENDUM TO THE
MITIGATED NEGATIVE DECLARATION FOR THE COMMERCIAL MEDICAL MARIJUANA LAND USE
ORDINANCE**

**Commercial Medical Marijuana Land Use Ordinance (CMMLUO) Mitigated Negative Declaration
(MND)
(State Clearinghouse # 2015102005), January 2016**

**APN 315-271-006; 11525 Grouse Creek Road, Willow Creek
County of Humboldt**

**Prepared By
Humboldt County Planning and Building Department
3015 H Street, Eureka, CA 95501**

September 2, 2021

Background

Modified Project Description and Project History

The Commercial Medical Marijuana Land Use Ordinance (CMMLUO) established specific regulations for commercial cannabis operations in Humboldt County. These regulations were developed in concert with the Mitigated Negative Declaration (MND) that was adopted for the ordinance in order to implement the mitigation measures of the MND. The MND addressed the broad environmental impacts that could be expected to occur from the adoption and implementation of the ordinance. The MND specified that the regulations established in the CMMLUO would mitigate the impacts of existing cannabis operations by establishing regulations for an existing unregulated land use to help prevent and reduce environmental impacts that are known to result from unpermitted baseline cultivation operations. Commercial cannabis cultivation in existence as of December 31, 2015 was included in the environmental baseline for the MND and the MND states that "Bringing existing operations into compliance will help to attenuate potential environmental effects from existing cultivation activities, including aesthetic impacts resulting from improper operation or poor siting." The current project was contemplated by the MND and compliance with the provisions of the CMMLUO will fully mitigate all environmental impacts of the project to a less-than-significant level.

The modified project seeks a Conditional Use Permit for an existing outdoor and mixed-light cultivation operation totaling 22,000 square feet (SF) in size. The outdoor cultivation area totals 19,000 SF and the mixed-light cultivation area totals 3,000 SF in a single greenhouse, all located on a single graded flat. A Special Permit is also required for a setback reduction from Six Rivers National Forest to allow for a 300-foot setback from the cultivation area to the north and east sides of the property. The site also includes a 960-SF existing nursery. Irrigation water is sourced from an onsite spring and 250-foot-deep permitted (20/21-0690) groundwater well. Existing available water storage totals 99,000 gallons in 26 tanks. Estimated annual water usage is 145,000 gallons (6.6 gallons/SF/year). Onsite trimming is done by hand and by machine and drying is conducted in a gravel-floored 800-SF building. A new 3,000-SF processing and drying building is proposed to replace the existing 800-SF building. Four permanent and up to 12 seasonal employees are anticipated during peak processing activities. There is an existing septic system for the dry building and a new septic system is proposed to support a bathroom in the proposed processing building. Power is provided by two gas-powered Honda 7000 generators and a Kohler 70-kilowatt generator for backup. Thirty solar panels are proposed for the roof of the proposed processing building. 3,000 gallons of propane storage tanks provide heaters used in the greenhouse and drying rooms. A 1,600-SF cabin and three travel trailers are proposed to provide non-permanent episodic seasonal housing for the four full-time employees, but no employees reside onsite.

The modified project is consistent with the adopted MND for the CMMLUO because it complies with all standards of the CMMLUO which were intended to mitigate impacts of existing cultivation. These include ensuring supplemental lighting and security lighting adheres to Dark Sky Association standards and ensuring project-related noise does not harass nearby wildlife, which will limit impacts on biological resources as a result of light and noise.

Purpose - Section 15164 of the California Environmental Quality Act (CEQA) provides that the lead agency shall prepare an addendum to a previously certified MND if some changes or additions are necessary but none of the conditions described in Section 15162 calling for a subsequent Environmental Impact Report (EIR) or Negative Declaration have occurred. Section 15162 states that when an EIR has been certified for a project, no subsequent EIR shall be prepared for that project unless the lead agency determines, on the basis of substantial evidence in the light of the whole record, one or more of the following:

1. Substantial changes are proposed in the project which require major revisions of the previous MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;

2. Substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or
3. New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous MND was certified as complete, shows any of the following: A) the project will have one or more significant effects not discussed in the previous MND; B) significant effect previously examined will be substantially more severe than shown in the previous MND; C) mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative; or D) mitigation measures or alternatives which are considerably different from those analyzed in the previous MND would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.

Summary of Significant Project Effects and Mitigation Recommended

No changes are proposed for the original MND recommended mitigations. The proposal to authorize the continued operation of an existing cannabis cultivation site consisting of 22,000 SF of outdoor and mixed-light cultivation with ancillary nursery, drying and processing activities is fully consistent with the impacts identified and adequately mitigated in the original MND. The project as conditioned to implement responsible agency recommendations, results in no significantly adverse environmental effects beyond those identified in the MND. Compliance with the CMMLUO ensures consistency with the adopted MND and provides for mitigation of all project related impacts to a less-than-significant level.

In reviewing the application for consistency with the adopted MND, the County considered the following information and studies, among other documents:

- Site Plans prepared by Green Road Consulting dated 4/22/21 and received 4/27/21.
- Cultivation Operations Plan prepared by Gallegos Law Firm dated 5/4/21 and received 5/24/21.
- Water Resource Protection Plan prepared by Timberland Resource Consultants for the North Coast Regional Water Quality Control Board Order No. 2015-0023, dated 2/2/17.
- Division of Environmental Health Attachment for Commercial Medical Marijuana Clearances/Permits.
- Final Lake and Streambed Alteration Agreement application 1600-2018-0044-R1 signed 8/28/19.
- Onsite Wastewater Treatment System Design Report prepared by Trinity Valley Consulting Engineers dated July 2015 and received 2/7/19.
- Road Evaluation Report for National Forest Service Road 6 dated 9/26/19.
- R2 Soils Report prepared by Trinity Valley Consulting Engineers dated July 2015 and received 2/7/19.
- Biological Resource Assessment Report prepared by TransTerra Consulting dated October 2019.
- Well Installation Report prepared by Edward Mitchel Water Well Drilling dated 12/2/20.

Other CEQA Considerations

Staff suggests no changes for the revised project.

EXPLANATION OF DECISION NOT TO PREPARE A SUPPLEMENTAL MITIGATED NEGATIVE DECLARATION OR ENVIRONMENTAL IMPACT REPORT

See **Purpose** statement above.

In every impact category analyzed in this review, the projected consequences of the current project proposal are either the same or less than significantly increased than the initial project for which the MND was adopted. Based upon this review, the following findings are supported:

FINDINGS

1. The proposed project will permit an existing cannabis operation and bring the operation into compliance with county and state requirements intended to adequately mitigate environmental impacts.
2. The circumstances under which the project was approved have not changed substantially. There are no new significant environmental effects and no substantial increases in the severity of previously identified effects.
3. For the current proposed project, there has been no new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous MND was adopted as complete.

CONCLUSION

Based on these findings it is concluded that an Addendum to the certified MND is appropriate to address the requirements under CEQA for the current project proposal. All of the findings, mitigation requirements, and mitigation and monitoring program of the MND, remain in full force and effect on the original project.

ATTACHMENT 3

Applicant's Evidence in Support of the Required Findings

Attachment 3 includes a listing of all written evidence which has been submitted by the applicant in support of making the required findings. The following materials are on file with the Planning Division:

1. The name, contact address, and phone number(s) of the applicant. (Application form on file)
2. If the applicant is not the record title owner of parcel, written consent of the owner for the application with original signature and notary acknowledgement. (Not applicable)
3. Site plan showing the entire parcel, including easements, streams, springs, ponds and other surface water features, and the location and area for cultivation on the parcel with dimensions of the area for cultivation and setbacks from property lines. The site plan shall also include all areas of ground disturbance or surface water disturbance associated with cultivation activities, including access roads, water diversions, culverts, ponds, dams, graded flats, and other related features. If the area for cultivation is within one-quarter mile (1,320 feet) of a school, school bus stop, church or other place of religious worship, public park, or tribal cultural resource, the site plan shall include dimensions showing that the distance from the location of such features to the nearest point of the cultivation area is at least 600 feet. (Site Plans prepared by Green Road Consulting dated 4/22/21 and received 4/27/21 – **Attached** with project Maps)
4. A cultivation and operations plan that meets or exceeds minimum legal standards for water storage, conservation and use; drainage, runoff and erosion control; watershed and habitat protection; proper storage of fertilizers, pesticides, and other regulated products to be used on the parcel; and a description of cultivation activities (outdoor, indoor, mixed light), the approximate date(s) cannabis cultivation activities have been conducted on the parcel prior to the effective date of this ordinance, if applicable, and schedule of activities during each month of the growing and harvesting season. (Cultivation Operations Plan prepared by Gallegos Law Firm dated 5/4/21 and received 5/24/21 - **Attached**)
5. Copy of the statement of water diversion, or other permit, license or registration filed with the State Water Resources Control Board, Division of Water Rights, if applicable. (SWRCB Division of Water Rights Initial Statement of Water Diversion and Use; Order No. R1-2015-0023 Reporting Form - On file.)
6. Description of water source, storage, irrigation plan, and projected water usage. (Included in Cultivation and Operations Manual (item 4. above) and Water Resource Protection Plan prepared for North Coast Regional Water Quality Control Board Order No. 2015-0023 (item 7. below)
7. Copy of Notice of Intent (NOI) and Monitoring Self-Certification and other documents filed with the North Coast Regional Water Quality Control Board demonstrating enrollment in Tier 1, 2 or 3, North Coast Regional Water Quality Control Board Order No. 2015-0023, or any substantially equivalent rule that may be subsequently adopted by the County of Humboldt or other responsible agency. (NOI and reporting, and Water Resources Protection Plan prepared by Timberland Resource Consultants – On file and **Attached**; to be superseded by Site Management Plan Notice once prepared)
8. If any onsite or offsite component of the cultivation facility, including access roads, water supply, grading or terracing, impacts the bed or bank of any stream or other watercourse, a copy of the Streambed Alteration Permit obtained from the California Department of Fish and Wildlife. (Permit Number 1600-2018-0044-R1 – On file)

9. If the source of water is a well, a copy of the County well permit, if available. (Permit Number 20/21-0690 – On file)
10. If the parcel is zoned FR, U or TPZ, or involves the conversion of timberland as defined under Section 4526 of the Public Resources Code, a copy of a less-than-3-acre conversion exemption or timberland conversion permit, approved by the California Department of Forestry and Fire Protection (Cal Fire). Alternately, for existing operations occupying sites created through prior unauthorized conversion of timberland, evidence may be provided showing that the landowner has completed a civil or criminal process and/or entered into a negotiated settlement with Cal Fire. (Not applicable)
11. Consent for on-site inspection of the parcel by County officials at prearranged date and time in consultation with the applicant prior to issuance of any clearance or permit, and once annually thereafter. (On file)
12. For indoor cultivation facilities, identify the source of electrical power and how it will meet with the energy requirements in Section 55.4.8.2.3, and plan for compliance with applicable building codes. (Not applicable)
13. Acknowledge that the County reserves the right to reduce the size of the area allowed for cultivation under any clearance or permit issued in accordance with this Section in the event that environmental conditions, such as a sustained drought or low flows in the watershed, will not support diversions for irrigation. (On file)
14. Acknowledge that the County reserves the right to engage with local tribes before consenting to the issuance of any clearance or permit, if cultivation operations occur within an Area of Traditional Tribal Cultural Affiliation, as defined herein. This process will follow current departmental referral protocol, including engagement with the tribe(s) through coordination with their Tribal Historic Preservation Officer (THPO) or other tribal representatives. This procedure shall be conducted similar to the protocols outlined under SB 18 (Burton) and AB 52 (Gatto), which describe “government to government” consultation, through tribal and local government officials and their designees. During this process, the tribe may request that operations associated with the clearance or permit be designed to avoid, minimize, or mitigate impacts to tribal cultural resources, as defined herein. Examples include, but are not limited to, conducting a site visit with the THPO or their designee to the existing or proposed cultivation site, requiring that a professional cultural resources survey be performed, or requiring that a tribal cultural monitor be retained during project-related ground disturbance within areas of sensitivity or concern. The County shall request that a records search be performed through the California Historical Resources Information System. (On file)
15. Division of Environmental Health Attachment for Commercial Medical Marijuana (CMM) Clearances/ Permits (DEH Form). (On file)
16. Onsite Wastewater Treatment System Design Report prepared by Trinity Valley Consulting Engineers dated July 2015 and received 2/7/19. (On file)
17. Lake and Streambed Alteration Agreement application dated 1/11/18 and received in 2018. **(Attached)**
18. R2 Soils Report prepared by Trinity Valley Consulting Engineers dated July 2015 and received 2/7/19. (On file)
19. Biological Resource Assessment Report prepared by TransTerra Consulting dated October 2019. (On File)

**CULTIVATION OPERATIONS PLAN (COP)/
WATER RESOURCES PLAN (WRP)
WORKSHEET**



Completion of your Commercial Medical Cannabis Cultivation and/or other Commercial Cannabis Activity permit application is a requirement for issuance of a county permit and obtaining a county license to engage in such activity. Obtaining a permit for your activity is a prerequisite to applying for and obtaining a license from the State of California under the *Medical Cannabis Regulation and Safety Act (MCRSA)*.

It is also required by California *Health & Safety Code* section 11362.777(b), and, therefore, to establish compliance the *Medical Marijuana Program Act (MMPA)* and California law. As such, failure to obtain your permit and license further jeopardizes your ability to obtain a license from the State of California under MCRSA as you are not operating in compliance with California law.

To assist you in completing, we have prepared this worksheet. Hopefully, by completing this worksheet you will be in a better position to either complete your permit application or further assist any experts that you have hired to assist you in completing your permit application. Please work to submit your completed permit application by the end of May.

I hope you find this helpful and that it assists you in completing your permit application and in obtaining your county permit and license.

GENERAL INFORMATION

Date: May 4, 2021

Client Name: Philip O'Connor

Business Name: Grouse Valley Farms, Inc.

Address: 1081 7th Street, Arcata CA 95521 APN: _____

Phone: 707-601-8916 Cell Phone: 707-601-8916 Email: grousevalleyfarmsinc@gmail.com

Primary: _____

Engineer: Mother Earth Engineering

Forester: Timberland Resource Consultants

Water Expert: Timberland Resource Consultants

Other: _____

I. CULTIVATION AREAS

Please describe existing and proposed cultivation areas.

Existing Cultivation					
Type	Dimensions (e.g. 20 x 100)	Number of Plants	Bed Type (e.g. raised beds, in ground)	Cycles/Year	Location and Date of Construction
<input checked="" type="checkbox"/> Outdoor <input type="checkbox"/> Light Dep <input type="checkbox"/> Mixed Light <input type="checkbox"/> Indoor	100' x 190'	120	400 Gallon Geo Pots	1	
<input type="checkbox"/> Outdoor <input type="checkbox"/> Light Dep <input checked="" type="checkbox"/> Mixed Light	30' x 100'	800 - 1,000	Raised Beds	5	

**CULTIVATION OPERATIONS PLAN (COP)/
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<input type="checkbox"/> Indoor					
<input type="checkbox"/> Outdoor <input type="checkbox"/> Light Dep <input type="checkbox"/> Mixed Light <input checked="" type="checkbox"/> Nursery	20'x48'	1,000 - 2,000	1 Gallon pots	Nearly constant	
<input type="checkbox"/> Outdoor <input type="checkbox"/> Light Dep <input type="checkbox"/> Mixed Light <input type="checkbox"/> Indoor					
New Cultivation					
Type	Dimensions (e.g. 20 x 100)	Number of Plants	Bed Type (e.g. raised beds, in ground)	Cycles/Year	% of total Prime Soil 15% or less grade
<input type="checkbox"/> Outdoor <input type="checkbox"/> Light Dep <input type="checkbox"/> Mixed Light <input type="checkbox"/> Indoor					
<input type="checkbox"/> Outdoor <input type="checkbox"/> Light Dep <input type="checkbox"/> Mixed Light <input type="checkbox"/> Indoor					
<input type="checkbox"/> Outdoor <input type="checkbox"/> Light Dep <input type="checkbox"/> Mixed Light <input type="checkbox"/> Indoor					
<input type="checkbox"/> Outdoor <input type="checkbox"/> Light Dep <input type="checkbox"/> Mixed Light <input type="checkbox"/> Indoor					

2. STRUCTURES

Please describe all existing and/or proposed structures on property.

Existing Structure(s)				
Type of building (e.g., house, garage, shop, etc.)	Square Feet	Septic	Building Permits	Relevant info.
Shop/Dry Building	800	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	No	Metal Building, no foundation, to be relocated
Tool Shed	64	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	No	
Open-Air dry storage	240	<input checked="" type="checkbox"/> No		4 posts w/roof - no walls or floor

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3-Sleeping Cabins	112 each	<input checked="" type="checkbox"/> No	No	Sleeping Quarters
Office/Outdoor Kitchen/ Shaded Break Area	960	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	No	
Proposed Structure(s)				
Type of building (e.g., house, garage, shop, etc.)	Square Feet	Septic	Building Permits	Relevant info.
Dry Building	3,000	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Actively Seeking	Proposed, not currently on-site
		<input type="checkbox"/> Yes <input type="checkbox"/> No		
		<input type="checkbox"/> Yes <input type="checkbox"/> No		
		<input type="checkbox"/> Yes <input type="checkbox"/> No		

3. PROPAGATION/NURSERY

Propagation/Nursery: Onsite Offsite Nursery Other: _____

Onsite Propagation

Where will starts be propagated? Cultivation greenhouse Dedicated nursery Other: _____

Plants will be grown from? Seed Cloned from mother plants Both Other: _____

Area (Size) of Propagation/Nursery: 20'x48'

How will starts be transferred/planted? _____

Clones/starts are all transplanted within the designated nursery. Plants are relocated to their designated areas when they go into the flowering phase.

4. CULTIVATION STRUCTURES AND EQUIPMENT

Please describe any and all existing greenhouse structures (i.e. structural material, gravel/concrete or ground floor, light dep equipped, etc.). Nursery is 20'x48' Light assisted greenhouse with woven plastic cover & landscape fabric floor.

Mixed Light is a 30'x100' double layer plastic covered greenhouse, light assisted, heated, with raised beds and a gravel floor.

Please provide make and model of greenhouses and copies of any plans if available.

Nursery Greenhouse: 20'x48' Envirotech

Mixed Light Greenhouse: 30'x100' Grow Master 5000 with Nightfall light deprivation kit.

If adding new greenhouses, describe proposed greenhouse structures (i.e. structural material, light dep equipped, floor type: gravel/bare/concrete, etc). Provide the make and model of greenhouses.

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Please describe additional equipment used or special modifications (i.e. fans, lighting, automation, radiant heating, etc). Nursery: Solar fans, oscillating fans, 120k btu propane heater, and 10 LED growlights.

Mixed light: 2-48" Exhaust fans, 6 air moving fans, 1-ridge fan, 2-small inflator fans (for greenhouse bubble)
33-Gavita grow lights, and 240,000 btu inside heater.

5. CULTIVATION SOIL

Describe the composition of your cultivation soil and list the soil amendments used. _____
We use living soil and have been using the same soil for 15 years. Amendments change
with testing results but frequently used amendments include: organic worm castings,
Sup'R Green chicken manure, gypsum, organic humic, potash, etc.
All amendments are organic whenever possible.

Will soil be reused after each harvest, or will new soil be imported? Soil will be reused endlessly

If new soil will be imported, how frequently? New soil is only brought in for transplanting.
1.5 pallets every other month totaling 9 pallets per year and that soil continues to be
reused indefinitely.

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If reusing and remediating your soil, please describe how the soil will be tested, treated, and amended with timeline for reuse and remediation.

Soil is reused indefinitely. Mixed Light is tested and ammended after each run. Root material is composted onsite.

Full Season soil is tested 2-3 times per year and ammended accordingly. Cover crop is planted for winter
Root material is composted onsite.

6. WATER SOURCE

Describe water source(s) available on the property and what functions they serve.

Description	Function Water Source Serves
<input type="checkbox"/> Public Water system:	_____
<input checked="" type="checkbox"/> Well Permit No.: <u>20/21-0690</u>	_____ _____ _____
<input type="checkbox"/> Unpermitted Well	_____ _____ _____
<input checked="" type="checkbox"/> Spring	_____ _____ _____
<input type="checkbox"/> Approved Surface Water (describe)	_____ _____ _____
<input type="checkbox"/> Unapproved Surface Water	_____ _____ _____
<input type="checkbox"/> No Existing Water Source on Property	Describe how water is obtained: _____ _____ _____

7. SURFACE WATER DIVERSION

If surface water diversion provides any part of the water supply for irrigation of cannabis cultivation.

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- [X] Written consent to forebear from diversion from May 15 to October 31.
- [X] On-site water storage for retention of wet season flows sufficient to provide adequate irrigation water for cultivation.
- [X] Water Management Plan prepared by qualified person (e.g., licensed engineer, hydrologist, or similar qualified professional) that establishes minimum water storage and forbearance period, if required, based upon local site conditions
- [X] Approval from RWQCB through enrollment pursuant to NCRWQB Order No. 2015-0023 and/or preparation of a Water Resources Protection Plan

8. IRRIGATION

Explain how starts and/or juvenile plants will be irrigated (Ex: Hand watering, drip emitters)? _____
Starts are hand watered.

Approximate amount and frequency per day? Starts are watered with as little as 100 gallons per week when they are small, with frequency increasing to 100 gallons per day as they mature.

How will adult plants (outdoor and/or greenhouse) be irrigated (i.e. hand watering, drip emitters)? Adult plants are watered with a drip irrigation system.

Approximate amount and frequency per day: Full season adult plants need 5,000 gallons over a 5 day period once they reach full size. Adult plants in Mixed Light require 1,000 - 1,500 gallons over a 4-5 day period once they reach full size.

If nutrients or compost teas are currently applied to plants, describe the frequency and method of application, and approximate volumes applied. If this will change in future operations, please indicate: We rotate between Tainio, liquid nutrients, and plain water. Each product is used on a 12-15 day cycle. 300 - 500 gallons of compost tea is diluted into 5,000 gallons of water and applied by hand watering. Liquid nutrient mixing varies throughout the year. Feed schedule attached

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If utilizing compost tea, describe the ingredients and where the tea will be "brewed." _____

We no longer brew a compost tea, we have replaced it with Tainio products, a biological soil additive.

9. HARVESTING AND DRYING

Where will plants be dried? Please describe the size and location of proposed structure. _____

Currently plants are dried in a 20'x40' steel building with plastic over a gravel floor. This structure is too small and the gravel floor is not ideal, so I am proposing a 30'x100' processing building with a cement floor. Current and proposed structure are located due south, directly adjacent to the garden area.

What method is used for drying the plants and how long are they dried before trimming? _____

Currently plants are dried for 7-10 days using dehumidifiers, propane heat, and a wood stove. In proposed new processing facility, only propane heat and dehumidifiers would be used.

Will plants be harvested/dried in any special manner (ie: flash freezing)? If so, describe: Yes, Fresh Frozen

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10. TRIMMING

If flowers will be trimmed on site, please describe the proposed processing area, including: type of structure, size, location, if restrooms/hand washing areas to be provided, and projected occupancy. _____

A 20'x25' section of the proposed processing building will be dedicated to trimming.

Restroom and handwashing area will be located inside of the building.

10-12 employees will be necessary for trimming.

Describe whether medical cannabis will be trimmed by machine or hand, or both. Describe and explain the trimming process and provide the model of trim machine(s), if any, used. _____

Trimming is done by hand and by machine.

Describe how processed (finished) medical cannabis will be packaged, labeled, and stored before being moved off site. Hand/machine trimmed

Screened & bagged in 1lb increments

Labeled with Strain & weight

METRC Tag assigned and affixed to package

Stored in airtight cases in secured area.

Frozen-Product is cut, Immediately weighed, fan leaves with no trichome content are quickly removed, weighed & tracked as waste, product is then bucked down, packaged in totes with a METRC tag affixed and stored in the freezer.

