



COUNTY OF HUMBOLDT
PLANNING AND BUILDING DEPARTMENT
CURRENT PLANNING DIVISION

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Phone: (707)445-7541 Fax: (707) 268-3792

Hearing Date: March 7, 2019

To: Humboldt County Planning Commission

From: John H. Ford, Director of Planning and Building Department

Subject: **Solomon Fahey - Conditional Use Permit & Special Permit**
Application Number 11405
Case Number CUP16-244, SP18-081
Assessor's Parcel Number (APN) 108-066-005
Shelter Cove area

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Please contact Keenan Hilton, Planner at 707-445-7541 or by email at khilton@co.humboldt.ca.us if you have any questions about the scheduled public hearing item.

AGENDA ITEM TRANSMITTAL

Hearing Date March 7, 2019	Subject Conditional Use Permit and Special Permit	Contact Keenan Hilton
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Project Description: The applicant pursues a Conditional Use Permit CUP16-244 for approximately 12,634 square feet (sf) of existing outdoor commercial cannabis cultivation, 2,160 sf of mixed light, and an 800 square foot appurtenant nursery, and a Special Permit SP18-081 for a reduction of the setback to Bureau of Land Management (BLM) lands. The proposed project is located on Assessor's Parcel Number (APN) 108-066-005, which is approximately 120 acres and is zoned Timberland Production Zone (TPZ). The applicant is proposing on-site relocation of the outdoor cultivation area to an environmentally superior, permitted, less-than-3-acre conversion site. Total estimated water use is 211,080 gallons per year. Plants are watered by a drip irrigation system to conserve water. Water is sourced from a non-jurisdictional, permitted well and from a 2,100-sf rooftop rainwater catchment system. The applicant proposes a total of eighteen (18) 5,000-gallon water tanks and one 2,500 gallon tank bringing the total to 92,500 gallons of storage. The proposed project will use a maximum of two employees for cultivation and five employees for processing. The applicant is proposing to build an Americans with Disabilities Act (ADA) compliant processing structure upon approval of the CUP. Electricity is provided by solar power with a backup generator.

Project Location: The project is located in Humboldt County, in the Shelter Cove area, on the East and West sides of Etter Ranch Road, approximately 0.22 miles West from the intersection of Ettersberg-Honeydew Road, French Ranch Road, and Wilder Ranch Road, and approximately 4.37 miles South from the intersection of French Ranch Road and Etter Ranch Road on the property known to be in Section 14 of Township 04 South, Range 01 East, Humboldt Base & Meridian.

Present Plan Land Use Designations: Timberland (T), Density: 40 to 160 acres per dwelling unit, Slope Stability: Moderate Instability.

Present Zoning: Timber Production Zone (TPZ)

Application Number: 11405

Case Number: CUP16-244

Assessor Parcel Numbers: 108-066-005

Applicant	Owner	Agent
Solomon Fahey PO Box 1412 Redway, CA 95560	Fahey Solomon & Joseph & Mary F. 1327 Tahoma Lane Lincoln, CA 95648	None

Environmental Review: An Addendum to a previously adopted Mitigated Negative Declaration has been prepared for consideration per §15164 of CEQA Guidelines.

State Appeal Status: Project is NOT appealable to the California Coastal Commission

Major Issues: None

SOLOMON FAHEY

Case Number CUP16-244 and SP18-081

Assessor's Parcel Numbers 108-066-005

Recommended Commission Action

1. Describe the application as part of the Consent Agenda.
2. Survey the audience for any person who would like to discuss the application.
3. If no one requests discussion, make the following motion to approve the application as a part of the consent agenda:

Find that the Commission has considered the Addendum to the Mitigated Negative Declaration adopted for the Commercial Medical Marijuana Land Use Ordinance pursuant to Section 15164 of the State CEQA Guidelines, make all of the required findings for approval of the Conditional Use Permit & Special Permit based on evidence in the staff report and any public testimony, and adopt the Resolution approving the proposed Solomon Fahey Conditional Use Permit & Special Permit subject to the recommended conditions.