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tagged with a METRC package tag, waste is weighed and recorded, packages stored in Freezer until transferred via METRC for processing.

Describe how the trim byproduct will be utilized and stored, or disposed of. _____

Trim will be sold to a licensed processor to extract for hash oil or food products

Packaged in 5 lb tubes

METRC Package tag assigned and affixed

Stored in a locked area

If flowers will be wet-trimmed, describe the process and timeline for harvest, trimming and drying. _____

Not Applicable

11. PROPOSED EMPLOYEES

Staffing

Title	Summary of Duties
Project Supervisor	Supervises operations site and staff. Oversees arrival of staff and implementation of company policies at site on arrival such as morning briefings, oversight of staff's timely arrival and fitness for duties. Oversees staff activities throughout day and until staff leaves at end work schedule to see that proper procedures are followed and that all tools, equipment, etc., is properly cleaned, repaired, marked for repair or replacement, stored and minimize risk of loss. Oversees production, compliance with company policies and procedures and staff productivity and safety. Responsible

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	for employee record creation and dissemination to supervisors, development and implementation of work schedules, and related supervisory duties, and liaison between project and staff and management and between project site and local and state regulatory agencies.
Lead Cultivator	Oversees and manages daily cultivation activities. Responsibilities include: plant propagation and transplant, soil management, irrigation, fertilization, pesticide management, and harvest activities. Responsible for production, inventory, progress, plant propagation and transplant record creation and dissemination to Supervisor, soil management implementation and record creation and dissemination to Supervisor,

Description	Full Time/Part Time	Year Round/Seasonal	Work Schedule Attached
Farm Hand	Full Time	Year Round	4-12hr days, half hour lunch, 2 hour break split shift
Processing	Full Time	Seasonal	4 days, 10 hours per day 1 hour lunch, 1 hour break

12. WASTE WATER

- Connected to public sewer.
- Onsite waste water system. Describe: Proposed Septic Tank with Leach field *Currently using portable toilets & Hand Washing station.*
- Number of Employees. 4
- Hours of Operation/Shifts per day: average: 7am-7pm, 1 shift per day
- Describe effluent and effluent disposal methods: _____

13. SOLID WASTE/RECYCLING:

List/describe the different types and amounts of anticipated solid waste/recycling, composting products: _____

All waste from cannabis garden is composted on site, along with vegetable garden and kitchen waste.

Describe designated area for storage and/or recycling of solid waste (containers stored outside must be covered): _____

Garbage is stored in an enclosed dumpster before being taken to the dump in Eureka.

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Describe waste removal plan including frequency and destination.

Description	Frequency	Method	Destination
Garbage	Ex: 1x/wk	Self-Haul/Service	HWMA-Eureka
Recycling	1x/2weeks	Self-Haul	Mckinleyville Recycling Center

14. HAZARDOUS MATERIALS:

List and describe all cultivation and processing machinery (e.g., generator, tractor, trimmer, heaters, etc.):

2-Honda 7000 Generators • Gas Powered 300 gallon compost tea brewer with 1,000w air pump
 1-Kohler 70kw Generator • Propane powered
 4-Small portable propane heaters
 120,000 btu heater
 240,000 btu heater
 6- dehumidifiers
 Stihl rototiller
 Stihl post hole digger
 Stihl weed eater
 Craftsman riding lawnmower

List and describe all fuel, oils, others used in above machinery or otherwise on site (e.g. gasoline, diesel, propane, other).

Anti-Freeze
 Gas
 Diesel
 Propane
 Motor Oil
 Bar & Chain Oil
 2 Stroke Oil
 Gear Oil

Provide on attached sheet amounts and storage methods for all of the above described fuels, oils, others.

Stored in containment structure: 1 Gallon Gear Oil
 300 gallons gas
 300 gallons diesel
 3-5 gallons motor oil
 3,000 gallons propane stored in three 1,180- gallon tanks
 3 Gallons Anti-Freeze
 1 Gallon Bar & Chain Oil
 2 quarts 2 Stroke Oil

List and describe all compressed gases, cleaners, solvents and sanitizers (including household chemicals such as bleach and alcohol) used or produced onsite.

Bleach
 Isopropyl Alcohol
 Simple Green
 All-O-Cide

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Provide on attached sheet amounts and storage methods for all of the above described compressed gases, cleaners, solvents and sanitizers. _____

5 gallons Simple Green _____
 1 Gallon Bleach _____
 4 Gallons Isopropyl Alcohol _____
 5 Gallons All-O-Cide _____

List and describe all fertilizers, soil amendments and biocides (including organic ones) See bottom of page 6

Mills Basis A	BioGenesis NP	M-Pede
Mills Basis B	Pepzyme Clear	Organic JMS Stylet Oil
Start R	Spectrum + Myco	Regalia
C4	Spectrum PSB	Sulfuric Acid, 35%
Ultimate PK	Spectrum DS	MycoGenesis
Plus C	Double Nickel LC	
Monterey B.T	ZeroTol 2.0	
	Suffoil X	

Provide on attached sheet amounts and storage methods for all of the above described fertilizers, soil amendments and biocides (including organic ones) _____

Mills Basis A - 275 gallons	Pepzyme Clear - 1 gallon	M-Pede - 2.5 Gallons
Mills Basis B - 275 gallons	Spectrum + Myco - 1 lb	Organic JMS Stylet Oil - 2.5 Gallons
Start R - 50 gallons	Spectrum PSB - 1 lb	Regalia - 2.5 Gallons
C4 - 50 gallons	Spectrum DS - 1lb	Sulfuric Acid, 35% - 50 Gallon Drum
Ultimate PK - 50 gallons	Double Nickel - 2.5 Gallons	MycoGenesis - 1 lb
Plus C 2.5 gallons	ZeroTol - 2.5 Gallons	
Monterey B.T. - 1 gallon	Suffoil X - 2.5 Gallons	
BioGenesis NP - 1 lb	All materials stored in containment structure	

15. AGRICULTURAL EMPLOYER

Declaration of status as Agricultural Employer pursuant to Alatorre-Zenovich-Dunlap-Berman Agricultural Labor Relations Act of 1975 (Part 3.5 commencing with Section 1140) of Division 2 of the Labor Code).

16. FEDERAL, STATE, REGIONAL AND LOCAL REGULATORY COMPLIANCE

- Compliant with federal laws and regulations governing California Agricultural Employees.
- Compliant with state laws and regulations governing California Agricultural Employers.
- Compliant with federal laws and regulations wage and hour laws.
- Compliant with state laws and regulations wage and hour laws.
- Compliant with OSHA
- Compliant with CalOSHA
- Compliant with Humboldt County Code (including building code).

17. PROCESSING PRACTICES

Processing Policies and Procedures Manual, Training and Oversight	
<input checked="" type="checkbox"/>	Provides that buildings, equipment and all work areas and surfaces and equipment be maintained in a clean and sanitary condition.
<input checked="" type="checkbox"/>	Provides for processes and workplace supervision and oversight to prevent or reduce risk of contamination,

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	mold and mildew growth and, when applicable, cross contamination.
[X]	Provides that all staff in processing operations have access to and wear good operable facemasks and gloves as applicable to their job function
[X]	Provides that all staff wash hands sufficiently prior to or use good operable gloves when performing processing tasks.
[X]	Provides for implementation and verifiable training of safety and security protocols specific to their job functions and overall operations including:
[X]	(i) Emergency action response planning as necessary or foreseeable;
[X]	(ii) Employee accident reporting and investigation policies;
[X]	(iii) Fire prevention;
[X]	(iv) Hazard communication policies, including maintenance of material safety data sheets (MSDS);
[X]	(v) Materials handling policies;
[X]	(vi) Job hazard analyses; and
[X]	(vii) Personal protective equipment policies, including respiratory protection.
[X]	Requires development, regularly updating and posting of Emergency Contact list which includes:
	(i) Operations manager contacts;
	(ii) Emergency responder contacts; and
	(iii) Poison control contacts.
[X]	Provides for access to safe drinking water and toilets and handwashing facilities that comply with applicable federal, state, and local laws and regulations for employees at all times.

- [X] Plumbing facilities and water source capable of handling increased usage without adverse consequences to neighboring properties or the environment.
- [X] On site-housing, if any, provided to employees complies with all applicable federal, state, and local laws and regulations.

18. CULTIVATION PROCESSING PLAN.

[X] Describe Processing Practices: Product is cut, immediately weighed, and hung to dry for 7-14 days. Product is then taken down and placed into plastic totes, METRC tag is assigned and affixed, totes are stored in our processing center until they can be hand or machine trimmed. Trimmed product is screened into 1 lb packages of flower, 5 lb tubes of trim, and when applicable, B grade flower is packaged separately, waste is weighed and recorded. METRC package tags are assigned and affixed to final packages.

Frozen- Product is cut, immediately weighed, fan leaves with no trichome content are quickly removed, product is bucked down, packaged, tagged with a METRC package tag, waste is weighed and recorded, packages stored in Freezer until transferred via METRC for processing.

[X] Describe location where processing will occur: Processing occurs onsite, in our processing building.

[X] Estimated number of employees with description of duties and responsibilities as well as anticipated work schedule (months, weeks, days, hours):
4 - Full Time Farm Employees
12 - Seasonal Processing Employees

- [X] Describe Employee Safety Practices - We have implemented an IIPP and IIPP training program for all employees.
- [X] Describe toilet and handwashing facilities - Handwashing facilities adjacent to toilets & in Kitchen area
- [X] Describe plumbing and/or septic system and capabilities necessary for anticipated employee and guest usage. *Proposed Septic with Leach field* Currently using portable toilets & Hand Washing station.
- [X] Describe source of employee drinking water. - Employee drinking water is filtered spring water or well water. Designated drinking water receptacle is filled with fresh, cool, water at least once daily and single serve cups are provided.

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- Describe increased road use resulting from processing with plan to minimize impact of increased use, if any, caused by operations.
- Describe any on-site housing, if any. 3 small cabins are used as sleeping quarters by no more than 4 employees. None of the employees live on site, all of our employees maintain their own residence off the property.

19. LIGHT MITIGATION

- Greenhouse or work buildings constructed and operated so as to prevent observable light from neighboring properties between sunset and sunrise.
- Light sources comply with International Dark Sky Association standards for Lighting Zones 0 and 1, and designed to regulate light spillage onto neighboring properties resulting from backlight, uplight, or glare (BUG).

HUMBOLDT COUNTY DEPARTMENT OF PUBLIC WORKS
ROAD EVALUATION REPORT

PART A: *Part A may be completed by the applicant*

Applicant Name: Grouse Valley Farms INC APN: 315-271-006

Planning & Building Department Case/File No.: _____ Apps No. 11672

Road Name: NFS 6 (complete a separate form for each road)

From Road (Cross street): County Rd 311

To Road (Cross street): Private Driveway

Length of road segment: .8 miles Date Inspected: 9/10/19

Road is maintained by: County Other Forest Service
(State, Forest Service, National Park, State Park, BLM, Private, Tribal, etc)

Check one of the following:

Box 1 The entire road segment is developed to Category 4 road standards (20 feet wide) or better. If checked, then the road is adequate for the proposed use without further review by the applicant.

Box 2 The entire road segment is developed to the equivalent of a road category 4 standard. If checked, then the road is adequate for the proposed use without further review by the applicant.

An equivalent road category 4 standard is defined as a roadway that is generally 20 feet in width, but has pinch points which narrow the road. Pinch points include, but are not limited to, one-lane bridges, trees, large rock outcroppings, culverts, etc. Pinch points must provide visibility where a driver can see oncoming vehicles through the pinch point which allows the oncoming vehicle to stop and wait in a 20 foot wide section of the road for the other vehicle to pass.

Box 3 The entire road segment is not developed to the equivalent of road category 4 or better. The road may or may not be able to accommodate the proposed use and further evaluation is necessary. Part B is to be completed by a Civil Engineer licensed by the State of California.

The statements in PART A are true and correct and have been made by me after personally inspecting and measuring the road.

Dante Hamm
Signature

9/26/19
Date

Dante Hamm
Name Printed

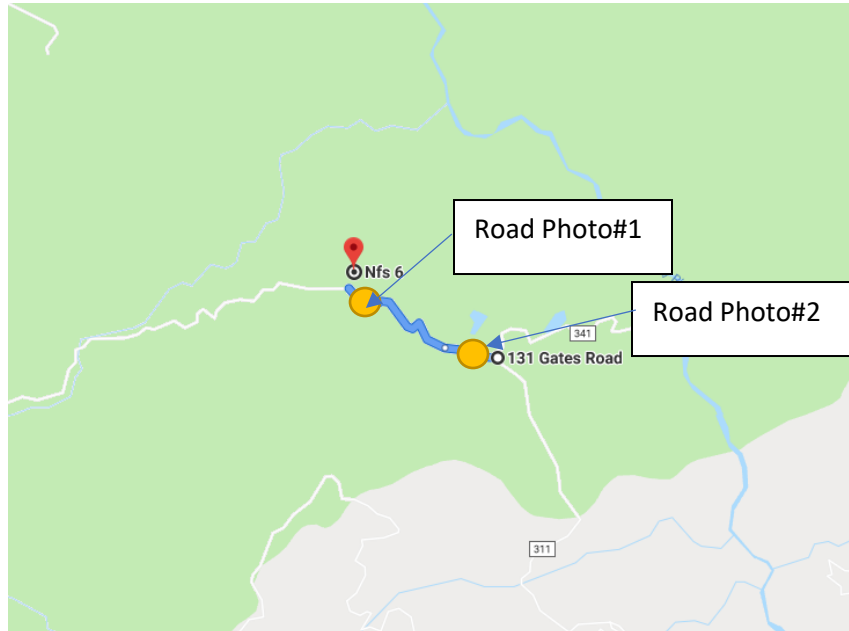
Important: Read the instructions before using this form. If you have questions, please call the Dept. of Public Works Land Use Division at 707.445.7205.



Road Evaluation Photos

APN: 315-271-006

Apps No: 11672



Access Road Map



Road Photo#1



Road Photo#2

11672

Grouse Valley farms Road Report

location 1: end of county rd 311



location 2: .25 miles past end of county road



location 3: .5 miles past end of county road / top of site driveway



Water Resource Protection Plan

WDID – 1B161182CHUM

APN 315-271-006

Prepared by:

Timberland Resource Consultants

165 South Fortuna Blvd

Fortuna, California 95540

02/02/2017

Purpose

This Water Resource Protection Plan (WRPP) has been prepared on behalf of the property owner, for the Humboldt County property identified as parcel number 315-271-006 by agreement and in response to the California Water Code Section 13260(a), which requires that any person discharging waste or proposing to discharge waste within any region that could affect the quality of the waters of the state, other than into a community sewer system, shall file with the appropriate regional water board a Report of Waste Discharge (ROWD) containing such information and data as may be required by the Regional Water Board. The Regional Water Board may waive the requirements of Water Code section 13260 for specific types of discharges if the waiver is consistent with the Basin Plan and in the public interest. Any waiver is conditional and may be terminated at any time. A waiver should include monitoring requirements to verify the adequacy and effectiveness of the waiver's conditions. California Regional Water Quality Control Board, North Coast Region, Order R1-2015-0023, conditionally waives the requirement for the property owner to file an ROWD for discharges and associated activities described in Finding-4.

Scope of Report

Order No. R1-2015-0023 states that "Tier 2 Dischargers and Tier 3 Dischargers who intend to cultivate cannabis before, during, or following site cleanup activities shall develop and implement a water resource protection plan that contains the elements listed and addressed below. Dischargers must keep this plan on site, and produce it upon request by Regional Water Board staff. Management practices shall be properly designed, installed, and assessed periodically for effectiveness. If a management measure is found to be ineffective, the plan must be adapted and implemented to incorporate new or additional management practices to meet standard conditions. Dischargers shall certify annually to the Regional Water Board individually or through an approved third party program that the plan is being implemented and is effectively protecting water quality, and report on progress in implementing site improvements intended to bring the site into compliance with all conditions of this Order."

Methods

The methods used to develop this WRPP include both field and office components. The office component consisted of aerial photography review and interpretation, existing USGS quad map review, GIS mapping of field data, review of on-site photography points, streamflow calculations, and general planning. The field component included identifying and accurately mapping all watercourses, wet areas, and wetlands located downstream of the cultivation areas, associated facilities, and all appurtenant roads accessing such areas. An accurate location of the Waters of the State is necessary to make an assessment of whether potential and existing erosion sites/pollution sites have the potential to discharge waste to an area that could affect Waters of the State (including groundwater). All cultivation areas, associated facilities, and all appurtenant roads accessing such areas were assessed for discharges and related controllable water quality factors from the activities listed in Order R1-2015-0023, Finding 4a-j. The field assessment also included an evaluation and determination of compliance with the Standard Conditions per Provision I.B of Order No. R1-2015-0023. The water resource protection plans required under Tier 2 are meant to describe the specific measures a discharger implements to achieve compliance with standard conditions. Therefore, all required components of the water resource protection plan per Provision I.B of Order No. R1-2015-0023 were physically inspected and evaluated. A comprehensive summary of each Standard Condition as it relates to the subject property is appended.

Property Description

The property assessed consists of one 42.5 acre parcel with vegetation consisting primarily of Douglas-fir timberland. Slopes on the ownership range from 0-10%. The property is located in Section 18, T54N, R6E, HB&M, in Humboldt County. This property is approximately 12 miles southwest of Burnt Ranch, California accessed via Nfs6. This property has two unnamed watercourses that converge with Grouse Creek approximately 1000ft to the northwest. Grouse Creek is a tributary to the South Fork Trinity River.

Project Description

Cultivation on the property consists of one 22,900ft² cultivation area. Slopes within the cultivation area are 0-5%. Slopes within the surrounding area average 8%. All areas are accessed by a well-established road network that has historically been used as a Forest Service Access road.

Monitoring Plan

Tier 2 Dischargers shall include a monitoring element in the Water Resource Protection Plan that at a minimum provides for periodic inspection of the site, checklist to confirm placement and efficacy of management measures and document progress on any plan elements subject to a time schedule. Tier 2 Dischargers shall submit an annual report (Appendix C) by March 31 of each year that documents implementation and effectiveness of management measures during the previous year. Tier 2 annual reporting is a function that may be provided through an approved third party program.

Monitoring of the site includes visual inspection and photographic documentation of each feature of interest listed on the site map, with new photographic documentation recorded with any notable changes to the feature of interest. At a minimum, all site features must be monitored annually, to provide the basis for completion of the annual re-certification process. Additionally, sites shall be monitored at the following times to ensure timely identification of changed site conditions and to determine whether implementation of additional management measures are necessary to prevent, minimize, and mitigate discharges of waste to surface water: 1) just prior to October 15 to evaluate site preparedness for storm events and storm water runoff, 2) following the accumulation of 3" total precipitation or by November 15, whichever is sooner, and 3) following any rainfall event with an intensity of 3" precipitation in 24 hours. Precipitation data can be obtained from the National Weather Service Forecast Office (e.g. by entering the zip code of the parcel location at <http://www.srh.noaa.gov/forecast>). Sites requiring monitoring are indicated as such within the WRPP Mitigation report in the follow pages.

Monitoring Plan Reporting Requirements

Order No. R1-2015-0023, Appendix C must be submitted to the Regional Water Board or approved third party program upon initial enrollment in the Order (NOI) and annually thereafter by March 31. Forms submitted to the Regional Water Board shall be submitted electronically to northcoast@waterboards.ca.gov. If electronic submission is infeasible, hard copies can be submitted to North Coast Regional Water Quality Control Board, 5550 Skylane Boulevard, Suite A, Santa Rosa, CA 95403.

Assessment of the Standard Conditions

Assessment of Standard Conditions consisted of field examinations in the Winter of 2017. The examination evaluated areas near, and areas with the potential to directly impact, watercourses for sensitive conditions including, but not limited to, existing and proposed roads, skid trails and landings, unstable and erodible watercourse banks, unstable upslope areas, debris, jam potential, inadequate flow capacity, changeable channels, overflow channels, flood-prone areas, and riparian zones. Field examinations also evaluated all roads and trails on the property, developed areas, cultivation sites, and any structures and facilities appurtenant to cultivation on the property. Anywhere the Standard Conditions are not met on the property, descriptions of the assessments and the prescribed treatments are outlined in the Mitigation Report to follow.

Summary of Standard Conditions Compliance

1. Site maintenance, erosion control, and drainage features Y/N
2. Stream crossing maintenance Y/N
3. Riparian and wetland protection and management Y/N
4. Spoils management Y/N
5. Water storage and use Y/N
6. Irrigation runoff Y/N
7. Fertilizers and soil amendments Y/N
8. Pesticides and herbicides Y/N
9. Petroleum products and other chemicals Y/N
10. Cultivation-related wastes Y/N
11. Refuse and human waste Y/N

1. Site maintenance, erosion control, and drainage features

A permanent road exists on the property which is used to access the cultivation area and multiple structures. This property has approximately 0.4 miles of road with grades averaging 0-10%. The road has sufficient surface rock with appropriate and adequately spaced drainage structures. The recommended mitigations to the existing drainage structures include, re-establishing water bars, installation of rolling dips and the installation of one ditch relief culvert, referenced as sites 02, 03, 04, 05, 06, and 08. The property owner has been diligent in maintaining and improving existing drainage features. Overall the condition of the roads was exceptional and the recommendations that have been made will further improve the longevity of drainage features.

Cultivation on the property consists of one 22,900ft² area that is currently cleared and in the process of being reconstructed. This area has been graded with a 2-3% slope to improve drainage of the site. Seed and mulch has been applied to all of the exposed bare mineral soils around the peripheries of the cultivation area and in multiple locations on the road. This mulching has been applied in adequate amounts and appropriate locations throughout the property. The property owner relayed plans to apply wood chip mulching to the entire cultivation area.

Assessment of the Standard Conditions (Cont.)

2. Stream crossing maintenance

A total of four watercourse crossings exist on this property. Two of these watercourse crossings occur on an unclassified watercourse and two crossings occur on unnamed Class III watercourses. These crossings are referenced as sites 01, 07, 09, and 10. Site 09 and 10 consist of dirt fords on Class III watercourse crossings, located on a trail. It is being recommended to install rock fords at these locations. Sites 01 and 07 are adequately sized for a 100 year storm event and have good installations; however, both lack critical dips. It is being recommended to install critical dips at sites 01 and 07.

3. Riparian and wetland protection and management

All cultivation areas, roads, and agriculture related structures are at distances beyond those defined as appropriate buffers in this document. The cultivation area is 80ft away from a Class III watercourse.

4. Spoils management

During initial inspection, no spoils piles were located on the property. If spoiling material is required, such as from stream crossing installation or other grading, the discharger shall follow the BMPs in Appendix B or the Order, under Spoil Management. Spoil sites shall be located outside any standard width riparian area (50' for Class III and 100' for Class II) and shall be stabilized and contained as per the BMPs. This standard condition is being met at this time.

5. Water storage and use

Water is sourced from a spring that is gravity fed to one 2500 gallon tank. This water is then gravity fed to a tank bank of 12, 3000 gallon, tanks. This equates to 36,000 gallons of water storage. A pond has been engineered and the location has been approved by The Department of Fish and Wildlife. This pond will be constructed once weather permits. The pond is estimated to hold 500,000 gallons of water and will provide an adequate amount of water for the entire growing season.

Cultivation areas are watered by hand and the entire cultivation area will be mulched with woodchips. A general recommendation has been made to implement water conservation techniques at the discretion of the discharger. Water conservation technique options include drip systems, mulching base of plant, watering early in the morning (before 10a.m) or later in the evening (after 6 p.m.), repairing leaky pipes and fittings, and utilizing water conserving soil amendments such as bio-char. These options are not required and it is up to the discharger to research and implement water conservation techniques that are suitable to their property. This standard condition is being met.

Assessment of the Standard Conditions (Cont.)

Water use estimates are included below

Month	Gallons
January	0
February	20,000
March	20,000
April	20,000
May	20,000
June	20,000
July	11,250
August	11,250
September	11,250
October	11,250
November	0
December	0
Total	145,000

6. Irrigation runoff

During the field assessments, no evidence of irrigation runoff was observed, nor was there evidence that it had occurred in the past. Straw mulch has been applied around the perimeter of the cultivation area and the property owner has plans to apply woodchips to the entire cultivation area.

7. Fertilizers and soil amendments

All fertilizers and soil amendments are stored in an appropriate structure. Products used are applied at rates below the manufacturer's specifications. The following is a current list of products stored on site. This standard condition is being met:

Fertilizers:

Product Type/Name	Annual Mount Applied in 2016	Nutrient Content
Mills Nutrient Basis A	135 gallons	3-0-1
Mills Nutrient Basis B	135 gallons	0-4-3
Mills Nutrient Start R	25 gallons	5-0-0.5
Mills Nutrient C4	25 gallons	0.7-3-3
Mills Nutrient Basis Ultimate PK	25 gallons	0-7-6
Stutzman's Chicken Manure	5,000 lbs	3-1-1
Royal Gold Worm Castings	10,000 lbs	
Organic Compost	10,000 lbs	

8. Pesticides and herbicides

The discharger has relayed that no pesticides or herbicides are used. The discharger was informed of the proper storage requirements if pesticides or herbicides are used in the future.

9. Petroleum products and other chemicals

This property is undergoing a reorganization of the entire property; as a result the fuel storage area has been relocated to a more suitable location away from watercourses. The discharger was informed that the structure should be enclosed with side wind protection and cover. Secondary containment will consist of cement retaining wall around the foundation of this new structure.

Assessment of the Standard Conditions (Cont.)

10. Cultivation-related wastes

No accumulations of cultivation waste were found at the time of inspection. The discharger has been informed of the proper techniques of disposing of organic matter, including burning or composting.

11. Refuse and human waste

This property currently has a septic system. A new septic system has been designed and will be installed and permitted when the weather conditions are suitable. This standard condition will be met once a permitted septic system is installed. It is the responsibility of the landowner to comply with the requirements set forth under *Humboldt County Health and Human Services, Department of Public Health: Sewage Disposal Regulations, Appendix VII, 1984.*

12. Remediation/Cleanup/Restoration

Currently, two of the Standard Conditions are not being met; 1. Site maintenance, erosion control, and drainage features, 2. Stream crossing maintenance. These sites will be treated in accordance with regulations, following approval of any and/or all necessary permits, and done in accordance with the BMP's listed in Appendix B of the Order. Additionally, several other general recommendations have been made as follows:

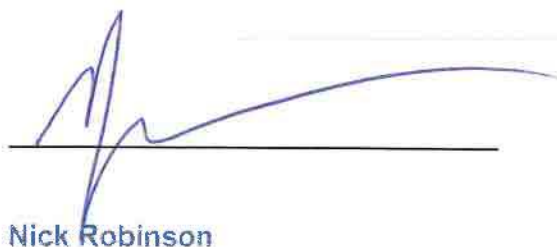
General Recommendations

- It has been recommended to install a water meters at each point of diversion/use to track water usage. This shall be completed by the start of next year's growing season.
- Implement water conservation techniques.

**STATEMENT OF CONTINGENT AND LIMITING CONDITIONS CONCERNING THE PREPARATION AND
USE OF WATER RESOURCE PROTECTION PLAN**

Prepared by Timberland Resource Consultants

1. This Water Resource Protection Plan has been prepared for the property within APN 315-271-006 in Humboldt at the request of the Client.
2. Timberland Resource Consultants does not assume any liability for the use or misuse of the information in this Water Resource Protection Plan.
3. The information is based upon conditions apparent to Timberland Resource Consultants at the time the inspection was conducted. Changes due to land use activities or environmental factors occurring after this inspection have not been considered in this Water Resource Protection Plan.
4. Maps, photos, and any other graphical information presented in this report are for illustrative purposes. Their scales are approximate, and they are not to be used for locating and establishing boundary lines.
5. The conditions presented in this Water Resource Protection Plan may differ from those made by others or from changes on the property occurring after the inspection was conducted. Timberland Resource Consultants does not guarantee this work against such differences.
6. Timberland Resource Consultants did not conduct an investigation on a legal survey of the property.
7. Persons using this Water Resource Protection Plan are advised to contact Timberland Resource Consultants prior to such use.
8. Timberland Resource Consultants will not discuss this report or reproduce it for anyone other than the Client named in this report without authorization from the Client.



Nick Robinson
Timberland Resource Consultants



Cultivation area currently in the process of being redesigned. 2/28/2017



Site 06, Water bar is saturated and not functioning adequately. Proposed mitigation is to establish an inside ditch and install 40ft section of 12" DRC. Inlet will be rocked.



Point of diversion. 1" Poly pipe gravity fed by a year around bank spring.










Alternate view of POD.



Water Resource Protection Plan

Site Map WDID - 1B161182CHUM

-  Property Boundary
-  Cultivation Area

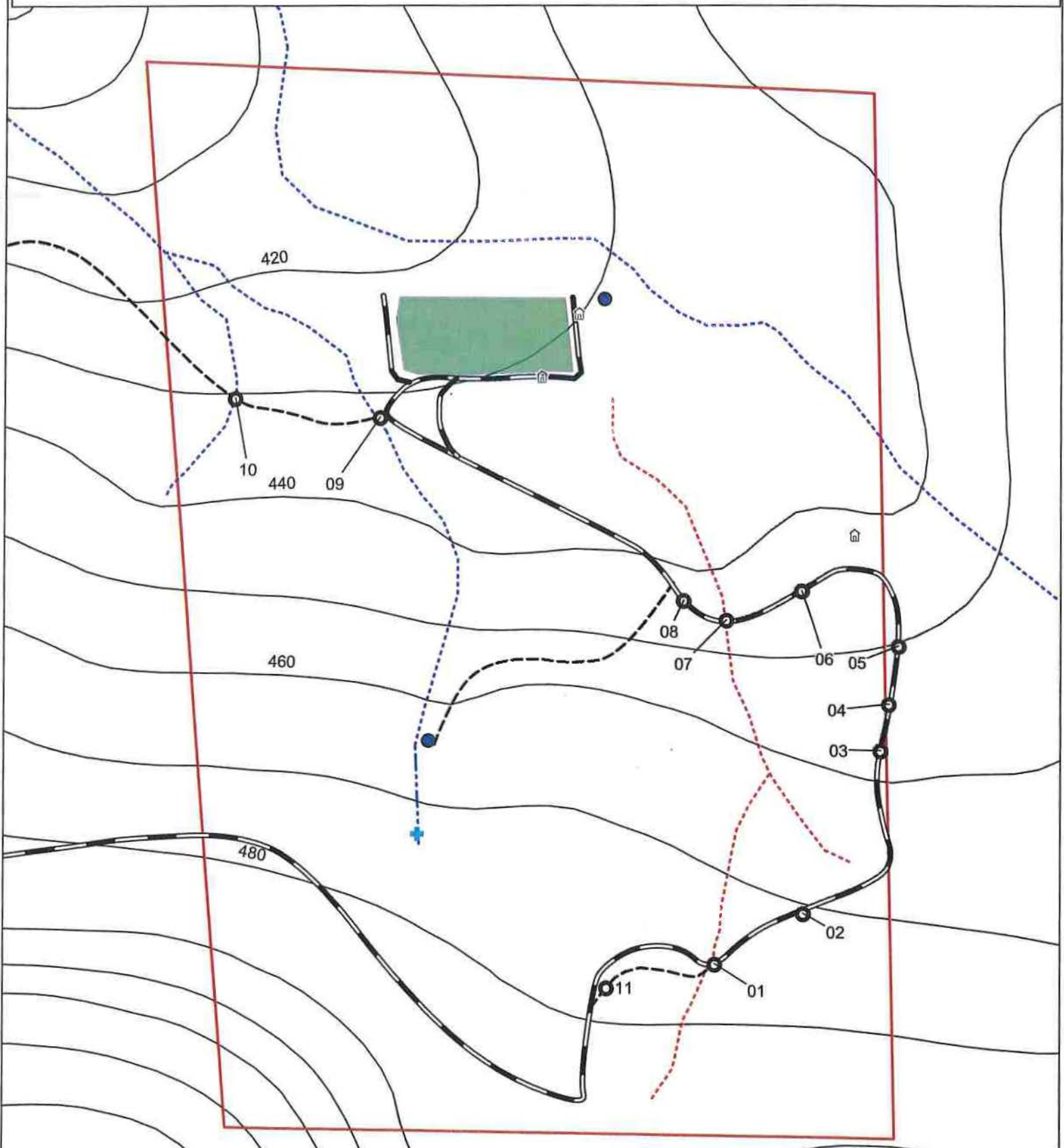
-  Site
-  Tank
-  Point of Diversion
-  Structure

- ### Watercourses
-  Class II
 -  Class III
 -  Unclassified

- ### Roads
-  Permanent
 -  Trail







Scale: 1" = 175'






Water Resource Protection Plan

Site Map WDID - 1B161182CHUM

-  Property Boundary
-  Cultivation Area

-  Site
-  Tank
-  Point of Diversion
-  Structure

- ### Watercourses
-  Class II
 -  Class III
 -  Unclassified

- ### Roads
-  Permanent
 -  Trail



Scale: 1" = 175'





WRPP - Mitigation Report

WDID# - 1B161182CHUM

180102120502TRC138

Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
1	-123.55 40.7213	Permanent	X	X		A.2.	Prior to 10/15/19 pending approval of applicable permits	
Current Condition: Unclassified watercourse crossing. A 24" CMP culvert. Currently functioning adequately. This crossing is lacking a critical dip.						Proposed Action: Install critical dip as per the specifications of the attached BMP's. Culvert is sized adequately for a 100 year storm event. Reference point for monitoring.		
2	-123.549 40.7221	Permanent	X	X		A.1.	Prior to 10/15/18 pending approval of applicable permits	
Current Condition: Existing water bar on road. Road is used year around resulting in this drainage feature being beaten down.						Proposed Action: It is being recommended to install a Type 1 rolling dip to create a more durable and permanent drainage feature.		
3	-123.55 40.7227	Permanent		X		A.1.		
Current Condition: 12" cmp ditch relief culvert functioning adequately. Property owner has recently rocked the inside ditch which is effectively capturing sediment.						Proposed Action: None.		
4	-123.55 40.7225	Permanent		X		A.1.	Prior to 10/15/18 pending approval of applicable permits	
Current Condition: Existing water bar on permanent road, currently functioning adequately.						Proposed Action: Install a Type 1 rocked rolling dips in this location.		
5	-123.552 40.7234	Permanent	X	X		A.1.	Prior to 10/15/18 pending approval of applicable permits	
Current Condition: Existing water bar on permanent road, currently functioning adequately.						Proposed Action: Install a Type 1 rocked rolling dips in this location.		
6	-123.55 40.7226	Permanent	X	X		A.1.	Prior to 10/15/18 pending approval of applicable permits	
Current Condition: Existing rolling dip, has become saturated due to draining an inside ditch.						Proposed Action: It is being recommended to install a 40' section of 12" ditch relief culvert. A 20ft section of inside ditch shall be established with rock around the inlet of the DRC.		



WRPP - Mitigation Report

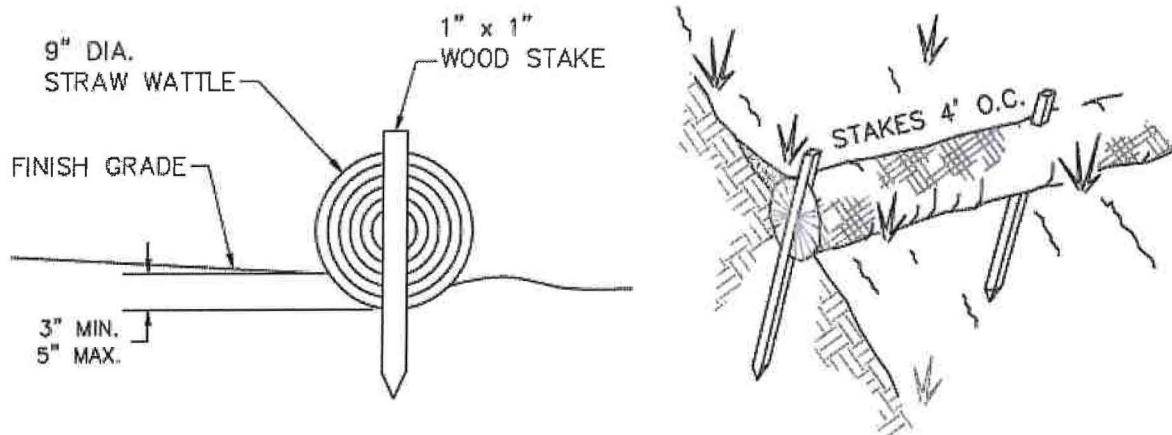
WDID# - 1B161182CHUM

180102120502TRC138

Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
7	-123.552 40.7233	Seasonal	X	X		A.2.	Prior to 10/15/18 pending approval of applicable permits	
Current Condition: Unclassified watercourse crossing. 36" Plastic Pipe. Functioning adequately but is lacking a critical dip.						Proposed Action: Install a critical dip per the specifications of the attached BMP.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
8	-123.55 40.7215	Permanent	X	X		A.1.	Prior to 10/15/18 pending approval of applicable permits	
Current Condition: Existing rolling dip that has become beaten down. Still functioning adequately.						Proposed Action: Re-establish as a type 1 rocked rolling dip.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
9	-123.549 40.7225	Permanent	X	X		A.1.	Prior to 10/15/18 pending approval of applicable permits	
Current Condition: Existing dirt ford on a Class III watercourse.						Proposed Action: Install rocked ford at this location.		
Unique Point	Lat-Long NAD 83	Road Type	Mitigation Planned	Monitor	1600	Standard Conditions	Treatment Priority	Date Completed
10	-123.549 40.7222	Permanent	X	X		A.1.	Prior to 10/15/18 pending approval of applicable permits	
Current Condition: Existing dirt ford on a Class III watercourse.						Proposed Action: Install rocked ford at this location.		

BMP: Erosion Control

- Erosion control and sediment detention devices and materials shall be incorporated into the cleanup/restoration work design and installed prior to the end of project work and before the beginning of the rainy season. Any continuing, approved project work conducted after October 15 shall have erosion control works completed up-to-date and daily.
- Erosion control materials shall be, at minimum, stored on-site at all times during approved project work between May 1 and October 15.
- Approved project work within the 5-year flood plain shall not begin until all temporary erosion controls (straw bales or silt fences that are effectively keyed-in) are installed downslope of cleanup/restoration activities.
- Non-invasive, non-persistent grass species (e.g., barley grass) may be used for their temporary erosion control benefits to stabilize disturbed slopes and prevent exposure of disturbed soils to rainfall.
- Upon work completion, all exposed soil present in and around the cleanup/restoration sites shall be stabilized within 7 days.
- Soils exposed by cleanup/restoration operations shall be seeded and mulched to prevent sediment runoff and transport.
- Straw Wattles (if used) shall be installed with 18 or 24 inch wood stakes at four feet on center. The ends of adjacent straw wattles shall be abutted to each other snugly or overlapped by six inches. Wattles shall be installed so that the wattle is in firm contact with the ground surface.



BMP: Crossing Abandonment

- When fills are removed they shall be excavated to form a channel that is as close as feasible to natural watercourse grade, orientation, and a width that is wider than the natural channel.
- Excavated banks shall be laid back to a 2:1 (50%) or natural slope.
- Temporary crossings shall be removed by November 15.
 - Any temporary culvert crossing left in after October 15 or installed between October 15 and May 1, shall be sized to accommodate the estimated 100-year flow.
- Bank and channel armoring may occur when appropriate to provide channel and bank stabilization.
- Road approaches leading to the crossing to be abandoned shall be hydrologically disconnected.
- The abandonment of a watercourse crossing shall not prevent equipment access to existing watercourse crossings not also being abandoned.

BMP: Permanent Culvert Crossing

- New culvert installations shall be sized to accommodate flows associated with a 100-year storm event.
- If the new culvert is replacing a poorly installed old culvert, the crossing may need to be abandoned to the following standard:
 - When fills are removed they shall be excavated to form a channel that is as close as feasible to natural watercourse grade and orientation, and that is wider than the natural channel.
 - Excavated banks shall be laid back to a 2:1 (50%) or natural slope.
- New culverts shall be placed at stream gradient, or have downspouts, or have energy dissipaters at outfall.
 - Align culverts with the natural stream channel orientation to ensure proper function, prevent bank erosion, and minimize debris plugging. See Figure 97 below.
 - Place culverts at the base of the fill and at the grade of the original streambed or install a downspout past the base of the fill. Downspouts should only be installed if there are no other options.
 - Culverts should be set slightly below the original stream grade so that the water drops several inches as it enters the pipe.
 - Culvert beds should be composed of rock-free soil or gravel, evenly distributed under the length of the pipe.
 - Compact the base and sidewall material before placing the pipe in its bed.
 - Lay the pipe on a well-compacted base. Poor basal compaction will cause settling or deflection in the pipe and can result in separation at a coupling or rupture in the pipe wall.
 - Backfill material should be free of rocks, limbs, or other debris that could dent or puncture the pipe or allow water to seep around the pipe.
 - Cover one end of the culvert pipe, then the other end. Once the ends are secure, cover the center.
 - Tamp and compact backfill material throughout the entire process, using water as necessary for compaction.
 - Backfill compacting will be done in 0.5 – 1.0 foot lifts until 1/3 of the diameter of the culvert has been covered.
 - Push layers of fill over the crossing to achieve the final design road grade, road fill above the culvert should be no less than one-third to one-half the culvert diameter at any point on the drivable surface.
- Critical dips shall be installed on culvert crossings to eliminate diversion potential. Refer to Figure 84 below.
- Road approaches to crossings shall be treated out to the first drainage structure (i.e. waterbar, rolling dip, or hydrologic divide) to prevent transport of sediment.
- Road surfaces and ditches shall be disconnected from streams and stream crossings to the greatest extent feasible. Ditches and road surfaces that cannot be feasibly disconnected from streams or stream crossings shall be treated to reduce sediment transport to streams.
- If downspouts are used, they shall be secured to the culvert outlet and shall be secure on fill slopes.
- Culverts shall be long enough so that road fill does not extend or slough past the culvert ends.
- Inlet of culverts, and associate fill, shall be protected with appropriate measures that extend at least as high as the top of the culvert.
- Outlet of culverts shall be armored with rock if road fill sloughing into channel can occur.
- Armor inlets and outlets with rock, or mulch and seed with grass as needed (not all stream crossings need to be armored).
- Where debris loads could endanger the crossing, a debris catchment structure shall be constructed upstream of the culvert inlet.
- Bank and channel armoring may occur, when appropriate, to provide channel and bank stabilization.

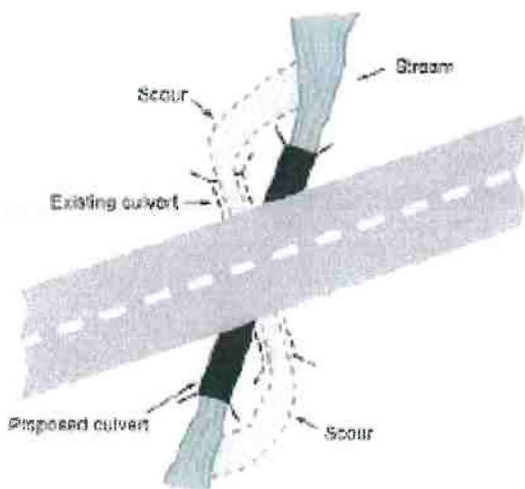


FIGURE 97. Culvert alignment should be in relation to the stream and not the road. It is important that the stream enters and leaves the culvert in a relatively straight horizontal alignment so streamflow does not have to turn to enter the inlet or discharge into a bank as it exits. This figure shows a redesigned culvert installation that replaces the bending alignment that previously existed. Channel turns at the inlet increase plugging potential because wood going through the turn will not align with the inlet. Similarly, channel turns at the inlet and outlet are often accompanied by scour against the channel banks (Wisconsin Transportation Information Center, 2004).

BMP: Permanent Culvert Crossing (Cont.)

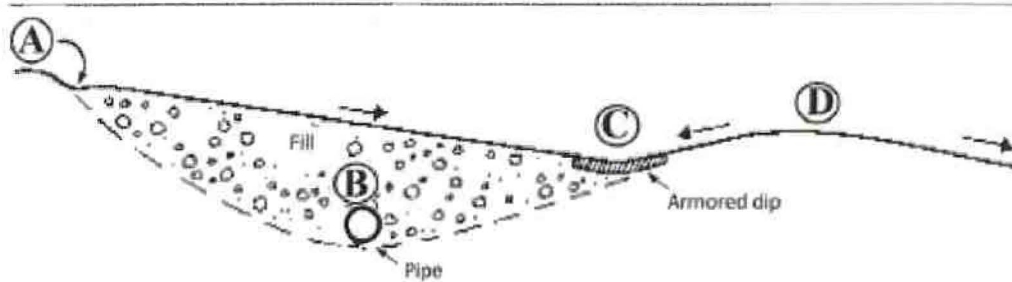
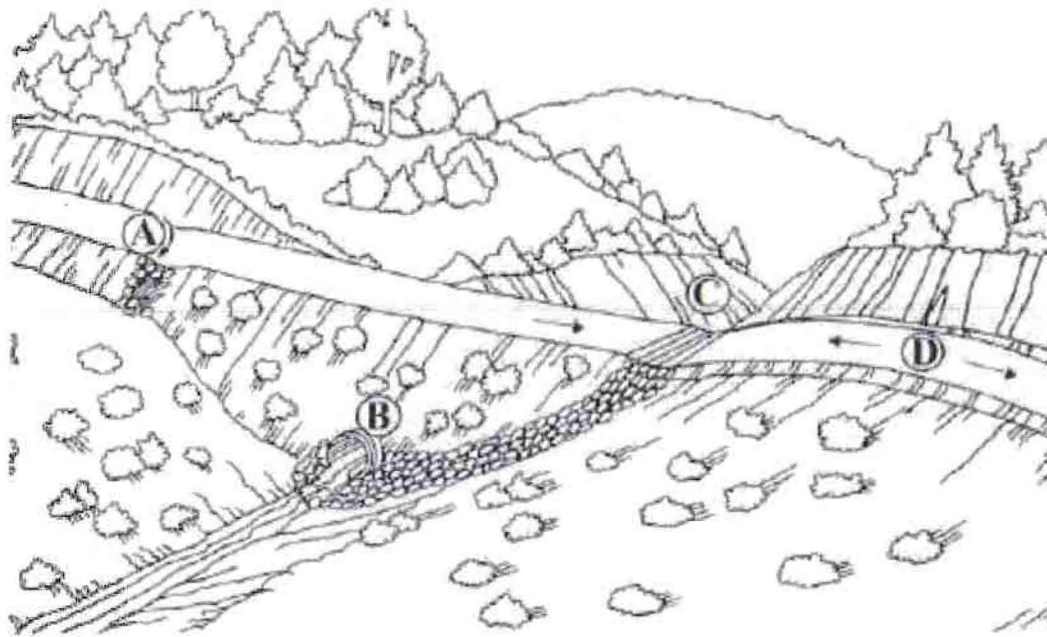


FIGURE 84. Critical dips or dipped crossing fills should be centered near a stream crossing's down-road hinge line, not over the centerline of the crossing where overtopping could cause washout or severe erosion of the fill. If the stream crossing culvert (B) plugs, water will pond behind the fill until reaching the critical dip or low point in the crossing (C) and flowing back down into the natural stream channel. The down-road ditch must be plugged to prevent streamflow from diverting down the ditch line. For extra protection in this sketch, riprap armor has been placed at the critical dip-outfall and extending downstope to the stream channel. This is only required or suggested on stream crossings where the culvert is highly likely to plug and the crossing fill overtopped. The dip at the hinge line is usually sufficient to limit erosional damage during an overtopping event. Road surface and ditch runoff is disconnected from the stream crossing by installing a rolling dip and ditch relief culvert just up-road from the crossing (A) (Keller and Sherar, 2003).