Executive Summary:

A Conditional Use Permit (CUP-16-244) for approximately 12,634 square feet (sf) of existing outdoor commercial cannabis cultivation, and 2,160 sf mixed light and Special Permit (SP-18-081) for a reduction of the setback to BLM lands is being requested by the applicant. The proposed project is located on Assessor's Parcel Number (APN) 108-066-005, which is approximately 120 acres. The project site is bordered by Bureau of Land Management (BLM) property within the King Range National Conservation Area (KRNCA). The SP is requested to allow for a reduction in the required 600-foot setback from public lands. The applicant proposes to use Paradise Ridge Road for primary access to the site and use Etter Ranch Road for emergency access only. Paradise Ridge Road generally runs in a north south direction and accessed the westerly side of the property. It should be noted that on Humboldt County WebGIS, the roadway the applicant refers to Paradise Ridge Road is called out as Etter Ranch Road and runs through BLM land. The applicant completed a road evaluation report on March 8, 2018 and verified that the entire Paradise Ridge Road is developed to the equivalent of a category 4 standard and is adequate for the proposed use.

The adjacent public lands are subject to the 2005 King Range National Conservation Area Resource Management Plan (RMP). The lands adjacent to the project site are designated Frontcountry Zone in the RMP, and management activities in that zone include forest stand management, fuel reduction, fire break construction, and watershed restoration. The project is consistent with the RMP because the cultivation activities will protect fisheries and aquatic habitat on forest lands by maintaining buffers from streams and by placing controls on the storage and use of pesticides, rodenticides and fertilizers, and will minimize risk from wildfire by adhering to the County's Fire Safe Regulations and the requiring adequate road access. The RMP's provisions for protection of heritage resources will be met through the project consultation with Tribal Historic Preservation Officers and avoidance of sensitive tribal cultural resources. The project is consistent with recreational use on public lands by maintaining a minimum 600 buffer separation from developed campgrounds and trails.

The BLM lands adjacent to the subject parcel are identified as critical habitat for Marbled Murrelet. There is also potential Northern Spotted Owl (NSO) habitat in the vicinity and are two known NSO activity centers located within 1.5 miles (1.4 miles and .7 miles) from the project site. To avoid impacts on these listed species the project has been conditioned to ensure that no light escapes the mixed light greenhouses and appurtenant nursery, and that all noise produced by cultivation and processing activities stay below 50 decibels 100 feet from where the activities would occur. There is only one other commercial cannabis cultivation application within a 1 mile radius of the project site, and that site is located over 1.5 miles from the nearest NSO activity center and so the cumulative impact on NSO from cannabis cultivation in this area is not likely to be significant. All of the Kings Range National Conservation Area (KRNCA) is managed for Marbled Murrelet, and there are roughly 40 to 50 commercial cannabis

applications within 1 mile of the KRNCA. The cumulative impact to Marbled Murrelet habitat from cannabis cultivation is unlikely to be cumulatively significant due to the incorporation of noise and light attenuation measures for all projects through the permit process.

The applicant proposes that the mixed light and nursery greenhouses remain in the current configuration. The applicant proposes on-site relocation of the outdoor cultivation area to a previously permitted, environmentally superior, less-than-3-acre conversion site. A less than three-acre conversion exemption, was issued to the named applicants by the California Department of Forestry and Fire Protection (CAL FIRE) on December 13, 2013. The Final Completion notice permit number is 1-13EX-281-HUM and was issued for the taking of 25% Douglas fir and 75% other hardwood. Based on review of aerial photography and information in the Cultivation and Operations Plan and WRPP, this location is in the central portion of the project site, is located on a ridgeline, and is environmentally superior to the existing location. The pre-existing cultivation site does not comply with Water Board Order Number 2015-0023 which states that 200-foot buffers from water courses are preferred and the cultivation site is within the 200-foot buffer of a class III stream mapped in the Water Resource Protection Plan (WRPP). In addition, the location is on moderately steep slopes (50% ±) that is naturally a meadow with considerable habitat value once restored. The underlying soils are derived from weathered Franciscan Mélange which is often associated with earthflows and other unstable features. The proposed cultivation site is on a trending ridge with the nearest watercourse approximately 550 away. The site sits atop rocky soils and outcroppings providing less potential for erosion. In a geotechnical investigation of the subject parcel, Jim Glomb Geotechnical and Environmental Consulting concludes that the relocation site is suitable for cultivation including lightweight greenhouses subject to recommended mitigation measures. This cultivation area would consist of five pads for the greenhouses for light deprivation cultivation and three discrete areas of full-sun outdoor cultivation. The proposed cultivation pads would be graded based on the Geotechnical Report. The recommendations included in the report have been included as conditions of approval for the project.