HANDBOOK FOR FOREST, RANCH AND RURAL ROADS

BMPs and Diagrams

BMP: Permanent Culvert Crossing (Cont.)

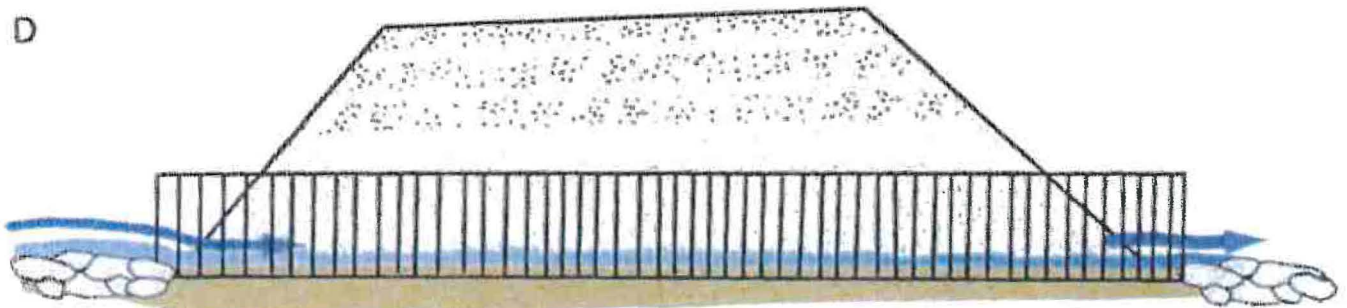
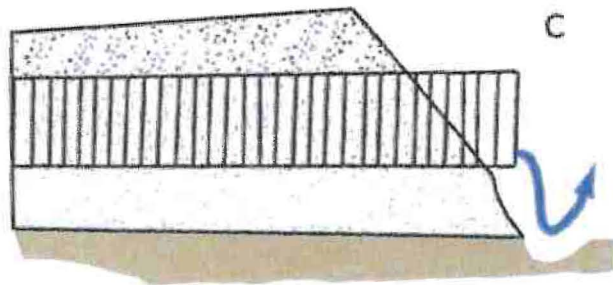
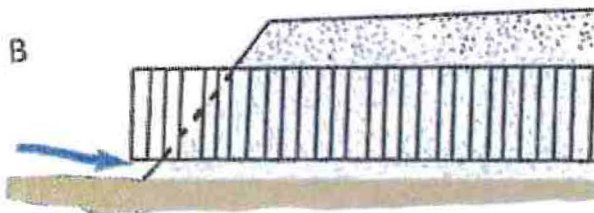


FIGURE 155. Proper culvert installation involves correct culvert orientation, setting the pipe slightly below the bed of the original stream, and backfilling and compacting the fill as it is placed over the culvert. Installing the inlet too low in the stream (A) can lead to culvert plugging, yet if set too high (B) flow can undercut the inlet. If the culvert is placed too high in the fill (C), flow at the outfall will erode the fill. Placed correctly (D), the culvert is set slightly below the original stream grade and protected with armor at the inlet and outlet. Culverts installed in fish-bearing stream channels must be inset into the streambed sufficiently (>25% embedded) to have a natural gravel bottom throughout the culvert (Modified from: MDSL, 1991).

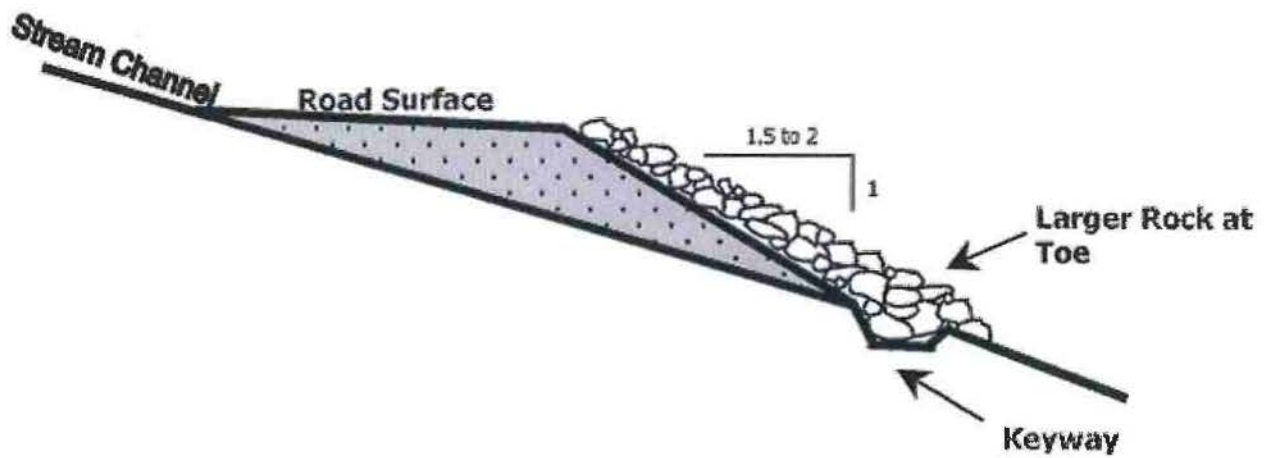
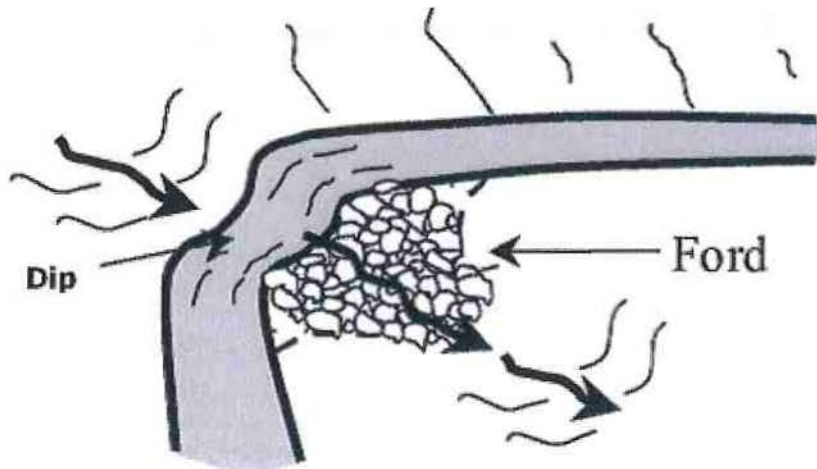
HANDBOOK FOR FOREST, RANCH AND RURAL ROADS

BMP: Rocked Ford

- Rocked fords are drainage structures designed to carry watercourses across roads with little to no erosion of the road surface or fill.
- Fords constructed in-channel shall be of appropriately sized material that shall withstand erosion or displacement by expected velocities and placed in a broad, U-shaped channel to create a drivable crossing.
 - The road shall dip into and out of the rocked ford to minimize diversion potential. Construct a broad rolling dip across the roadbed, centered at the crossing, which is large enough to contain the expected 100-yr flood discharge while preventing flood flow from diverting down the road or around the rock armor.
- The road surface at the ford shall be constructed with clean rock. The rock shall be applied to a minimum depth of 6 inches.
 - A range of interlocking rock armor sizes should be selected and sized so that peak flows will not pluck or transport the armor off the roadbed or the sloping fill face of the armored fill.
- The ford's outlet shall be rock armored to resist downcutting and erosion.
 - *Excavate the keyway and armored area* - Excavate a two to three foot deep "bed" into the dipped road surface and adjacent fillslope (to place the rock in) that extends from approximately the middle of the road, across the outer half of the road, and down the outboard road fill to where the base of the fill meets the natural channel. At the base of the fill, excavate a keyway trench extending across the channel bed.
 - *Armor the basal keyway* - Put aside the largest rock armoring to create the buttresses. Use the largest rock armor to fill the basal trench and create a buttress at the base of the fill. This should have a "U" shape to it and it will define the outlet where flow leaves the armored fill and enters the natural channel.
 - *Armor the fill* - Backfill the fill face with the remaining rock armor making sure the final armor is unsorted and well placed, the armor is two coarse-rock layers in thickness, and the armored area on the fill face also has a "U" shape that will accommodate the largest expected flow.
 - *Armor the top of the fill* - Install a second trenched buttress for large rock at the break-in-slope between the outboard road edge and the top of the fill face.
- Road approaches to rocked fords shall be rock surfaced out to the first drainage structure (i.e. waterbar, rolling dip, or hydrologic divide) to prevent transport of sediment using rock.
- Bank and channel armoring may occur when appropriate to provide channel and bank stabilization.
- Road approach rock and rock ford armoring shall be reapplied following use as needed to maintain a permanent crossing.

BMP: Rocked Ford (Cont.)

FORD: A large dip is graded into the road at the axis of the stream channel. The outside fill face is dished out to form a spillway with large rock. On large watercourses, rock is keyed several feet into firm native soils. The road surface is rocked with 6" of minus rock .



BMP: Armored Ford [Fill]

- Armored fords are watercourse crossing fills comprised primarily of rock and designed to carry watercourses across roads without erosion or displacement of installed fill material.
- Armored fords shall have a U-shaped channel to create a drivable crossing.
 - The road shall dip into and out of the armored ford to minimize diversion potential. Construct a broad rolling dip across the roadbed, centered at the crossing, which is large enough to contain the expected 100-yr flood discharge while preventing flood flow from diverting down the road or around the rock armor.
- The road surface at the armored ford shall consist of rock small enough to be easily passable by vehicle, but large enough to not be transported during high flow storm events.
- The ford's inlet shall be rock armored if a threat of head cutting exists.
 - *Excavate the keyway* - Excavate a one to three foot deep "bed" into the inboard edge of the road
 - *Armor the basal keyway* – place various sized rock in the constructed keyway to prevent head cutting. Use the largest rock armor to fill the keyway trench and create a buttress along the inboard edge of the road. This should have a "U" shape to it and it will define the inlet where flow leaves the natural channel and enters the road.
- The ford's outlet shall be rock armored to resist downcutting and erosion.
 - *Excavate the keyway and armored area* - Excavate a two to three foot deep "bed" into the dipped road surface and adjacent fillslope (to place the rock in) that extends from approximately the middle of the road, across the outer half of the road, and down the outboard road fill to where the base of the fill meets the natural channel. At the base of the fill, excavate a keyway trench extending across the channel bed.
 - *Armor the basal keyway* - Put aside the largest rock armoring to create the buttresses. Use the largest rock armor to fill the basal trench and create a buttress at the base of the fill. This should have a "U" shape to it and it will define the outlet where flow leaves the armored fill and enters the natural channel.
 - *Armor the fill* - Backfill the fill face with the remaining rock armor making sure the final armor is unsorted and well placed, the armor is two coarse-rock layers in thickness, and the armored area on the fill face also has a "U" shape that will accommodate the largest expected flow.
 - *Armor the top of the fill* - Install a second trenched buttress for large rock at the break-in-slope between the outboard road edge and the top of the fill face.
- Road approaches to armored fords shall surface rocked out to the first drainage structure (i.e. waterbar, rolling dip, or hydrologic divide) to prevent transport of sediment using rock.
- Bank and channel armoring may occur when appropriate to provide channel and bank stabilization.
- Armored ford armoring shall be reapplied following use as needed to maintain a permanent crossing.



FIGURE 120. This armored fill crossing of a steep, ephemeral stream was constructed to provide a low maintenance crossing. The crossing has been deeply dipped to reduce the volume of road fill and to eliminate the potential for stream diversion. The fill slope has been heavily armored through the axis of the crossing to contain flood flows and prevent downcutting. Armored fills cannot be used on fish bearing streams.

HANDBOOK FOR FOREST, RANCH AND RURAL ROADS

BMPs and Diagrams

BMP: Armored Ford [Fill] (Cont.)



FIGURE 121D. Well graded rock armor is then backfilled into the structure and spread across the breadth of the U-shaped stream crossing, and about one-third the way up the roadbed, so that streamflow will only flow over or come in contact with resistant armor material. The armor must be spread and compacted across the design width of the expected flood flow channel width so peak flows will not flank the armored structure.

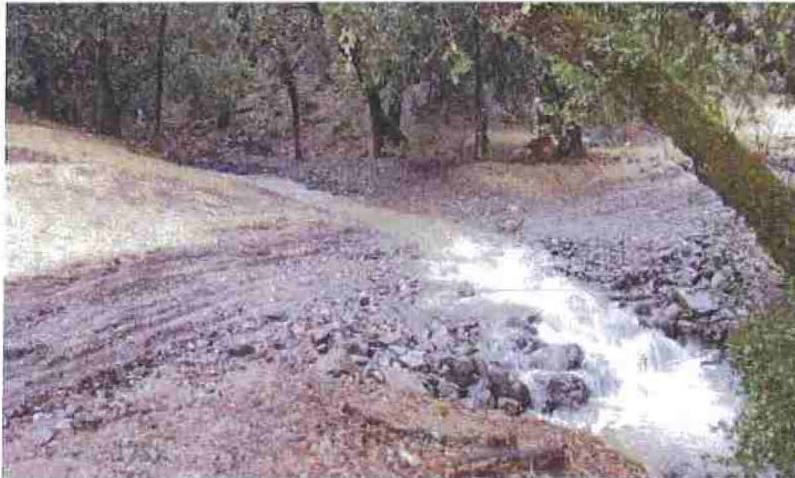


FIGURE 121E. Two weeks after this armored fill was constructed, a storm flow event occurred and the structure maintained its function and integrity. The road approaches had not yet been compacted or surfaced with road rock.



FIGURE 121F. The same armored fill as it appeared after the first winter flood flows. No maintenance was required to reopen the road. It is also clear that no stream diversion is possible at this stream crossing site, and the volume of fill within the crossing has been reduced to the minimum amount needed to maintain a relatively smooth driving surface on this low volume road.

HANDBOOK FOR FOREST, RANCH AND RURAL ROADS

BMP: Rolling Dip

- Rolling dips are drainage structures designed to capture and discharge surface water collected on road surfaces and in inside ditches at a specific location.
- The road shall dip into and out of the rolling dip to eliminate the possibility of water flowing along the road surface or in an inside ditch to bypass the dip structure.
- The rolling dip shall be constructed with clean native materials.
- The rolling dips outlet may be armored to resist downcutting and erosion.
- Do not discharge rolling dips into swales that show signs of instability or active landsliding.
- If the rolling dip is designed to divert both road surface and ditch runoff, block the down-road ditch with compacted fill.

BMP: Rocked Rolling Dip

- Rocked Rolling dips are drainage structures designed to capture and discharge surface water collected on road surfaces and in inside ditches at a specific location.
- The road shall dip into and out of the rolling dip to eliminate the possibility of water flowing along the road surface or in an inside ditch to bypass the dip structure.
- The rocked rolling dips inlet and outlet shall be armored to resist downcutting and erosion.
- The entire length of the rocked rolling dip shall be rock armored to a minimum of 5-feet from the centerline of the dip.
- If a keyway is necessary, the rocked rolling dip keyway shall be constructed at the base of the dip and shall be of sufficient size, depth, and length to support materials used in the rocked rolling dip construction back up to the road crossing interface.
- Do not discharge rolling dips into swales that show signs of instability or active landsliding.
- If the rolling dip is designed to divert both road surface and ditch runoff, block the down-road ditch with compacted fill.
- The rolling dip must be drivable and not significantly inhibit traffic and road use.

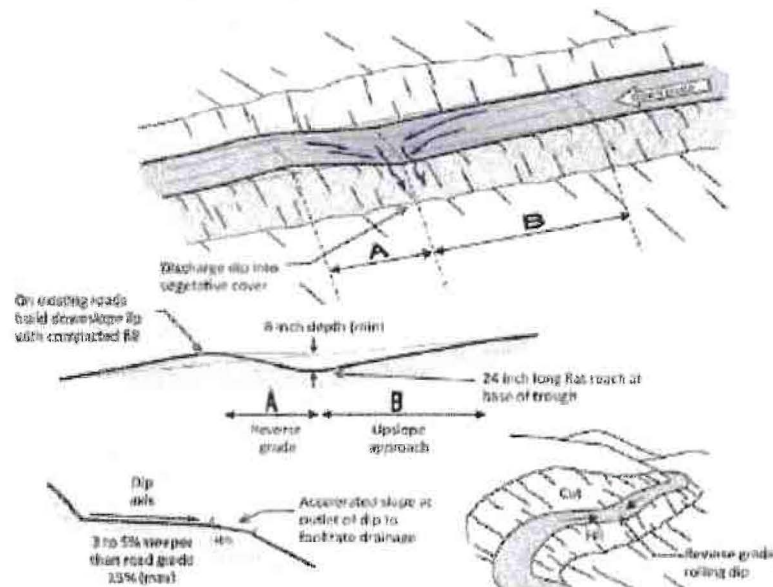


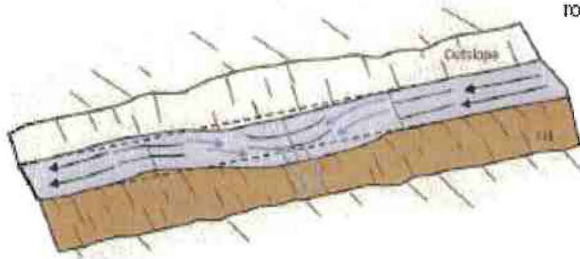
FIGURE 34. A classic Type I rolling dip, where the excavated up-road approach (B) to the rolling dip is several percent steeper than the approaching road and extends for 60 to 80 feet to the dip axis. The lower side of the structure reverses grade (A) over approximately 15 feet or more, and then falls down to rejoin the original road grade. The dip must be deep enough that it is not obliterated by normal grading, but not so deep that it is difficult to negotiate or a hazard to normal traffic. The outward cross-slope of the dip axis should be 3% to 5% greater than the up-road grade (B) so it will drain properly. The dip axis should be out-sloped sufficiently to be self-cleaning, without triggering excessive downcutting or sediment deposition in the dip axis (Modified from: Best, 2013).

HANDBOOK FOR FOREST, RANCH AND RURAL ROADS

BMPs and Diagrams

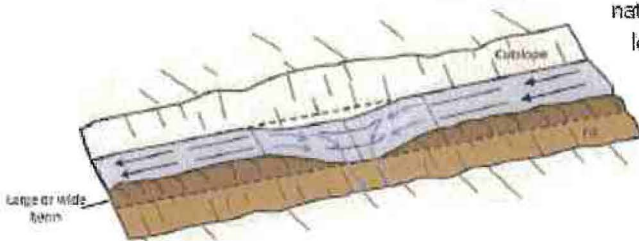
BMP: Rolling Dip and Rocked Rolling Dip (Cont.)

Type 1 Rolling Dip (Standard)



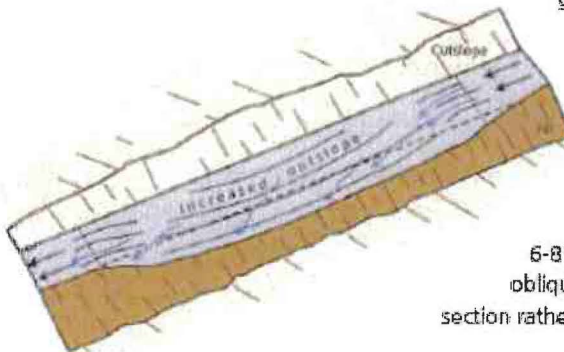
Type 1 rolling dips are used where road grades are less than about 12-14% and road runoff is not confined by a large through cut or berm. The axis of the dip should be perpendicular to the road alignment and sloped at 3-4% across the road tread. Steep roads will have longer and more abrupt dip dimensions to develop reverse grade through the dip axis. The road tread and/or the dip outlet can be rocked to protect against erosion, if needed.

Type 2 Rolling Dip (Through-cut or thick berm road reaches)



Type 2 rolling dips are constructed on roads up to 12-14% grade where there is a through cut up to 3 feet tall, or a wide or tall berm that otherwise blocks road drainage. The berm or native through cut material should be removed for the length of the dip, or at least through the axis of the dip, to the extent needed to provide for uninterrupted drainage onto the adjacent slope. The berm and slope material can be excavated and endhauled, or the material can be sidecast onto native slopes up to 45%, provided it will not enter a stream.

Type 3 Rolling Dip (Steep road grade)



Type 3 rolling dips are utilized where road grades are steeper than about 12% and it is not feasible to develop a reverse grade that will also allow passage of the design vehicle (steep road grades require more abrupt grade reversals that some vehicles may not be able to traverse without bottoming out).

Instead of relying on the dip's grade reversal to turn runoff off the roadbed, the road is built with an exaggerated outslope of 6-8% across the dip axis. Road runoff is deflected obliquely across the dip axis and is shed off the outsloped section rather than continuing down the steep road grade.

FIGURE 36. Rolling dip types

HANDBOOK FOR FOREST, RANCH AND RURAL ROADS

BMP: Ditch Relief Culvert

- Install ditch relief culverts at an oblique (typically 30 degree) angle to the road so that ditch flow is not forced to make a sharp angle turn to enter the pipe. On low gradient roads (<5%), where ditch flow is slow, ditch relief culverts can be installed at right angles to the road.
- Install ditch relief culverts (DRC) to outlet at, and drain to, the base of the fill.
- If it cannot be installed at the base of the fill, install the DRC with a grade steeper than the inboard ditch draining to the culvert inlet, and install a downspout on the outlet to carry the culverted flow to the base of the fillslope.
- Downspouts longer than 20 feet should be secured to the hillslope for stability.
- Ditch relief culverts should not carry excessive flow such that downcutting of the ditchline or gullying below the outlet occur.
- Do not discharge flows from ditch relief culverts onto unstable fill or active landslides.
- If the ditch is on an insloped or crowned road, consider using outsloping to drain the road surface. The ditch and the ditch relief culvert would then convey only spring flow from the cutbanks and hillslope runoff, and not turbid runoff from the road surface.

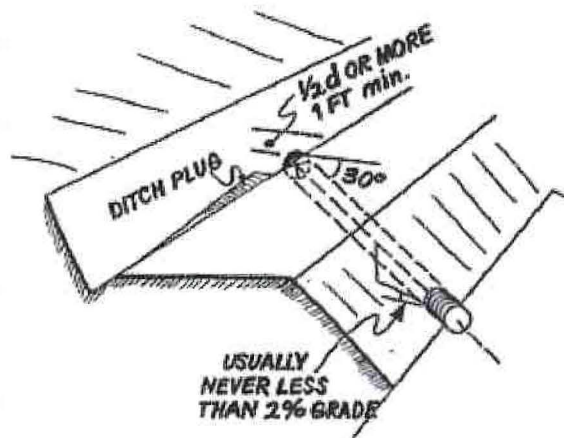
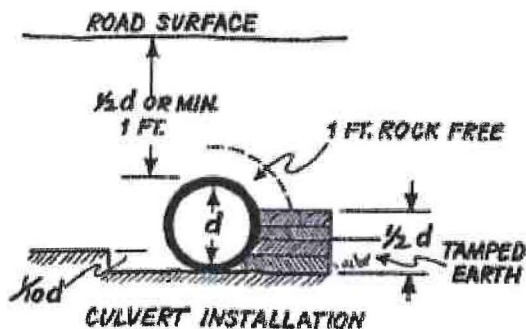


FIGURE 48. The elements of a properly installed ditch relief culvert. The culvert is angled at about 30 degrees to the road alignment to help capture flow and prevent culvert plugging or erosion of the inlet area. It is set at the base of the fill (ideally) or with a grade slightly steeper than the grade of the contributing ditch (but never with a grade less than 2 percent) (USDA-SCS, 1983). At a minimum, the grade of the ditch relief culvert should be sufficient to prevent sediment accumulation at the inlet or deposition within the culvert itself (it should be self-cleaning) (USDA-SCS, 1983).



HANDBOOK FOR FOREST, RANCH AND RURAL ROADS

BMP: Ditch Relief Culvert (Cont.)



FIGURE 39.

Waterbars are often used to drain surface runoff from seasonal, unsurfaced roads. Because they are easily broken down by vehicles, waterbars are only used on unsurfaced roads where there is little or no wet weather traffic. In this photo, a waterbar and ditch relief culvert are used to drain all road surface and ditch runoff from the insloped road prism.

HANDBOOK FOR FOREST, RANCH AND RURAL ROADS

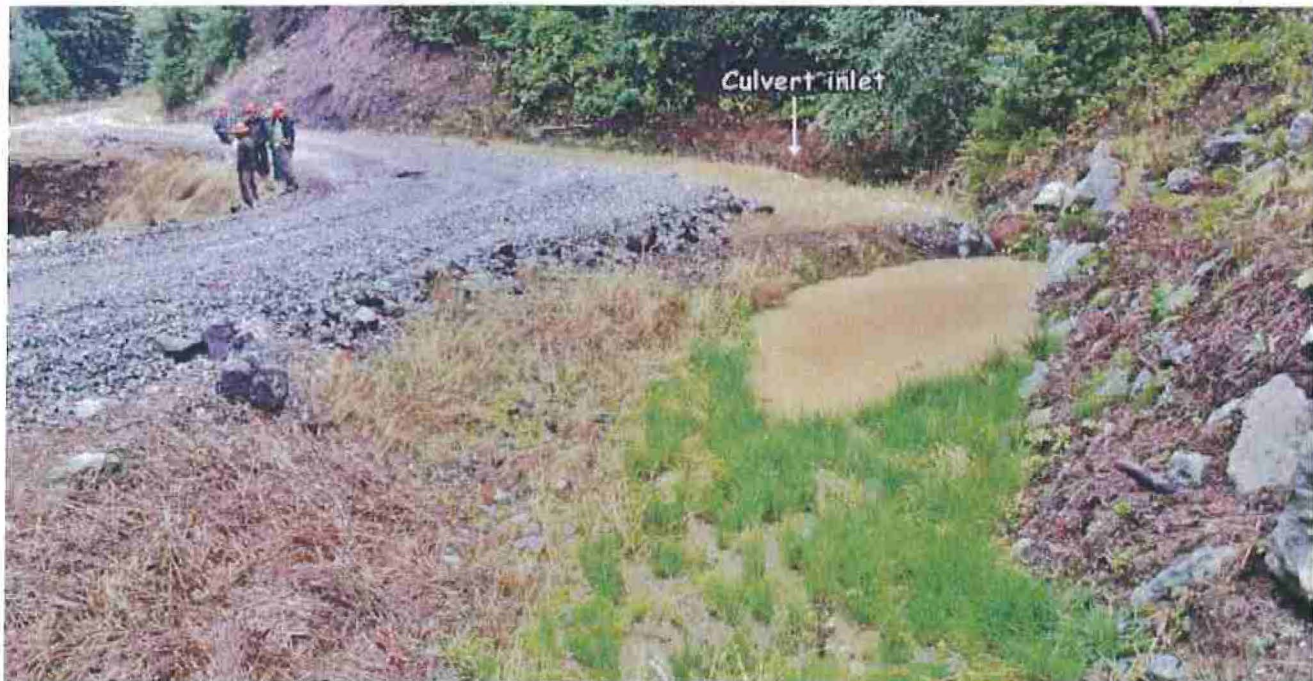


FIGURE 238. *Traffic and surface runoff from graveled roads often produces surface erosion, turbid runoff and fine sediment transport that can be delivered to streams. Where ditches can't be eliminated, sediment traps and roadside settling basins can be installed to capture and remove most of the eroded sediment. This settling basin has been constructed along the inside ditch just before a stream crossing culvert inlet (see arrow). Eroded sediment from the road and ditch are deposited in the basin before flow is released to the stream. Fine sediments have filled about 1/3 of this basin and vegetation is now growing. Sediment basins require periodic maintenance to maintain their storage capacity.*

HANDBOOK FOR FOREST, RANCH AND RURAL ROADS

BMPs and Diagrams

BMP: Inlet and Outlet Armoring

- Inlets of culverts and associate fills shall be protected with rock armoring that extends at least as high as the top of the culvert.
- Outlets of culverts shall be provided a rocked energy dissipater at the outfall of the culvert.
- Outlets of culverts and associate fills shall be protected with rock armoring that extends at least as high as the top of the culvert if road fill sloughing into channel can occur.
- Prior to inlet and outlet rocking, the inlet and outlets shall be prepared. Preparation will include removal of vegetation and stored materials from the inlet and outlet.
- Inlets may require construction of an inlet basin.
- Slopes at the outlet should be shaped to a 2:1 or natural slope prior to placing rock armor.
- Rock used at culvert inlets and outlets should be a matrix of various sized rocks and rip-rap that range from a 3" dia. to a 2' dia.
- The largest rocks should be places at the base of the culvert or fill. Incrementally smaller rocks shall be placed over the larger rocks at the armoring extend up the slope. Voids and spaces shall be back filled with smaller gravels and rocks.

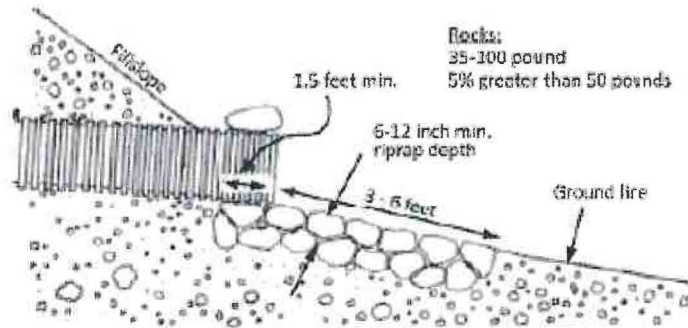


FIGURE 107A. Riprap armor at culvert outlet (Modified from: Keller et al., 2011).

HANDBOOK FOR FOREST, RANCH AND RURAL ROADS



FIGURE 107B. Riprap armor at culvert inlet (Keller and Sherar, 2003).

File Original with DWR

State of California

Well Completion Report

Refer to Instruction Pamphlet
No. e049954

DWR Use Only - Do Not Fill In

State Well Number/Site Number	
Latitude	Longitude
APN/TRS/Other	

Page _____ of _____

Owner's Well Number _____

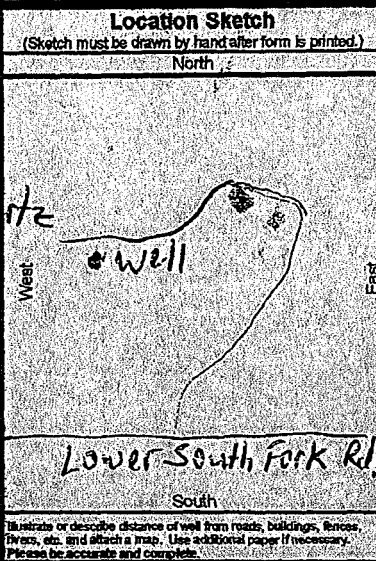
Date Work Began _____ Date Work Ended _____

Local Permit Agency Humboldt County Env. Health Dept.

Permit Number _____ Permit Date _____

Geologic Log		
Orientation	Drilling Method	Drilling Fluid
<input checked="" type="radio"/> Vertical	<input checked="" type="radio"/> Mud Rotary	Bentonite
<input type="radio"/> Horizontal	<input type="radio"/> Angle	Specify
Depth from Surface	Feet to	Feet
Description		
0	2	Brown Topsoil
2	8	Gravel & Clay
8	25	Hard Grey Shale
25	45	Grey Silty Clay
45	55	Brown Silty Sand
55	75	Grey Hard Shale
75	85	Grey Silty Sand
85	100	Hard Grey Shale
100	125	Grey Silty Clay
125	160	Hard Grey Shale
160	175	Grey Silty & Anhyd Shale
175	200	Grey Shale
200	210	Grey Silty Shale
210	220	Grey Silty Sand
220	240	Grey, Black Sand with Quartz
Total Depth of Boring <u>240</u> Feet		
Total Depth of Completed Well <u>230</u> Feet		

Well Owner	
Name	Phillip O Conner
Mailing Address	670 K Street
City	Arcata
State	CA Zip 95521
Well Location	
Address	Lower South Fork Road
City	Hyampom
County	Humboldt
Latitude	Den. Min. Sec. N Longitude
Den. Min. Sec. W	
Datum	Decimal Lat. Decimal Long.
APN Book	315 Page 271 Parcel 0060
Township	Range Section



Activity
<input checked="" type="radio"/> New Well
<input type="radio"/> Modification/Repair
<input type="radio"/> Deepen
<input type="radio"/> Other
<input type="radio"/> Destroy
Describe procedures and materials under "GEOLOGIC LOG"
Planned Uses
<input checked="" type="checkbox"/> Water Supply
<input checked="" type="checkbox"/> Domestic <input type="checkbox"/> Public
<input checked="" type="checkbox"/> Irrigation <input type="checkbox"/> Industrial
<input type="radio"/> Cathodic Protection
<input type="radio"/> Dewatering
<input type="radio"/> Heat Exchange
<input type="radio"/> Injection
<input type="radio"/> Monitoring
<input type="radio"/> Remediation
<input type="radio"/> Sparging
<input type="radio"/> Test Well
<input type="radio"/> Vapor Extraction
<input type="radio"/> Other

Water Level and Yield of Completed Well	
Depth to first water	75 (Feet below surface)
Depth to Static	
Water Level	65' (Feet) Date Measured 12/1/20
Estimated Yield	5 (GPM) Test Type Pump
Test Length	4 (Hours) Total Drawdown (Feet)
*May not be representative of a well's long term yield.	

Casings								Annular Material		
Depth from Surface	Borehole Diameter	Type	Material	Wall Thickness	Outside Diameter	Screen Type	Slot Size	Depth from Surface	Fill	Description
Feet to Feet	(Inches)	Blank		(Inches)	(Inches)		(Inches)	Feet to Feet		
0	100	10"	PVC	SDR-21	1/4	5"		0	100	Bentonite Healed Plug
100	230	10"	Screen	SDR-21	1/4	5"	milled .050	100	230	Filter Pack Per Gravel

Attachments
<input type="checkbox"/> Geologic Log
<input type="checkbox"/> Well Construction Diagram
<input type="checkbox"/> Geophysical Log(s)
<input type="checkbox"/> Soil/Water Chemical Analyses
<input type="checkbox"/> Other
Attach additional information, if it exists.

Certification Statement	
I, the undersigned, certify that this report is complete and accurate to the best of my knowledge and belief.	
Name	Edward Mitchell Water Well Drilling
Address	7900 Multiple Ave, Eureka, CA 95503
City	Eureka
State	CA
Zip	95503
Signed	Edward Mitchell
Date Signed	12/2/20
C-57 License Number	303670

Willow Creek, California
Maple Creek Elementary, California

Leave now
Send directions to your phone

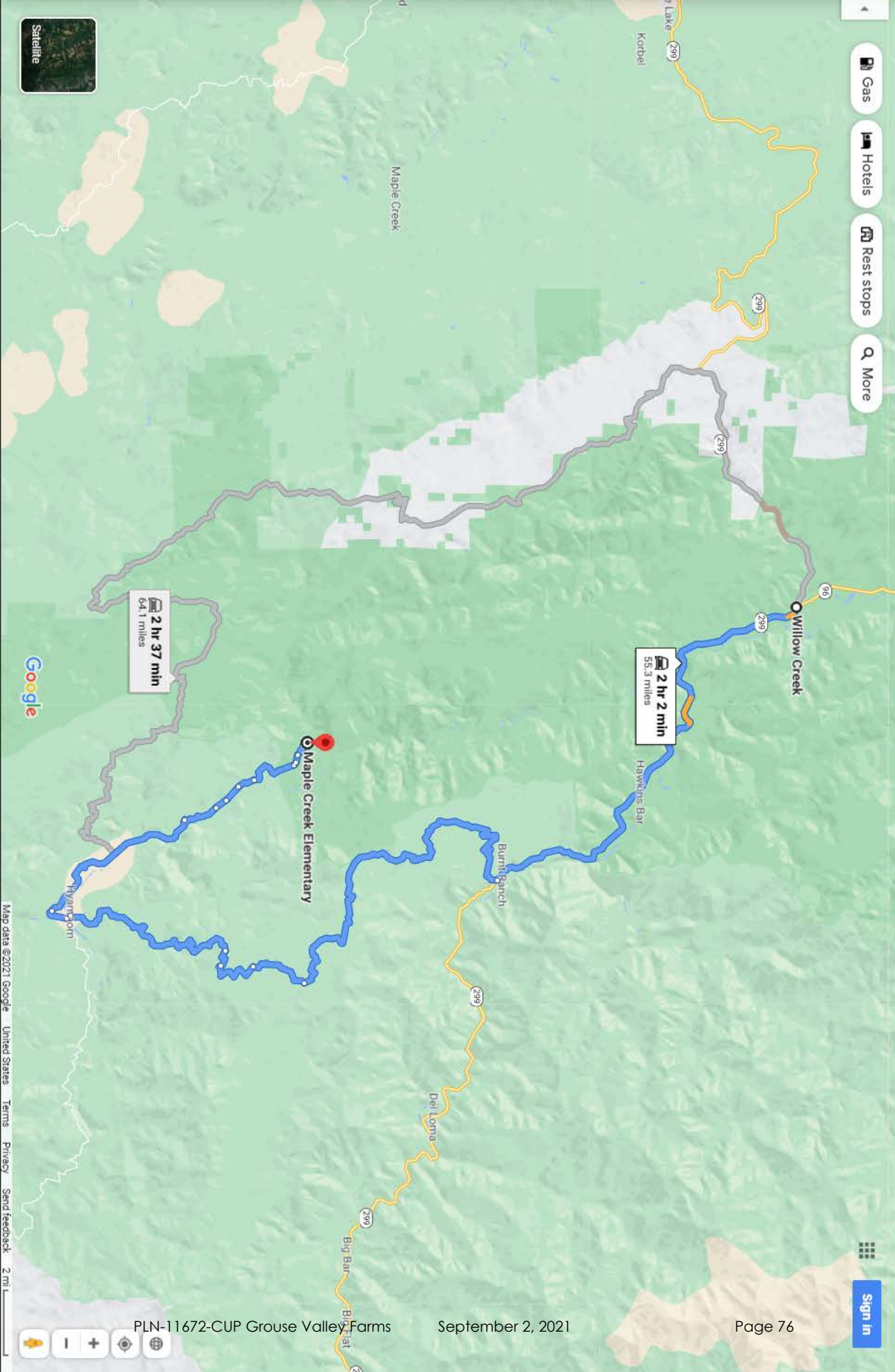
via CA-299 E and Underwood Mountain Rd
Fastest route
2 hr 2 min
55.3 miles

via CA-299 W
2 hr 37 min
64.1 miles

Explore Maple Creek Elementary

- Restaurants
- Hotels
- Gas stations
- Parking Lots
- More

- Gas
- Hotels
- Rest stops
- More



ATTACHMENT 4

REFERRAL AGENCY COMMENTS AND RECOMMENDATIONS

The project was referred to the following referral agencies for review and comment. Those agencies that provided written comments are checked off.

Referral Agency	Response	Recommendation	Location
Building Inspection Division	✓	Comments	Attached
Division Environmental Health	✓	Conditional Approval	Attached
Public Works, Land Use Division	✓	Comments	Attached
Cal Fire	✓	No Comments	
Northwest Information Center	✓	Further Study	On file and confidential
Tsnungwe Council	✓	Comments	On file and confidential
U.S. Forest Service (Six Rivers)	✓	Recommend Denial	Attached
Northern Humboldt Union School District	✓	Recommend Denial	Attached
California Department of Fish & Wildlife		No Comments	
County Counsel		No Response	
Humboldt County Sheriff		No Response	
Maple Creek School District		No Response	
Humboldt County Agricultural Commissioner		No Response	
Humboldt County District Attorney		No Response	
North Coast Unified Air Quality Management District		No Response	
North Coast Regional Water Quality Control Board		No response	
State Water Resources Control Board – Division of Water Rights		No Response	



**HUMBOLDT COUNTY
PLANNING AND BUILDING DEPARTMENT
CURRENT PLANNING DIVISION
3015 H STREET, EUREKA, CA 95501 ~ PHONE (707) 445-7541**



9/13/2017

PROJECT REFERRAL TO: Building Inspection Division

Project Referred To The Following Agencies:

Building Inspection Division, Public Works Land Use Division, Health and Human Services Environmental Health Division, County Counsel, CalFire, California Department of Fish And Wildlife, Northwest Information Center, Tsnungwe Council, Regional Water Quality Control Board, North Coast Unified Air Quality Management District, Humboldt County District Attorney, Humboldt County Agriculture Commissioner, California Division of Water Resources, Sheriff's Department, Maple Creek School District, Northern Humboldt Union School District

315-271-000

Applicant Name Grouse Valley Farms, Inc. **Key Parcel Number** 315-271-006-000

Application (APPS#) 11672 **Assigned Planner** Cannabis Planner (CPOD) (707) 445-7541 **Case Number(s)** CUP16-328

Please review the above project and provide comments with any recommended conditions of approval. To help us log your response accurately, please include a copy of this form with your correspondence.

Questions concerning this project may be directed to the assigned planner for this project between 8:30am and 5:30pm Monday through Friday.

County Zoning Ordinance allows up to 15 calendar days for a response. If no response or extension request is received by the response date, processing will proceed as proposed.

If this box is checked, please return large format maps with your response.

Return Response No Later Than 9/28/2017 Planning Commission Clerk
County of Humboldt Planning and Building Department
3015 H Street
Eureka, CA 95501
E-mail: PlanningClerk@co.humboldt.ca.us **Fax:** (707) 268-3792

We have reviewed the above application and recommend the following (please check one):

- Recommend Approval. The Department has no comment at this time.
- Recommend Conditional Approval. Suggested Conditions Attached.
- Applicant needs to submit additional information. List of items attached.
- Recommend Denial. Attach reasons for recommended denial.

Other Comments: _____

DATE: 12-8-17 PRINT NAME: Gustin Dunbar



COUNTY OF HUMBOLDT
PLANNING AND BUILDING DEPARTMENT
BUILDING DIVISION

3015 H STREET EUREKA CA 95501
PHONE: (707) 445-7245 FAX: (707) 445-7446

Building Division's Referral Comments for Cannabis Operations:

Application No.: 11672 (44986)
Parcel No.: 315-271-006
Case No.: CUP 16-328

The following comments apply to the proposed project, (check all that apply).

- Site/plot plan appears to be accurate.
- Submit revised site/plot plan showing all of the following items: all grading including ponds and roads, location of any water course including springs, all structure including size and use and all setbacks from the above stated to each other and property lines.
- Existing operation appears to have expanded, see comments: _____

- Existing structures used in the cannabis operation shall not to be used/occupied until all required permits have been obtained.
- Proposed new operation has already started.
- Recommend approval based on the condition that all required grading, building, plumbing electrical and mechanical permits and or Agricultural Exemption are obtained.
- Other Comments: See photos @ CUP 16-328 - folder 315-271-006
- show all creeks, streams, SMA's, setbacks to SMA's, tanks, structures, grading.

Name: Gustin Dunler

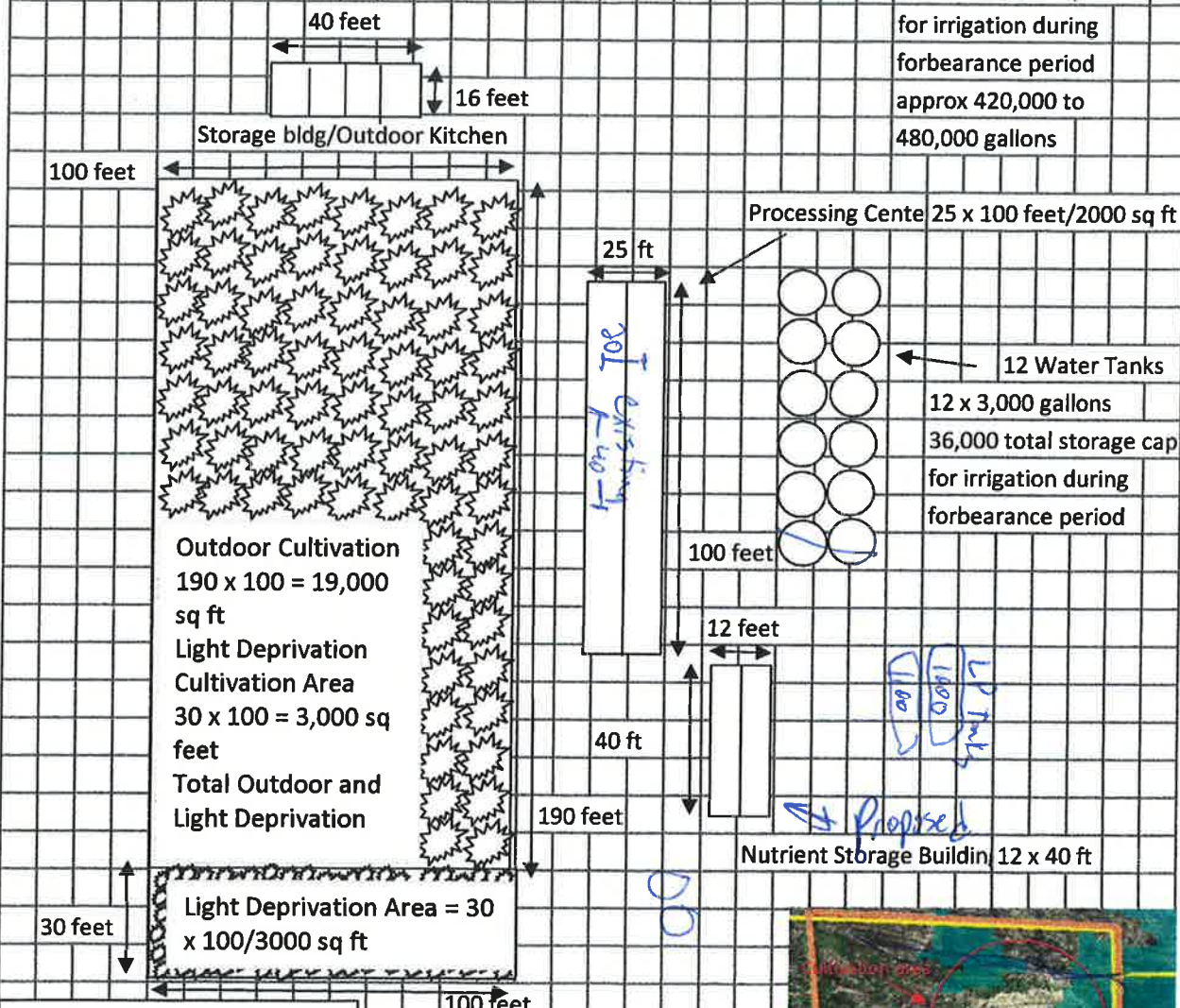
Date: 12-8-17

Note: Remember to take photographs and then save them to the Planning's case number. File location J, Current Planning, Projects, (CUP, SP, ZCC) Case number.

RECEIVED
JUN 29 2017

ATTENTION: NOT TO SCALE
For Illustrative Purposes Only

Pond - Additional Water Storage
rain catchment system
for irrigation during
forbearance period
approx 420,000 to
480,000 gallons



- LEGEND**
- Outdoor Plants (120 total)
 - Light Deprivation Plants (800-1000 total)
 - Water Tanks (3,000 g)

Grouse Valley Farms, Inc., # C3931475

Commercial Cannabis Permit Application

PLOT PLAN - SHEET 2



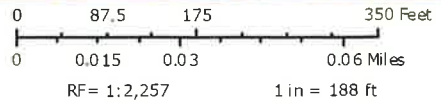


315-271-006

Humboldt County Planning and Building Department

- | | | |
|---------------------|---------------------------|----------------------|
| Highways and Roads | — Private or Unclassified | --- Intermittent |
| Principal Arterials | — Major River or Stream | --- Subsurface |
| Minor Arterials | Blue Line Streams | --- City Boundary |
| Major Collectors | --- Perennial 1-3 | --- Counties |
| Minor Collectors | --- Perennial >4 | --- Parcels (Owners) |
| Local Roads | | |

PLN-11672-CUP Grouse Valley Farms



Printed: December 7, 2017

Web AppBuilder 2.0 for ArcGIS

Map Disclaimer:

While every effort has been made to assure the accuracy of this information, it should be understood that it does not have the force & effect of law, rule, or regulation. Should any difference or error occur, the law will take precedence.