The applicant retained the services of Chris Carrol, Registered Professional Forester from Timberland Resource Consultants, and Randall Bryant, Registered Professional Engineer from REB Engineering Inc. to assess the relative benefit of relocating the cultivation. Conditions of project approval require that the applicant develop and restore the sites in accordance with the prepared plans. All cultivation materials and infrastructure would be removed from the existing site. No grading would be required. All bare mineral soils would be re-seeded by native seed mix consisting of California Brome, Idaho Fescue, purple needlegrass, California oatgrass, and Pine bluegrass, developed through consultation with personnel at the NRCS.

The applicant has installed a solar system that is capable of providing almost all the power needs for the proposed project. The greenhouses will be powered by solar panels which will not generate noise. The solar system consists of 30, 260W solar panels with a 12 KW propane generator as a backup power source. During the growing season solar panels provide 100% of power needed for the operations demands. The propane generator has replaced the two Honda 3000Kw Super Quiet generators reflected in the Cultivation and Operations Plan. The generator is only used as a backup for under an hour to let the solar system recover. Gas tank to fuel the generators and other equipment are stored in a secondary storage structure with a cement slab. Spill trays for all generators and gas containers are used to prevent leaks and petroleum products from leaching into the soil.

Water is sourced from a non-jurisdictional and permitted well, and a rainwater catchment system. The project site does not use any diversions or surface water sources including springs, seeps, streams, ponds, or other hydrologically connect water. The well is capable of pumping 20-gallons per minute. The rain catchment is from a 2,100-sf roof. A water well application was filed with Humboldt County Department of Health and Human Services (HCDHHS) on May 2, 2016 and was issued permit #15/16-0706. Drilling of the well began and ended on 05/09/2016 and was drilled to a depth of 220 feet. The well was determined by California Department of Fish and Wildlife (CDFW), confirmed by e-mail dated May 10, 2018, to be non-jurisdictional and, therefore, no Lake and Streambed Alteration Agreement (LSAA) is required.

The applicant estimates rainwater capture from the rooftop system to be approximately of 120,000 gallons per year (based on 100 inches (") of annual rainfall in some areas of the King Range). Currently, water from the rainwater catchment system is collected in an existing 2,500-gallon tank and overflow is gravity fed to the vegetable garden. The applicant proposes a total of eighteen (18) 5,000-gallon water tanks. Fifteen would be on an existing, abandoned logging road, dedicated to storing captured rainfall. Three would be by the relocation site. Because neither the water supply is hydrologically connected, storage during the forbearance period is not required.

Currently, water use varies throughout the year but the Cultivation and Operations Plan provides average gallons used based on a 15-day watering cycle per month as measures by installed water meters. The applicant has installed water meters to ensure water use is closely monitored, plants are watered by a gravity feed drip irrigation system, and plants and soils are mulched to conserve water and reduce run-off and erosion. The anticipated annual demand of water for the nursery operations is 11,280 gallons. The anticipated annual demand of water for the 2,160 square feet of mixed light cultivation is 29,160 gallons. The anticipated annual demand of water for the 6,640 square feet of light deprivation cultivation is 89,640 gallons. The anticipated annual demand of water for the 6,000 square feet of full-sun outdoor cultivation is 81,000 gallons. The total anticipated annual demand is 211,080 gallons.

A Water Resources Protection Plan (WRPP) was prepared by Timberland Resources Consultants for the project site and the site was enrolled with the California State Water Board as a Tier 2 discharger. Accordingly, in conformance with Order R1-2015-0023 the WRPP detailed remedial action needed for existing water sources and stream crossings. A field assessment was conducted and included an evaluation and determination of compliance and described specific measures to be implemented to achieve compliance with standard conditions. The WRPP identified 23 Road Points requiring remediation and installation of permanent Best Management Practice (BMP). BMP's for the Road Points include but are not limited to the following: reshaping and armoring rolling dips; placement of rip-rap at outlets of drainage channels; removal of bales and replacement with rip-rap buttress(es); construction of rocked apron(s); downcutting of road prism(s); removal of berm(s); filling of berm runs and reshaping as required; removal of gabions and replacement with rip-rap; upsizing of culvert(s); removal of flex culvert and replacement with armored apron; placement of rocked fords to repair downcutting; placement of high density polyethylene (HDPE) culvert(s); and placement of energy dissipaters. All work, for Road Points 1 through 16 has been completed by the deadline of October 1, 2017. The remainder of Road Points (17 through 23) are scheduled for completion on or before October 1, 2018. In addition, four BMPs related to Water Storage and Use were listed. Two were completed as of April 17, 2017, and the remaining two are scheduled for completion on October 15, 2018 and October 15, 2020. This includes the installation of second rain catchment system on the residence. The applicant proposes to use this rainwater catchment to, in part, fill the 15 tanks. The tanks will be installed at elevations such that all the tanks can be filled via gravity flow from the rooftop catchments. In addition, three BMPs, two for irrigation and fertilization have been completed, and installation of petroleum drip trays was completed.

The proposed project will use a maximum of two employees for cultivation and five employees for processing. Currently, employees are served by portable toilets but the applicant plans to bring the existing septic system into compliance with all applicable Humboldt County Codes. The applicant is proposing to build an Americans with Disabilities Act (ADA) compliant processing room upon approval of the CUP. The processing procedures would be consistent with HCC Section 55.4.1 (q) through (u) The existing processing building would be converted to a storage building. If the processing facility cannot be constructed the applicant will use a licensed third-party processor

The applicant proposes to complete all listed construction work in two phases over a two-year time period after permit approval. Phase I would consist of bringing the existing residence, existing greenhouse and septic system into compliance with all applicable Humboldt County Health and Safety Codes, and grading and construction of the proposed greenhouses by August 1, 2019. Phase II would consist of the construction of the ADA compliant processing structure and the installation of all rainwater catchment tanks by August 1, 2020.

The proposed project has been enrolled as a Tier 2 Discharger under Order Number 2015-0023 with the North Coast Regional Water Quality Control Board (NCRWQCB) under Waiver of Waste Discharge (WDID) permit # 1B161033CHUM. In accordance with the requirements of the permit a Water Resources Protection Plan (WRPP)

Streambed Alteration Agreement Notification Number 1600-2017-0157-R1.

The security plan for the project includes the use of fencing, cameras, video surveillance, and motion sensing lights. The property is gated and locked with commercial locks. The cultivation areas also will be fenced and the gates locked. The motion sensing lights that are focused on the flowering greenhouses will alert the residence of any activity. Video Surveillance cameras also are streamed to the residence and are focused on the flowering greenhouses. The Sheriff's Department will be contacted immediately upon any theft.

Employees will travel to the site by car daily but be encouraged to carpool. The Plot Plan shows that the provision of five standard parking slots and one ADA compliant van access slot adjacent to the existing residence. At this location a shunt turn-around for fire equipment per State Responsibility Area (SRA) requirements also will be provided.

There are no school bus stops, schools, places of worship, public parks, or known cultural resources within 600 feet of the cultivation sites. There are no residence less than 300 feet from the cultivation sites, and all cultivation is set back greater than 30 feet from the nearest property line.

Setback Reduction

Under the CMMLUO, cultivation and processing operations require a setback of 600 feet from publicly owned lands that are managed for wildlife, open space and recreational facilities. This setback may be reduced with a Special Permit. The project proponent has applied for a Special Permit to allow for a setback reduction to public land. Immediately to the west and south of the subject parcel is the Kings Range National Conservation Area, owned by the federal Bureau of Land Management and managed for open space and wildlife. The proposed cultivation activity is 372 feet from the publicly owned land. While the property is large enough to support locating the cultivation on the property without reducing the 600 foot setback, to do so would require the cultivation to be located on steeper slopes and closer to riparian areas. Additionally, the location of the cultivation in a previously legal timber conversion area requires no additional habitat removal for the project. Staff supports the proposed setback reduction as it allows for reduced impacts to wildlife habitat than would occur if the setback reduction is not permitted.

Environmental review for the proposed project was conducted, and based on the results of that analysis, staff believes the existing cultivation and processing aspects of the project are consistent with the Mitigated Negative Declaration that was adopted for the Commercial Medical Marijuana Land Use Ordinance due to the fact that this is existing cultivation that is being brought into conformance with county and state requirements. No additional development other than that which was contemplated under the previously adopted MND is proposed. An addendum to the MND has been prepared for this project.