Source: NRCS, Humboldt County GIS, Healthy Rural Roads, Esri, HERE, DeLorme, MapmyIndia, © OpenStreetMap contributors, and the GIS user community, Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, FRAP, FEMA, USGS

30 X 100



↖ P7 Nutrient Storage Area ↗



Containers not shown

not shown

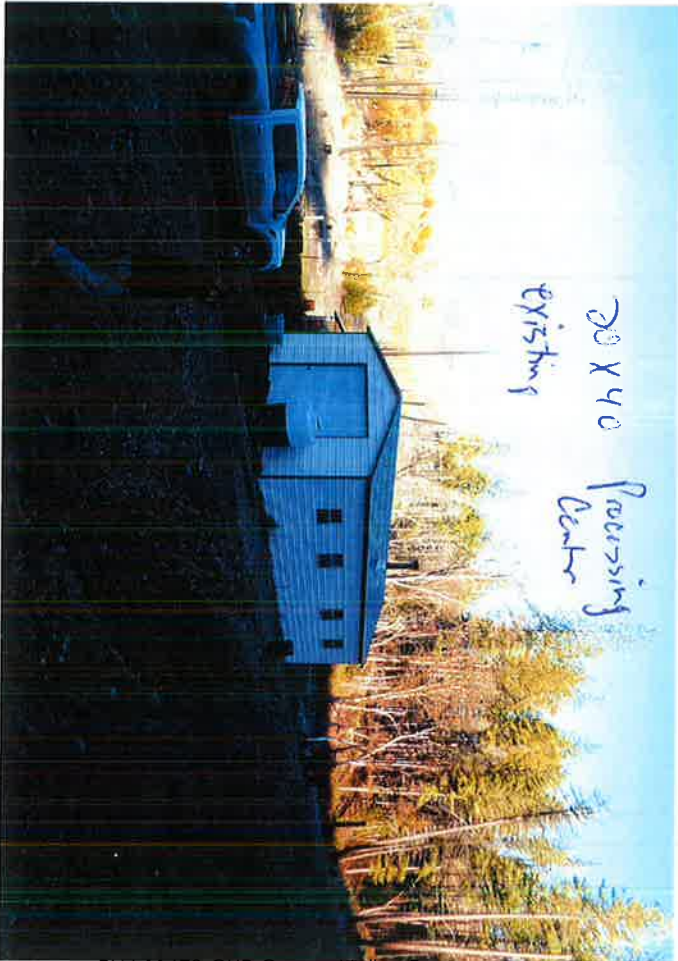
12/7/17 315-271-006



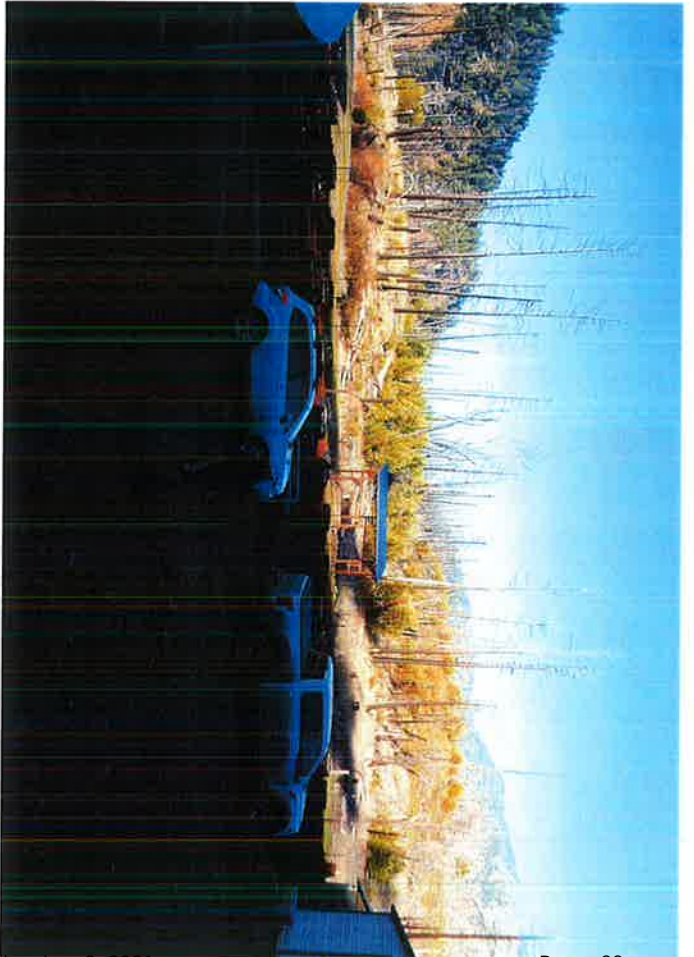
(10) Tanks



Hot Steam

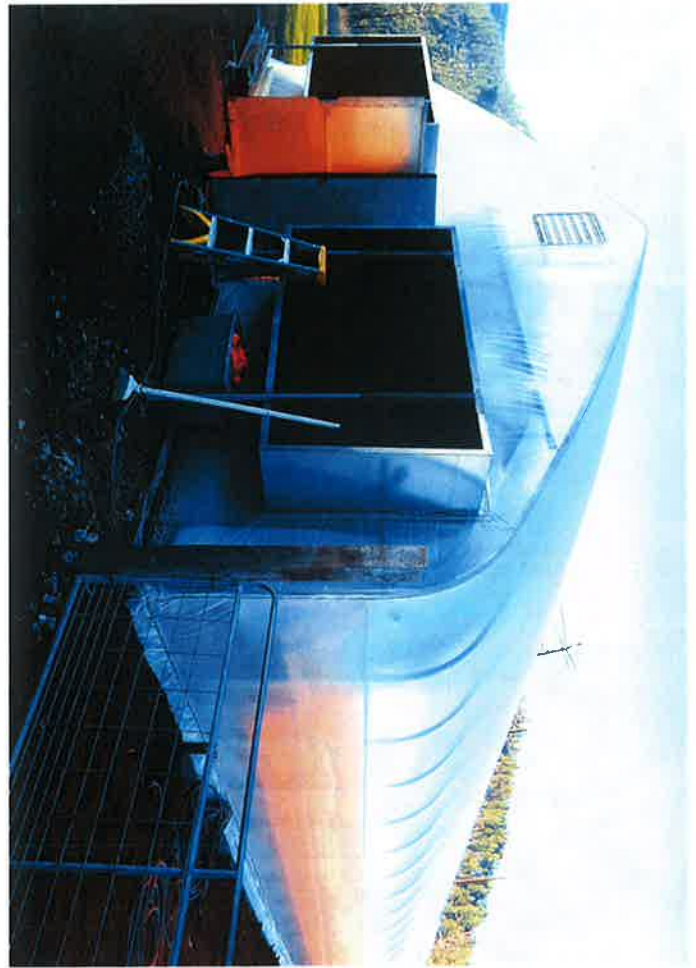


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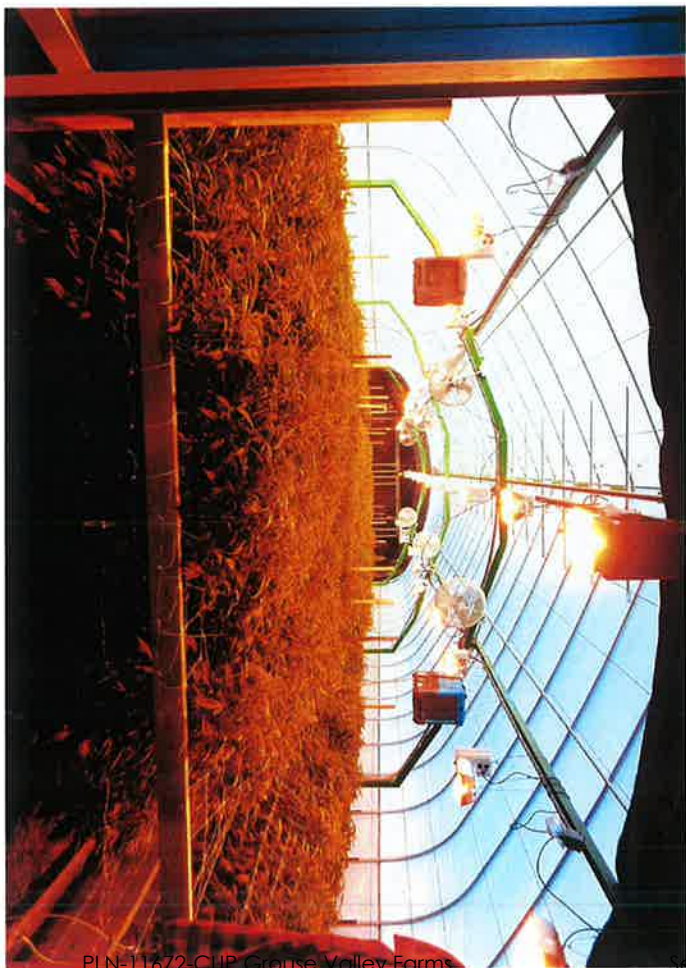


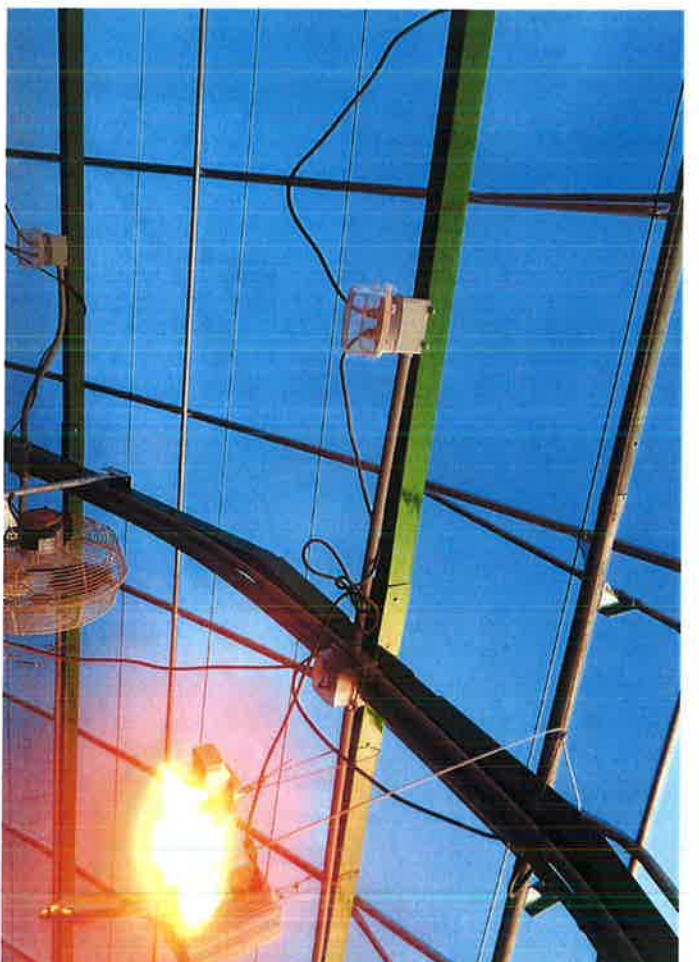
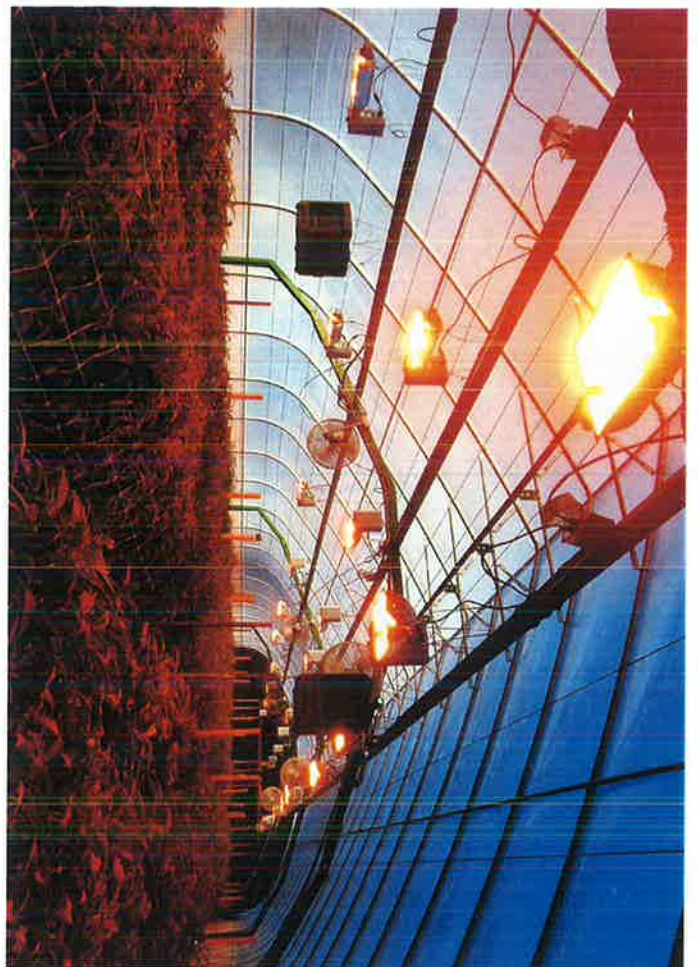
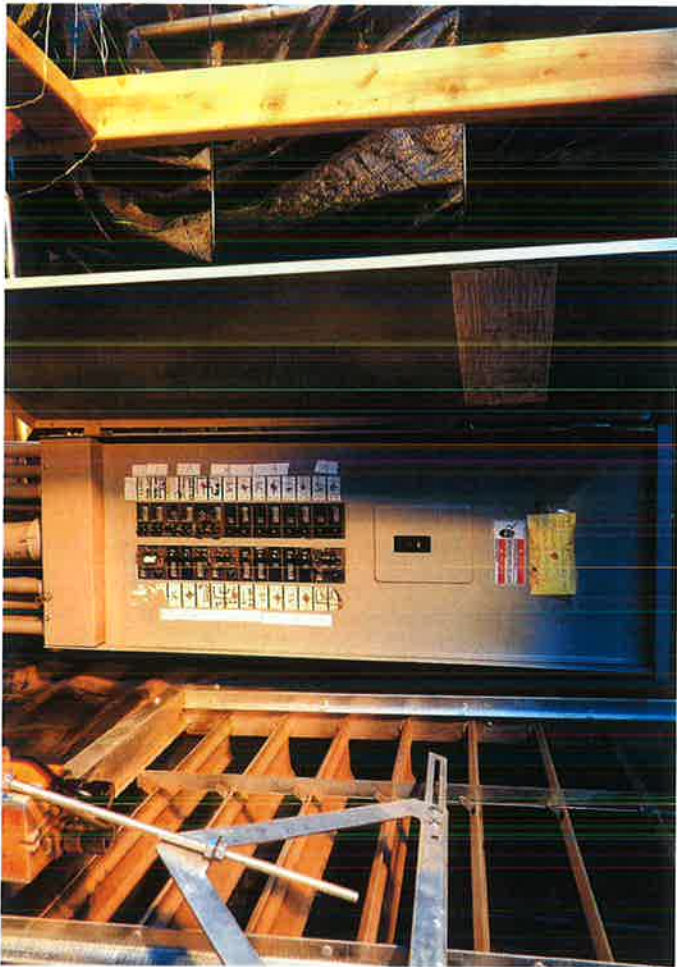
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12/17/17 315-271-0066



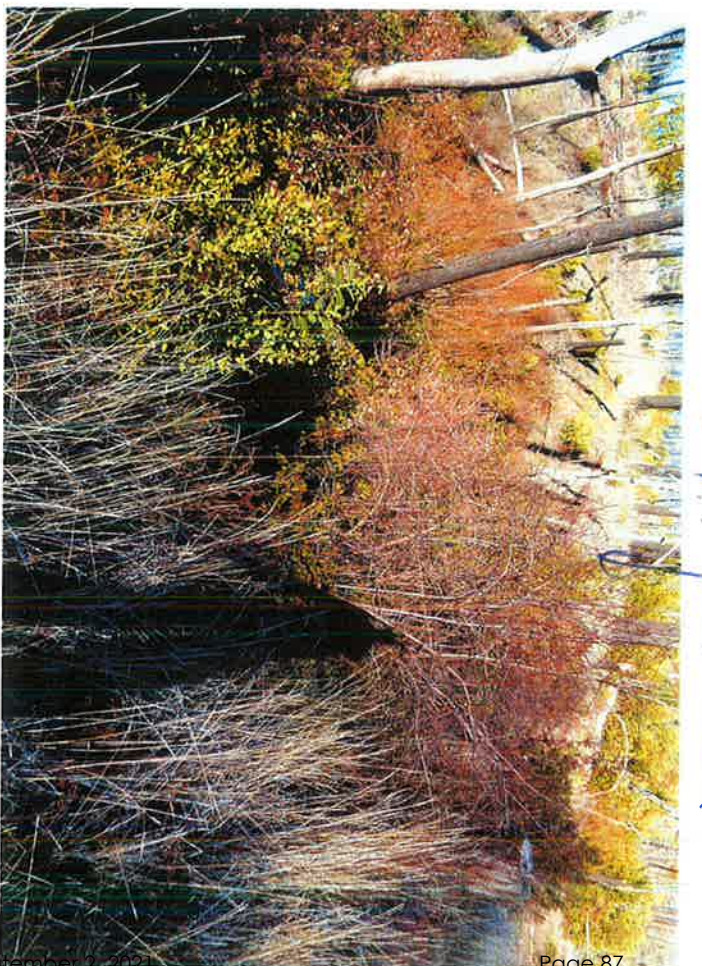
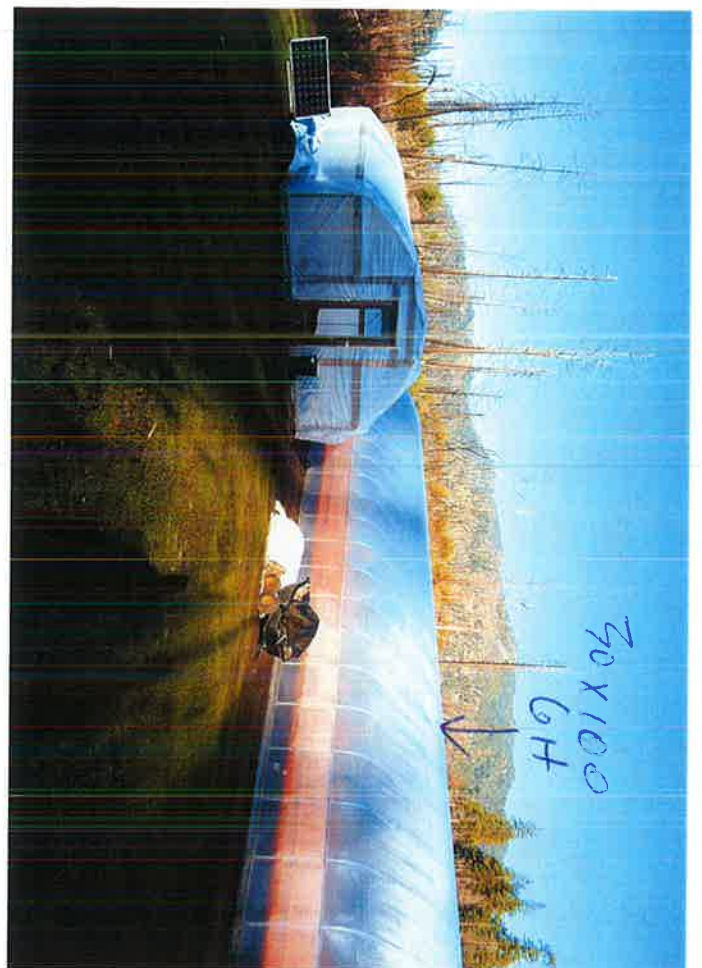
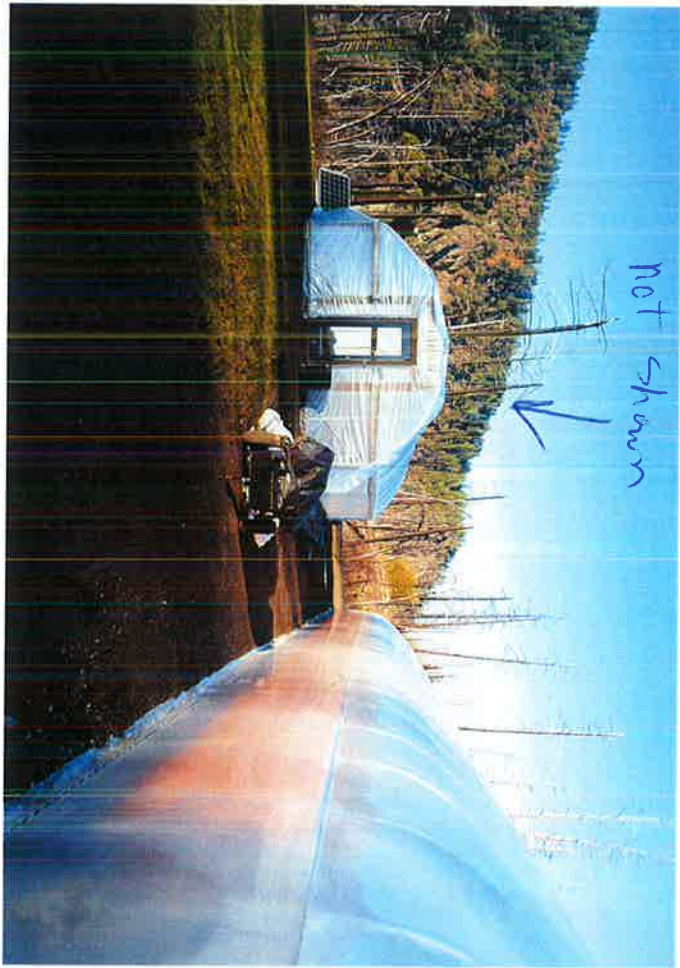
30 X 100