There is no substantial evidence of potentially significant adverse environmental effects resulting from the permitting of a recognized legal agricultural use (cultivation of medical marijuana) on property zoned Timberland Production (TPZ). While the subject site is in an area where slopes do exceed 15%, and where the source of irrigation is from permitted wells and a rainwater catchment pond, numerous conditions of approval are required to protect environmental resources. Conditions of approval include, but are not limited to, requiring streams and stream buffers to protected water quality, continued implementation of the WRPP, continued maintenance of the private drive, noise protection for biological species, biological surveys, and water well monitoring,

Based on a review of Planning Division reference sources and comments from all involved referral

agencies, planning staff believes that the applicant has submitted evidence in support of making all of the required findings for approving the CUP and SP.

ALTERNATIVES: The Planning Commission could elect not to approve the project, or to require the applicant to submit further evidence, or modify the project. If modifications may cause potentially significant impacts, additional CEQA analysis and findings may be required. These alternatives could be implemented if the Commission is unable to make all of the required findings. Planning Division staff has stated that the required findings in support of the proposal have been made. Consequently, Planning staff does not recommend further consideration of either alternative.

**RESOLUTION OF THE PLANNING COMMISSION
OF THE COUNTY OF HUMBOLDT
Resolution Number 19-**

**Case Number CUP16-244 and SP18-018
Assessor Parcel Number: 108-066-005**

Makes the required findings for certifying compliance with the California Environmental Quality Act and conditionally approves the Solomon Fahey Conditional Use Permit and Special Permit request.

WHEREAS, Solomon Fahey submitted an application and evidence in support of approving a Conditional Use Permit for 12,643 square feet of outdoor cultivation and 2,160 square feet of mixed light cultivation located on APN 108-066-005, in an environmentally superior location than what is currently existing; and

WHEREAS, Solomon Fahey submitted an application and evidence in support of approving a Special Permit for a reduction in the 600 foot setback to public lands; and

WHEREAS, the County Planning Division has reviewed the submitted application and evidence and has referred the application and evidence to involved reviewing agencies for site inspections, comments and recommendations; and

WHEREAS, the County Planning Division, the lead agency, prepared an Addendum to the Final Mitigated Negative Declaration prepared for the Commercial Medical Land Use Ordinance (CMMLUO) adopted by the Humboldt County Board of Supervisors on January 26, 2016. The proposed project does not present substantial changes that would require major revisions to the previous mitigated negative declaration. No new information of substantial importance that was not known and could not be known at the time was presented as described by §15162(c) of CEQA Guidelines; and

WHEREAS, Attachment 2 in the Planning Division staff report includes evidence in support of making all of the required findings for approving the proposed Conditional Use Permit (Case Number 16-244) and Special Permit (Case Number 18-081).

WHEREAS, a public hearing was held on the matter before the Humboldt County Planning Commission on March 7, 2019.

NOW, THEREFORE, be it resolved, determined, and ordered by the Humboldt County Planning Commission that:

1. The Planning Commission considered the Addendum to the MND adopted for the Commercial Medical Marijuana Land Use Ordinance; and
2. The findings in Attachment 2 of the Planning Commission staff report for Case Number CUP16-244 and SP18-018 support approval of the project based on the submitted substantial evidence; and
3. Conditional Use Permit CUP16-244 and Special Permit SP18-018 is approved as recommended and conditioned in Attachment 1 for Case Number CUP16-244 and SP18-018.

Adopted after review and consideration of all the evidence on March 7, 2019.

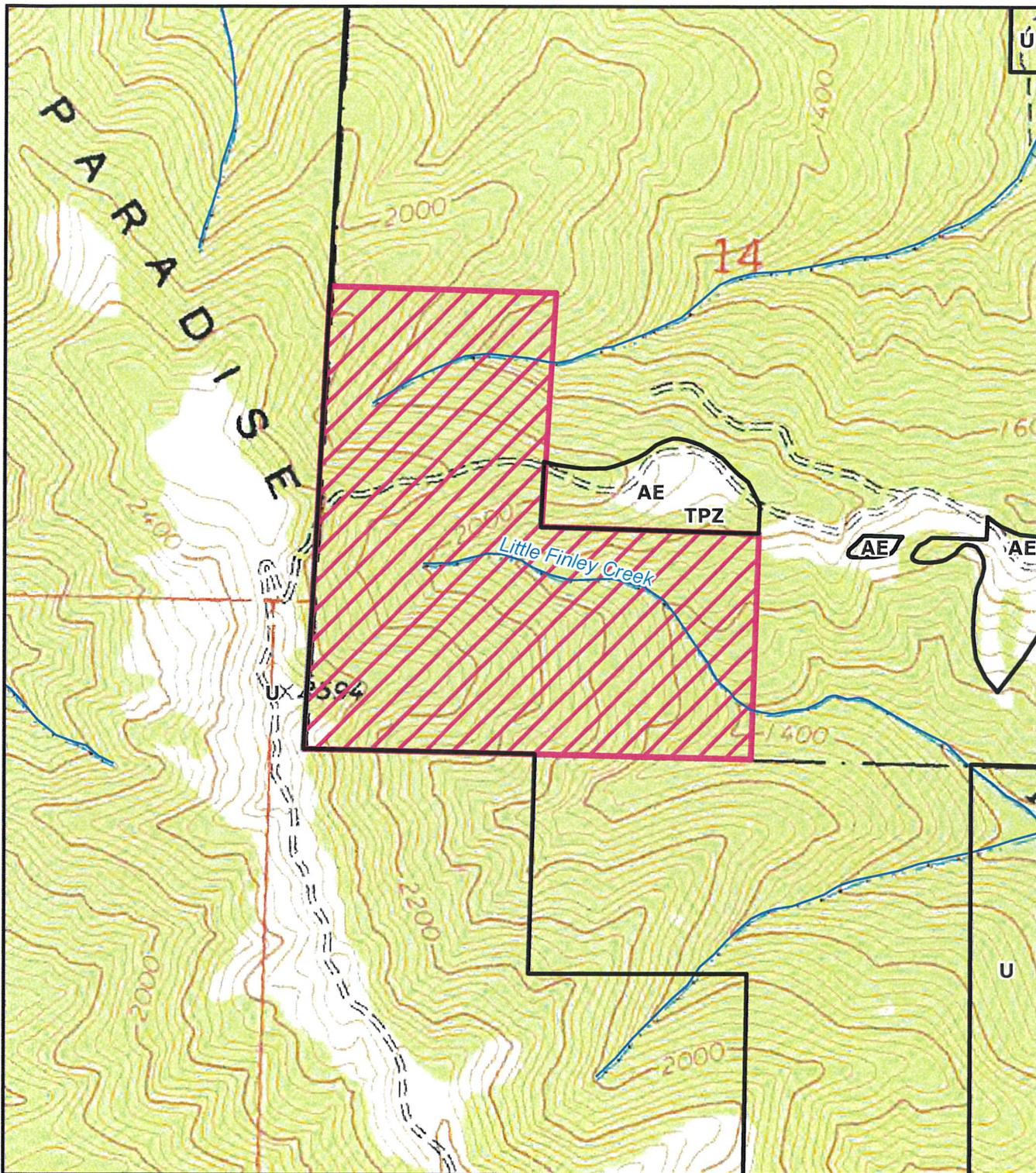
The motion was made by Commissioner _____ and seconded by Commissioner _____.

AYES: Commissioners:
NOES: Commissioners:
ABSTAIN: Commissioners:
ABSENT: Commissioners:

DECISION: Motion carries

I, John H. Ford, Secretary to the Planning Commission of the County of Humboldt, do hereby certify the foregoing to be a true and correct record of the action taken on the above entitled matter by said Commission at a meeting held on the date noted above.