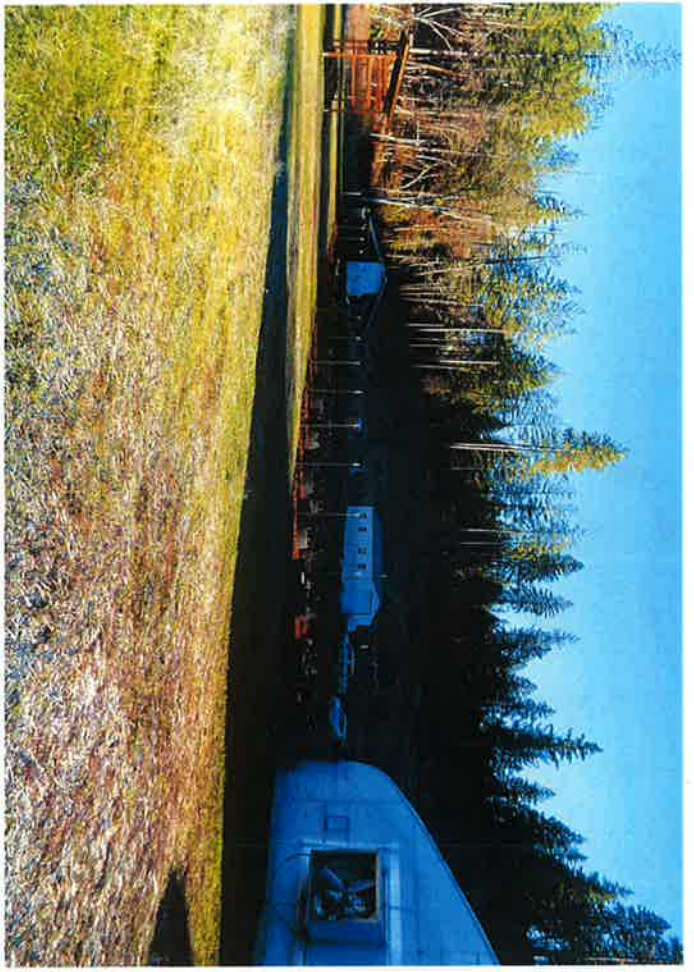
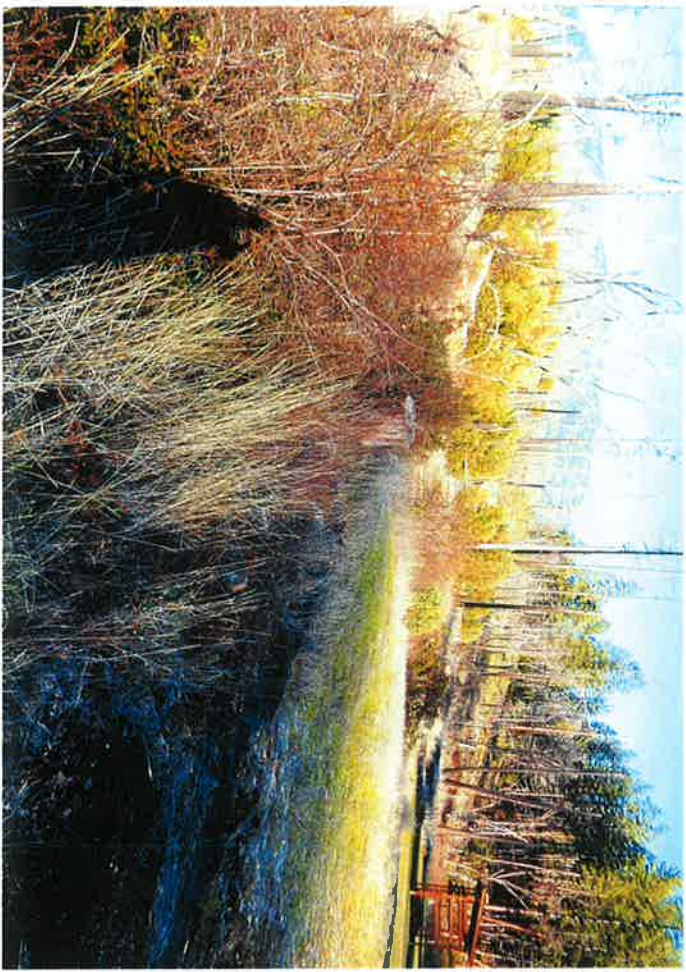


10/7/17 315-271-006 30 x 100 6H

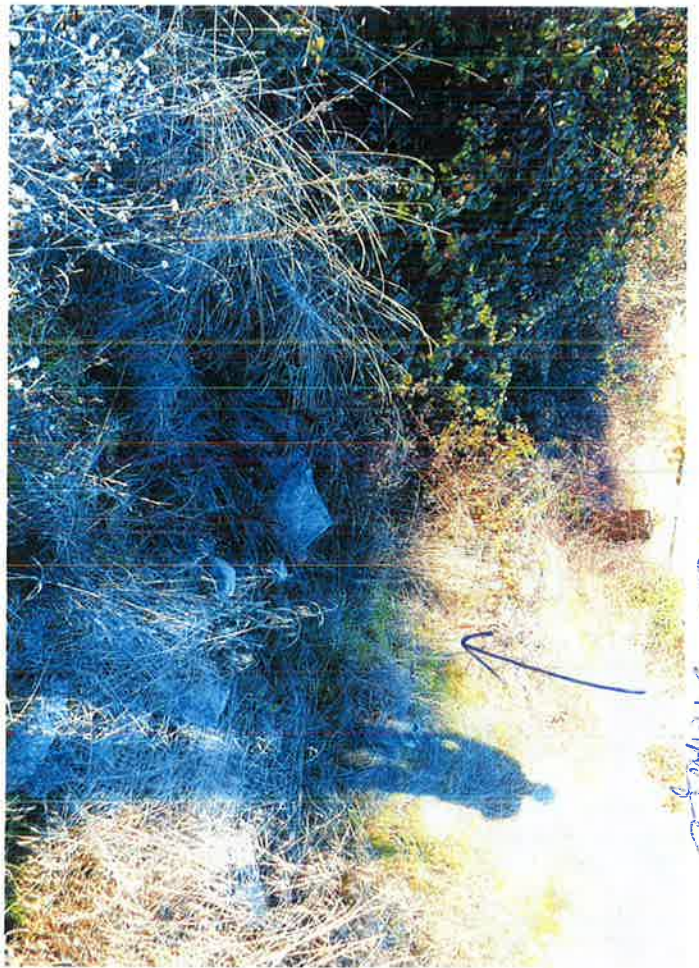
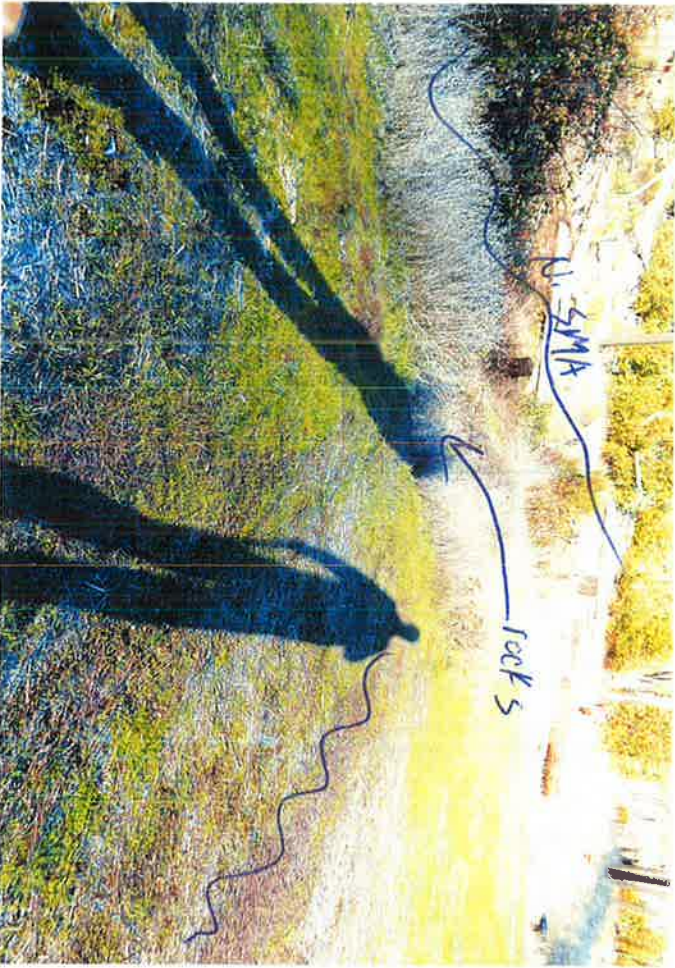




10/7/17 315-271-006
N. - SMK



N. SMA



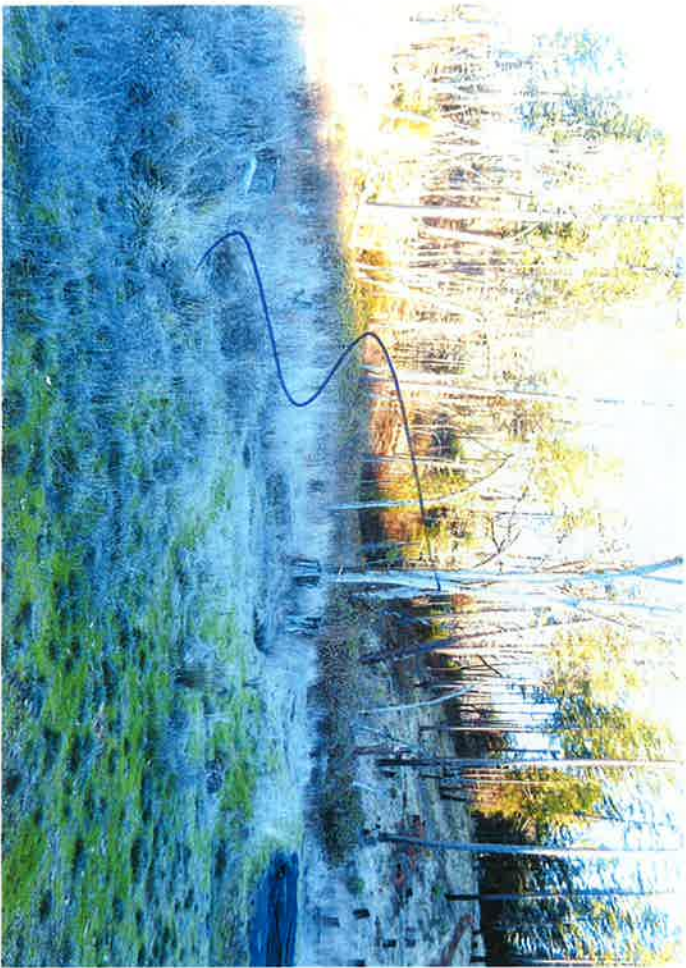
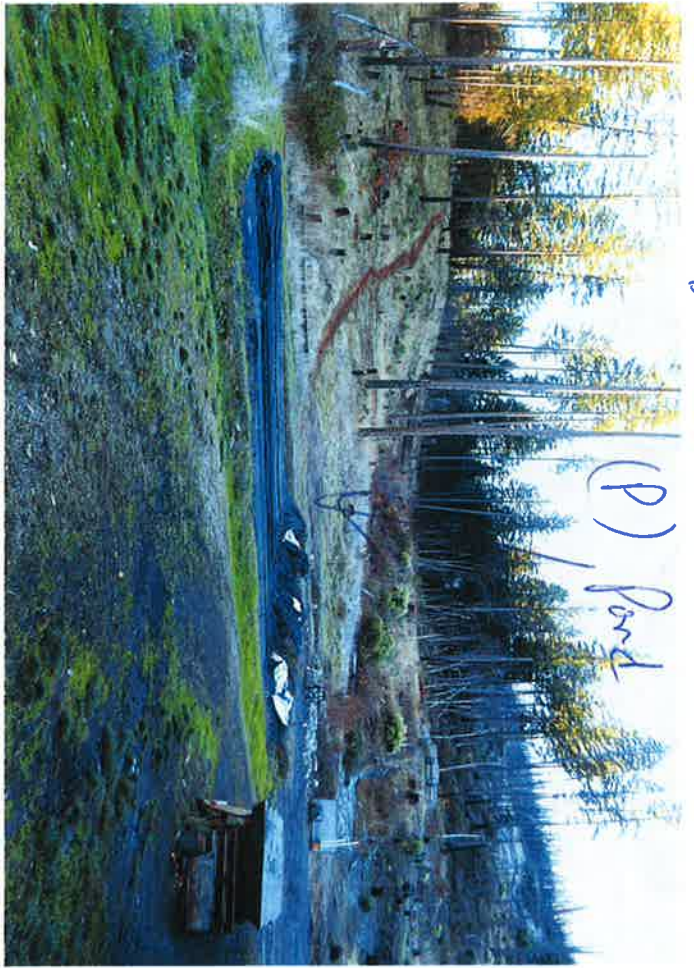
Rock Disposal

Not Shown



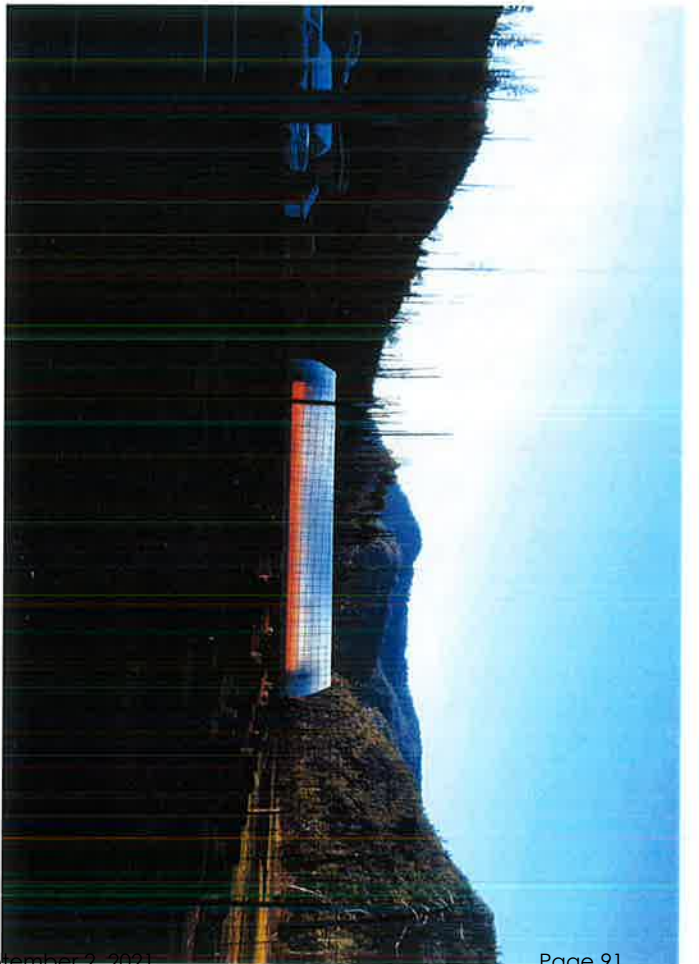
Budders not shown

(P) Pond



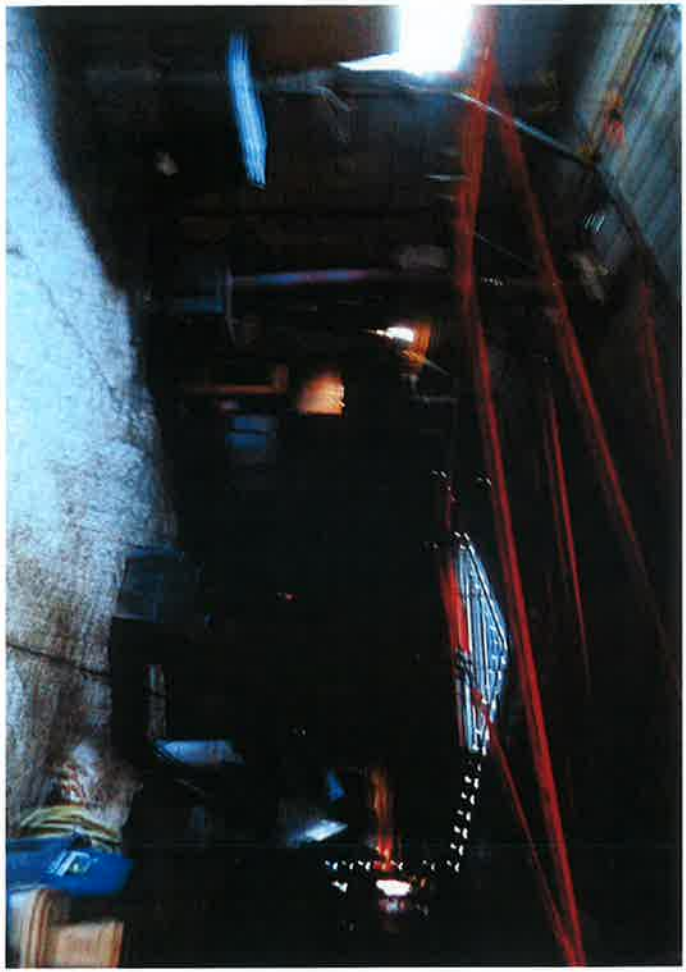
10/7/17 315-271-006

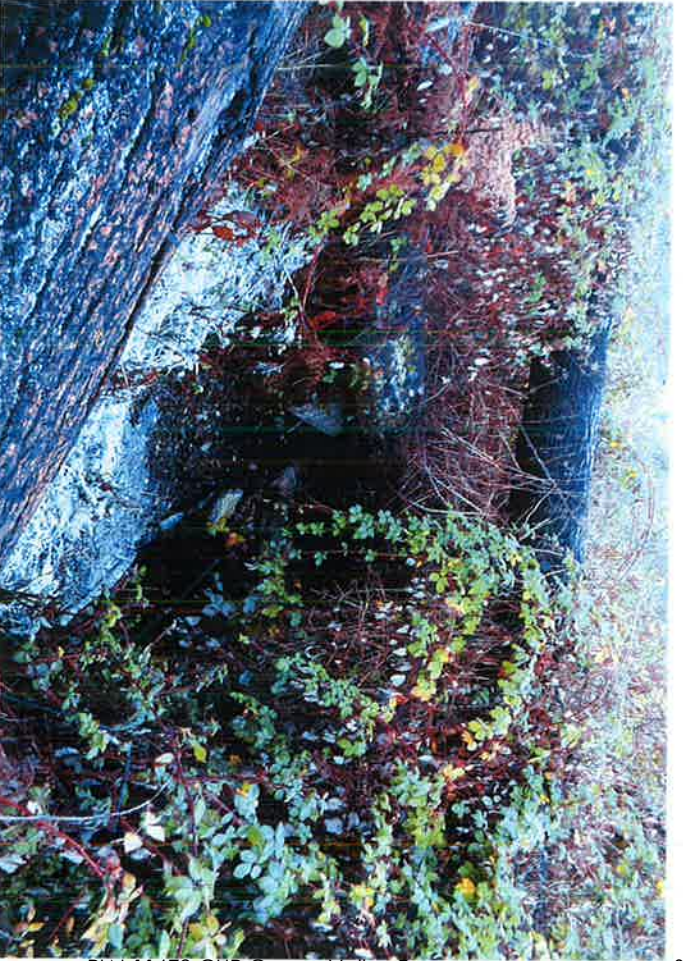
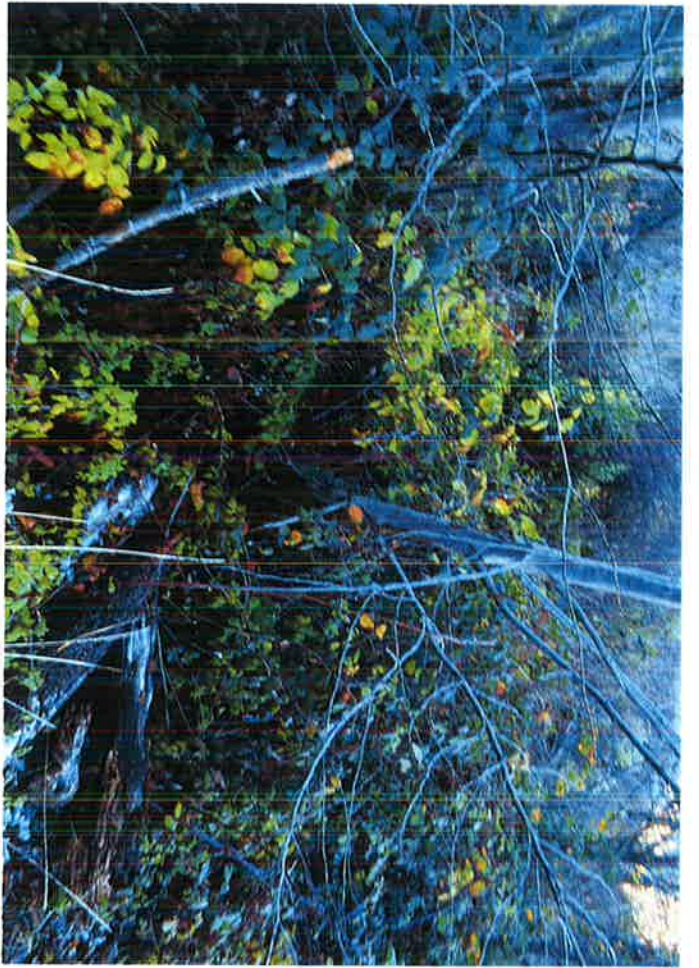
Storage / outdoor kitchen



Storage/Kitchen

12/7/17 315-271-006
20x40 Processing





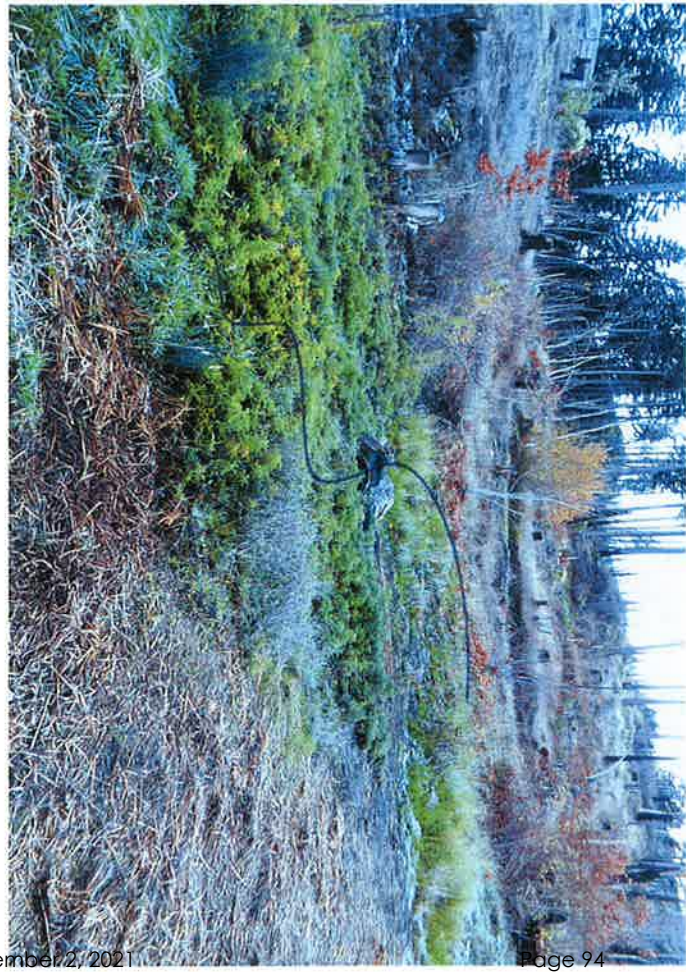
(10) Tanks

LP Tanks
nest stream

POD / Spring

SMA

12/7/17 315-271-006



Wetland?

SMH not shown



10/11/17 315-271-006 SMA not shown



Contains not shown





HUMBOLDT COUNTY
PLANNING AND BUILDING DEPARTMENT
CURRENT PLANNING DIVISION
3015 H STREET, EUREKA, CA 95501 ~ PHONE (707) 445-7541



DEH received
9-18-17

17/18-0713

PROJECT REFERRAL TO: Health and Human Services Environmental Health Division

Project Referred To The Following Agencies:

Building Inspection Division, Public Works Land Use Division, Health and Human Services Environmental Health Division, County Counsel, CalFire, California Department of Fish And Wildlife, Northwest Information Center, Tsungwe Council, Regional Water Quality Control Board, North Coast Unified Air Quality Management District, Humboldt County District Attorney, Humboldt County Agriculture Commissioner, California Division of Water Resources, Sheriff's Department, Maple Creek School District, Northern Humboldt Union School District

Applicant Name Grouse Valley Farms, Inc. **Key Parcel Number** 315-271-006-000

Application (APPS#) 11672 **Assigned Planner** Cannabis Planner (CPOD) (707) 445-7541 **Case Number(s)** CUP16-328

Please review the above project and provide comments with any recommended conditions of approval. To help us log your response accurately, please include a copy of this form with your correspondence.

Questions concerning this project may be directed to the assigned planner for this project between 8:30am and 5:30pm Monday through Friday.

County Zoning Ordinance allows up to 15 calendar days for a response. If no response or extension request is received by the response date, processing will proceed as proposed.

If this box is checked, please return large format maps with your response.

Return Response No Later Than Planning Commission Clerk
County of Humboldt Planning and Building Department
3015 H Street
Eureka, CA 95501
E-mail: PlanningClerk@co.humboldt.ca.us **Fax:** (707) 268-3792

We have reviewed the above application and recommend the following:

Conditional Approval

DISTRIBUTED
4-5-18

Comments:

DEH recommends approval with the following conditions:

1. **No processing can be approved** until an acceptable site suitability report can establish potential for onsite waste treatment system (OWTS) adequate to support proposed staffing.
2. The approval of an unpermitted OWTS described in the provided Cultivation and Operations plan is **dependent upon demonstration of site suitability** from a Qualified Professional.
3. **An invoice, or equivalent documentation, is provided to DEH** to confirm the continual use of portable toilets to serve the needs of cultivation staff prior to reissuance of annual permit.

*Please provide a copy of the written Approved Compliance Agreement to DEH per HCC §313-55.4.11

*This review and recommendation is for the Land Use aspects of the planning project and does not include or imply compliance with all DEH programs. Although DEH recommends the approval of the Planning project, Solid Waste and HazMat Program requirements need to be addressed directly with staff from those programs.





DEPARTMENT OF PUBLIC WORKS
COUNTY OF HUMBOLDT

MAILING ADDRESS: 1106 SECOND STREET, EUREKA, CA 95501-0579
AREA CODE 707

ARCATA-EUREKA AIRPORT TERMINAL
MCKINLEYVILLE
FAX 839-3599

PUBLIC WORKS BUILDING
SECOND & L ST., EUREKA
FAX 445-7409

CLARK COMPLEX
HARRIS & H ST., EUREKA
FAX 445-7388

AVIATION 839-5401

ADMINISTRATION 445-7491
BUSINESS 445-7652
ENGINEERING 445-7377
FACILITY MAINTENANCE 445-7493

NATURAL RESOURCES 445-7741
NATURAL RESOURCES PLANNING 267-9540
PARKS 445-7651
ROADS & EQUIPMENT MAINTENANCE 445-7421

LAND USE 445-7208

LAND USE DIVISION INTEROFFICE MEMORANDUM

TO: Michelle Nielsen, Senior Planner, Planning & Building Department

FROM: Kenneth M. Freed, Assistant Engineer *KMF*

DATE: 03-23-2018

RE:

Applicant Name	Grouse Valley Farms, Inc.
APN	315-271-006
APPS#	11672 CUP16-328

The Department has reviewed the above project and has the following comments:

- The Department's recommended conditions of approval are attached as **Exhibit "A"**.
- Additional information identified on **Exhibit "B"** is required before the Department can review the project. **Please re-refer the project to the Department when all of the requested information has been provided.**
- Additional review is required by Planning & Building staff for the items on **Exhibit "C"**. **No re-refer is required.**
- Road Evaluation Reports(s)* are required; See **Exhibit "D"**. **No re-refer is required.**

*Note: Exhibits are attached as necessary.

Additional comments/notes:

Review item 2 on Exhibit "C"

// END //

Additional Review is Required by Planning & Building Staff

APPS # 11672

All of the following questions are to be answered by Planning and Building Department staff. No further involvement with the Department of Public Works is required for these items; however Public Works staff is available to answer any questions that may arise.

- 1. ROADS – PART 1. Does the project takes access from a series of non-county maintained roads that connect directly to a State Highway (36, 96, 101, 255, 299, etc...)?

[] YES [] NO

If YES, the project does not need to be referred to the Department. Include the following requirement:

All recommendations in the Road Evaluation Report(s) for non-county maintained road(s) shall be constructed/implemented to the satisfaction of the Planning & Building Department prior to commencing operations, final sign-off for a building permit, or approval for a business license. A grading permit may be required; check with the Building Division of the Planning and Building Department for any permit requirements.

- 2. ROADS – PART 2. Does the project takes access from a series of non-county maintained roads that connect directly to a Caltrans State Highway, US Forest Service Road, BLM Road, or a City road?

[] YES [] NO

If YES, the Department recommends that prior to the project presented to the Planning Commission or Zoning Administrator, that the project should be referred to the affected road agency(ies).

- 3. ROADS – PART 3. Does the project take access or use a county maintained road that does not have a centerline stripe or is not on the "approved list" of known category 4 roads? [] YES [] NO

If YES, a Road Evaluation Report must be done for the County road(s) that do not have a centerline stripe or are not on the "approved" list. The project along with the road evaluation report(s) for the County maintained road(s) must be referred to Public Works for review to ensure that the Department supports the findings in the report. If the road is on the "not approved" list, then Part B of the Road Evaluation Report form must be completed.

- 4. Deferred Subdivision Improvements. Does the project have deferred subdivision improvements? [] YES [] NO

How to check: Method 1: Planning and Building Department staff review the legal description for the subject property in the deed. If the deed reads similar to "Parcel ___ of Parcel Map No. ___" then there may be deferred subdivision improvements; further research will be needed. Method 2: Planning and Building Department staff need to review the title report(s) for the subject property(ies) to see if a "Notice of Construction Requirements" document is listed. If the document is listed, then there are deferred subdivision improvements.

If YES then the subject property has deferred subdivision improvements. The project cannot be presented to the Zoning Administrator or the Planning Commission until the deferred subdivision improvements are completed. The applicant should be directed to the Department of Public Works regarding the deferred subdivision improvements.

- 5. AIRPORT- PART 1 (ALUCP). Is the project located within Airport Land Use Compatibility Plan (ALUCP) Zone A, B, B1, B2, or B3 as shown on the ALUCP GIS layer? [] YES [] NO

If YES, include the following requirement:

The applicant shall cause to be dedicated to the County of Humboldt an Avigation Easement. The avigation easement shall be on the form prescribed by the Department of Public Works. This condition shall be completed to the satisfaction of the Department of Public Works prior to commencing operations, final sign-off for a building permit, or Public Works approval for a business license.

Additional Review is Required by Planning & Building Staff

The applicant shall conduct all operations consistent with the ALUCP and in a manner that does not attract flocks of birds. Open ponds shall not be permitted.

6. **AIRPORT – PART 2 (County Code Section 333).** Is the project is located within the County Code Section 333 GIS layer **AND** is the project proposing to construct (or permit) a fence, building or other structure? YES NO

If **YES**, the applicant shall submit a completed *Airspace Certification Form* prior to the project being presented to the Zoning Administrator or the Planning Commission for approval.

7. **AIRPORT – PART 3 (Height Restrictions).** Planning & Building Staff shall review the completed *Airspace Certification Form* as follows:

- If Box 1 is checked **NO**, the applicant shall either modify the project to comply with County Code Section 333-4 or the applicant shall request a variance pursuant to County Code Section 333-8. The project shall not be presented to the Zoning Administrator or the Planning Commission for approval until the variance is approved by the Board of Supervisors, or the project was modified to comply with County Code Section 333-4.
- If Box 2 is checked **YES**, the applicant shall submit form FAA 7460-1 to the FAA for review and comment. The project shall not be presented to the Zoning Administrator or the Planning Commission for approval until the FAA supports the project.
- If Box 3 is checked **YES**, then the project cannot be permitted and must be modified to conform to the easement. As an alternative, the applicant may wish to seek approval from both the County and the FAA to quitclaim a portion of the easement to allow the project to be permitted.
- If Box 1 is checked **YES** and Box 2 is checked **NO** and Box 3 checked **NO or NA**, then Planning & Building staff shall signoff on the project in the "county use only" section of the form. In the "pre-construction" right of way (or "post construction" right of way if the building exists), check the approval box; date and initial your work.

Note that if the proposed structure is close to the imaginary surface (within 5 feet), then require a post construction certificate to be filed. By including the following requirement:

Applicant shall file a post construction *Airspace Certification Form* to ensure that the proposed structures are in compliance with County Code 333-3. This shall be completed within 90 days of completion of construction or prior to building final, whichever occurs first.

Submit a copy of all processed *Airspace Certification Forms* to the Land Use Division.

8. **MS4/ASBS Areas.** Is the project located within MS4 Permit Area as shown on the GIS layer? YES NO

If **YES**, include the following requirement:

The applicant shall demonstrate to the satisfaction of the Planning & Building Department that the project is in compliance with MS4/ASBS requirements.

// END //

Exhibit "D"

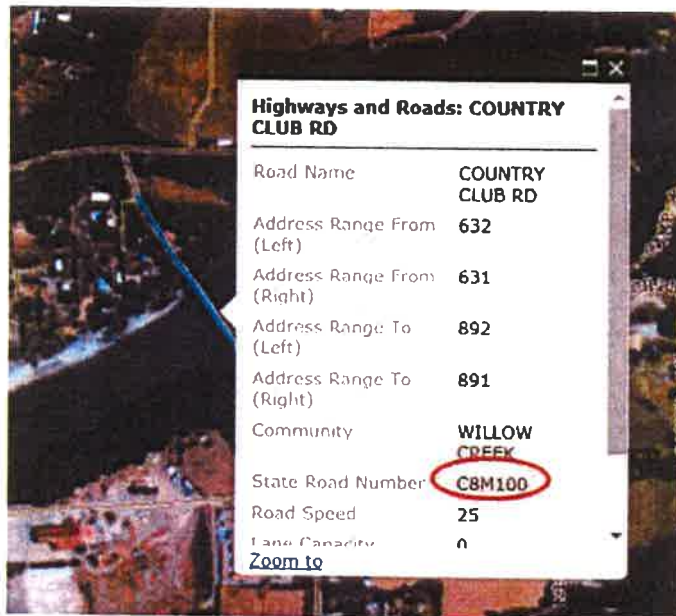
Road Evaluation Reports

1. **ROADS – Road Evaluation Reports.** **Planning and Building Department staff shall request that the applicant provide Road Evaluation Reports for the project.** The particular roads that require a *Road Evaluation Report* is to be determined by following the guidance shown below.

The Department has developed a *Road Evaluation Report* form so that an applicant can address the adequacy of the various roads used by their project. Most projects will require that a *Road Evaluation Report* form be completed.

When viewing the project site on google earth, if the County maintained road (or other publicly maintained road) has a centerline stripe, the road is adequate. If there is no centerline stripe, then the roads leading from the nearest publicly maintained road with a paved centerline stripe (or a known category 4 road) must be evaluated. A separate *Road Evaluation Report* form is needed for each road. This applies to all roads regardless if they are publicly or privately maintained. The Department has prepared a "approved list" of known County maintained roads that are category 4 (or are equivalent to category 4) standards for cannabis projects. The Department has also prepared a list of roads that are known to not meet road category 4 of equivalent. Both of these lists will be updated as the County information regarding the County maintained roads becomes available.

The *Road Evaluation Report* form needs to be provided to applicants to complete. It is important that Planning and Building Department staff provide the applicant with a map that has the roads to be evaluated highlighted. This will most likely include a combination of County maintained roads and non-County maintained roads. This will give the applicant clear direction on which roads need to be evaluated.



Above: screenshot from the WebGIS showing County Road Number circled in **RED**.

A County maintained road will have a 5 or 6 character identifier. The general format is **ABCDDD** where:

- A** is an optional identifier for the functionality of the road (A=Arterial, C=Collector, F=Federal Aid)
- B** is a grid identifier number for the X-axis of a "battleship" style grid that was drawn on a county map to divide the county into a series of squares.
- C** is a grid identifier letter for the Y-axis for the grid.
- DDD** is a three digit road identification number within a particular grid. Each grid can have up to 999 roads in them

Examples:

ABCDDD
A3M020 Murray Road
F6B165 Alderpoint Road
6C040 Thomas Road

Exhibit "D"

Road Evaluation Reports

The Department is working towards identifying which County maintained roads meet (or are equivalent to) Road Category 4 standards for cannabis projects. Two lists are being prepared: the first list with the **green** heading shows which roads (or portions thereof) meet or are equivalent to Road Category 4 standard (AKA "Approved List"); and the second list with the **red** heading shows which roads (or portions thereof) that do not meet or are not equivalent to Road Category 4 standards. These lists will be updated as information becomes available. **This list will be updated frequently. Make sure you are using the most up to date list.**

On occasion there may be more than one road that has the same name; in these instances check the road number to ensure that you are referencing the correct road. Until such time as the GIS roads layer has been proofed by the Department, the GIS is not to be used for this task. Use the paper road maps to check road numbers.

If the subject property takes direct access from a road on the "approved list", no further road evaluation needs to be done.

"APPROVED LIST"		
List of County Maintained Roads that meet (or are equivalent to) Road Category 4 standards for Cannabis Projects		
Road Name	Road Number	Range meeting (or equivalent to) Road Category 4 standard
Alderpoint Road	F6B165	All
Bair Road	C6L300	All
Bair Road	6L300	All
Bald Hills Road	F4R300	All
Benbow Drive	6B180	Oakcrest Drive to State Hwy 101
Blue Slide Road	F2G100	All [Grizzley Bluff Rd to City limits of Rio Dell]
Brannon Mountain Road	7M100	State Hwy 96 to Creekside Lane
Briceland Thorne Road	F5A010	All
Burrell Road	3D030	From Mattole Rod to P.M. 067
Cathey Road	6D050	State Park to P.M. 0.87 [End of County maintained]
Chemise Mountain Road	C4A030	Shelter Cove Road to P.M. 3.0
Eel Rock Road	7D010	All
Eighth Avenue	4N080	All
Ettersburg Honeydew Road	F5A010	All
Fickle Hill Road	C5J040	PM 1.55 [end of centerline stripe] to P.M. 8.00
Fieldbrook Road	C4L760	All
Freshwater Road	F6F060	All
Friday Ridge Road	8L100	State Hwy 299 to PM 3.37[End of County maintained] then becomes USFS Road
Greenwood Heights Drive	C4K160	All
Grizzley Bluff Road	F2G100	All [City limits of Ferndale to Blue Slide Rd]
Jacoby Creek Road	C4K230	Old Arcata Road to P.M. 2.50
Jacoby Creek Road	4K230	From P.M. 2.5 to P.M. 2.69
Kneeland Road	F6F060	Freshwater Road to Mountain View Road
Maple Creek Road	5L100	All
Mattole Road	F3D010	All
Mattole Road	F3C010	All
McCann Road	6D090	Dyerville Loop Road to P.M. 1.0
McCellan Mtn Road	7F010	State Hwy 36 to P.M. 3.57[End of County maintained]
Mountain View Road	6H010	All
Murray Road	C3M020	All
Old Three Creeks Road	6L250	State Hwy 299 to P.M. 2.8 [End of County maintained]
Panther Gap Road	4D010	Mattole Road to P.M. 1.83[End of County maintained] continues as a non- County maintained road
Patterson Road	C3M130	All
Salmon Creek Road	6C030	Hwy 101 to P.M. 5.39 [Gate]
Shelter Cove Road	C4A010	All
Sprowel Creek Road	C6B095	PM 0.0 to PM 2.11
Sprowel Creek Road	6B095	PM 2.11 to PM 4.00
Thomas Road	6C040	Salmon Creek Road to P.M. 4.03 [End of County maintained] continues as a non- County maintained rd
Titlow Hill Road	7K100	Hwy 299 to PM 4.7[End of County maintained] then becomes USFS Road
West End Road	5L010	PM 0.0 at Arcata City Limits to Warren Creek Road
Wilder Ridge Road	C5B010	All

Exhibit "D"

Road Evaluation Reports

List of County Maintained Roads that do not meet (or are not equivalent to) Road Category 4 standards for Cannabis Projects		
Road Name	Road Number	Range not meeting (or not equivalent to) Road Category 4 standard
Bark Shanty Road	9R105	All
Benbow Drive	6B180	Oakcrest Dr to end of County maintained
Brannon Mountain Road	7M100	Creekside Lane to PM 5.0 [End of County maintained] then becomes USFS Road
Burrell Road	3D030	P.M. 067 to P.M. 2.22 [End of County maintained]
Butte Creek Road	6H020	All
Chemise Mountain Road	C4A030	P.M. 3.0 to P.M. 4.09 [Mendocino County Line]
Essex Lane	C4L780	P.M. 0.2 to P.M. 0.9 [End of County maintained]
Fickle Hill Road	C5J040	P.M. 8.0 to P.M. 11.72
Kings Peak Road	C4A020	P.M. 1.0 to P.M 12.20
McCann Road	6D090	P.M.1.0 to P.M.2.6 [End of County maintained]
Mill Street	3G305	Country Club Estates to P.M. 0.49[End]
Old Eel Rock Road	7D025	All
River Bar Road	4G010	Hwy 36 to P.M. 1.76 [End of County maintained]
Salmon Creek Road	6C030	P.M. 5.39 to P.M. 5.88[End of County maintained]
Sprowel Creek Road	6B095	P.M 4.00 to PM 7.22 [End of County maintained]
Stapp Road	7H010	P.M 0.00 to 3.25[End of County maintained]
Warren Creek Road	5L740	P.M 0.0 to PM 0.95 [End of County maintained]
Williams Creek Road	2G045	All

// END //



**COUNTY OF HUMBOLDT
PLANNING AND BUILDING DEPARTMENT
CURRENT PLANNING**
3015 H STREET, EUREKA, CA 95501 ~ PHONE (707) 445-7245



3/22/2019

Project Referred To The Following Agencies:

PW Land Use, Environmental Health, Northern Humboldt Union: School District, County Counsel, Cal Fish & Wildlife, RWQCB, NCUAQMD, District Attorney, AG Commissioner, Division of Water Resources, Sheriff, Maple Creek: School District, Building Inspections, CalFire, NWIC, Tsungwe Council, **Six Rivers National Forest: US Forest Service**

Applicant Name Grouse Valley Farms, Inc. **Key Parcel Number** 315-271-006-000

Application (APPS#) PLN-11672-CUP Historic Planning **Assigned Planner** Misael Ramos

Please review the above project and provide comments with any recommended conditions of approval. To help us log your response accurately, please include a copy of this form with your correspondence.

Questions concerning this project may be directed to the assigned planner for this project between 8:30am and 5:30pm Monday through Friday.

County Zoning Ordinance allows up to 15 calendar days for a response. If no response or extension request is received by the response date, processing will proceed as proposed.

If this box is checked, please return large format maps with your response.

Return Response No Later Than: 4/6/2019

Planning Commission Clerk
County of Humboldt Planning and Building Department
3015 H Street
Eureka, CA 95501
Email: PlanningClerk@co.humboldt.ca.us **Fax:** (707) 268 - 3792

We have reviewed the above application and recommend the following (please check one):

- Recommend Approval. The Department has no comment at this time.
- Recommend Conditional Approval. Suggested Conditions Attached.
- Applicant needs to submit additional information. List of items attached.
- Recommend Denial. Attach reasons for recommended denial.

Other Comments:

Transportation of Cannabis over Forest Service Roads is illegal
see attached position letter. ~~A~~ Map indicates road through

DATE: 26 MARCH 2019 PRINT NAME: George Frey - Lands + Minerals Specialist

property is PG&R. That is not correct, It is A Forest Service Road 4N13 to the East to the County Line and west back to Willow Creek.

Forest Service also recommends denial of the 600' setback for Public Lands.



United States
Department of
Agriculture

Forest
Service

Pacific Southwest Region
Six Rivers National Forest

1330 Bayshore Way
Eureka, CA 95501
707-442-1721
TDD: 707-442-1721
Fax: 707-442-9242

File Code: 1500
Date: August 29, 2018

Michelle Nelson
Planning and Building Department
Humboldt County
3015 H Street
Eureka, CA 95501

Dear Ms. Nelson:

Thank you for providing the USDA Forest Service with the opportunity to provide input to Humboldt County's land use regulations governing cannabis cultivation on private property as they relate to National Forest System (NFS) lands.

The use, cultivation and transportation of cannabis on Forest Service lands is illegal. The Comprehensive Drug Abuse Protection and Control Act of 1970, and more specifically Title II of the act (the Controlled Substances Act), lists cannabis as a Schedule 1 drug. The Forest Service does not have discretion to permit activities on NFS lands that will violate the Controlled Substances Act or any other federal law. The Forest Service cannot authorize any activities related to cannabis operations on public land, such as the cultivation, production, transportation, or distribution of supplies or product.

We recommend that applicants for county cannabis permits who are adjacent to or near Forest Service lands have their parcels surveyed by a professional land surveyor to ensure their operations are not trespassing upon or causing impacts to federal lands. Individuals that cause resource damage, including soil erosion and contamination to Forest Service administered lands from illicit acts including the manufacture of cannabis, may be subject to federal criminal and/or civil action. Permit applicants should be aware that transporting cannabis across an existing right of way on federal lands to access a private parcel, is also illegal under federal law, and violators could face federal criminal action.

We appreciate the opportunity to comment on the county's cannabis-use regulations. If you need further information on this subject, please contact me at (707) 441-3531.

Sincerely,

MICHAEL A. GREEN
Acting Forest Supervisor





HUMBOLDT COUNTY
 PLANNING AND BUILDING DEPARTMENT
 CURRENT PLANNING DIVISION
 3015 H STREET, EUREKA, CA 95501 ~ PHONE (707) 445-7541

N/A
 56 9/18/17

9/13/2017

PROJECT REFERRAL TO: Northern Humboldt Union School District

Project Referred To The Following Agencies:

Building Inspection Division, Public Works Land Use Division, Health and Human Services Environmental Health Division, County Counsel, CalFire, California Department of Fish And Wildlife, Northwest Information Center, Tsnungwe Council, Regional Water Quality Control Board, North Coast Unified Air Quality Management District, Humboldt County District Attorney, Humboldt County Agriculture Commissioner, California Division of Water Resources, Sheriff's Department, Maple Creek School District, Northern Humboldt Union School District

Applicant Name Grouse Valley Farms, Inc. **Key Parcel Number** 315-271-006-000

Application (APPS#) 11672 **Assigned Planner** Cannabis Planner (CPOD) (707) 445-7541 **Case Number(s)** CUP16-328

Please review the above project and provide comments with any recommended conditions of approval. To help us log your response accurately, please include a copy of this form with your correspondence.

Questions concerning this project may be directed to the assigned planner for this project between 8:30am and 5:30pm Monday through Friday.

County Zoning Ordinance allows up to 15 calendar days for a response. If no response or extension request is received by the response date, processing will proceed as proposed.

If this box is checked, please return large format maps with your response.

Return Response No Later Than 9/28/2017 Planning Commission Clerk
 County of Humboldt Planning and Building Department
 3015 H Street
 Eureka, CA 95501
E-mail: PlanningClerk@co.humboldt.ca.us **Fax:** (707) 268-3792

We have reviewed the above application and recommend the following (please check one):

- Recommend Approval. The Department has no comment at this time.
- Recommend Conditional Approval. Suggested Conditions Attached.
- Applicant needs to submit additional information. List of items attached.
- Recommend Denial. Attach reasons for recommended denial.

Other Comments: _____

DATE: 9/19/17

PRINT NAME: Roger Macdonald



Northern Humboldt Union High School District

2755 McKinleyville Avenue, McKinleyville, CA 95519-3400
TELEPHONE: (707) 839-6470 • FAX: (707) 839-6477
www.nohum.k12.ca.us

ROGER MACDONALD
District Superintendent

CINDY VICKERS
Director of Fiscal Services

September 19, 2017

Humboldt County Planning Commissioners
Planning Commission Clerk
3015 H Street
Eureka, CA 95501

RE: Case No. CUP16-328

The proposed facility is not within 600 feet of a school or existing bus stop. However, Northern Humboldt Union High School District has concerns about this proposed facility as cannabis is still illegal under federal law and our district receives federal funds.

Additionally, the district has concerns about a grow operation in an area where current and/or future students may live in the area or near the facility, and be required to pass by it to and from school.

Should you have any further questions, please let me know.

Sincerely,

A handwritten signature in black ink, appearing to read "R. MacDonald", written over a horizontal line.

ROGER MACDONALD
Superintendent