John H. Ford, Director
Planning & Building Department



TOPO & ZONING MAP

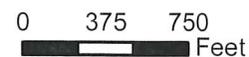
Project Area = 

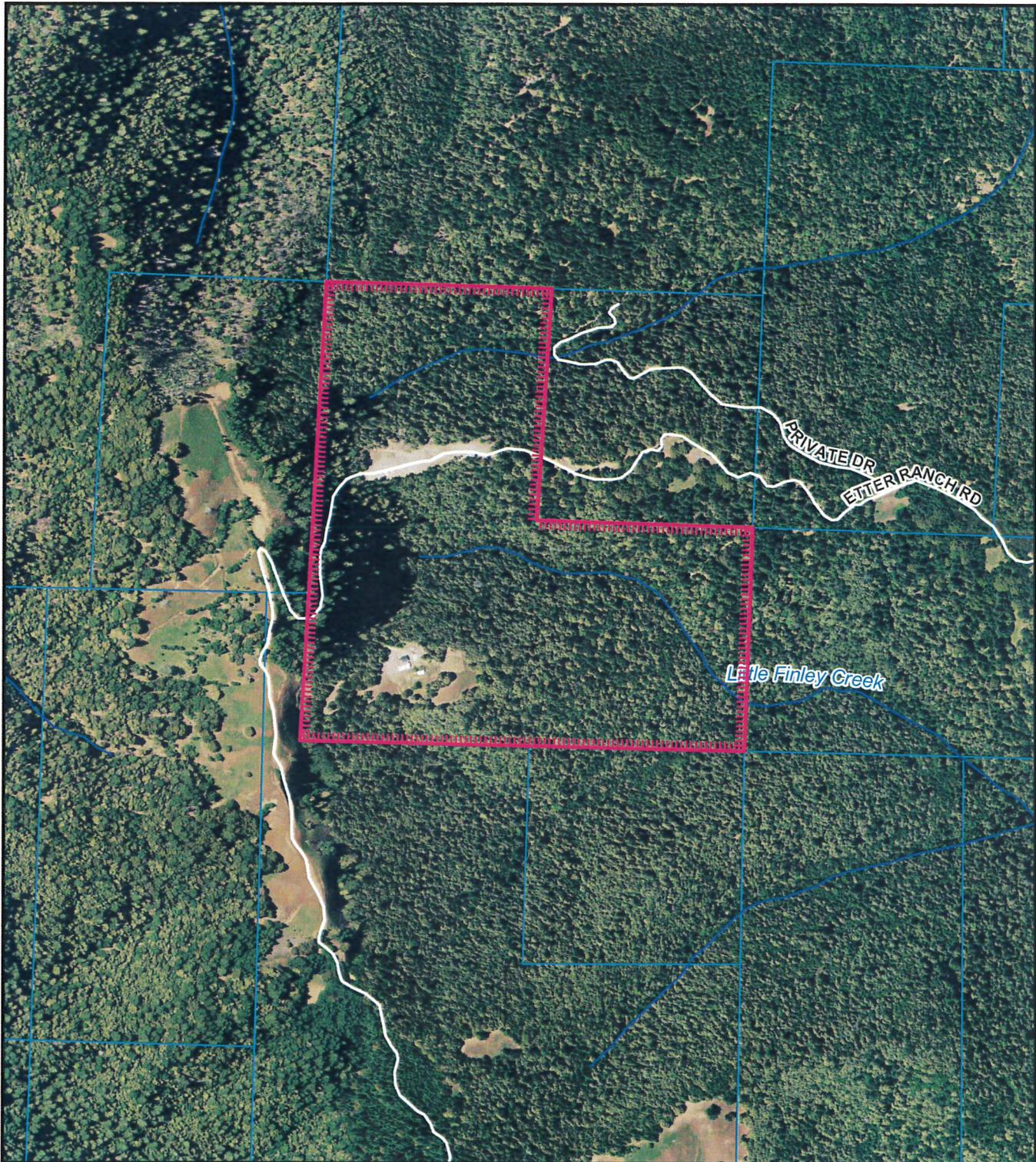
**PROPOSED PARADISE RIDGE RANCH
SHELTER COVE AREA
CUP-16-244**

APN: 108-066-005

T04S R01E S14 HB&M (SHELTER COVE)

This map is intended for display purposes and should not be used for precise measurement or navigation. Data has not been completely checked for accuracy.





AERIAL MAP

Project Area = 

**PROPOSED PARADISE RIDGE RANCH
SHELTER COVE AREA**

CUP-16-244

APN: 108-066-005

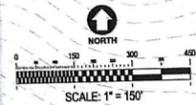
T04S R01E S14 HB&M (SHELTER COVE)

This map is intended for display purposes and should not be used for precise measurement or navigation. Data has not been completely checked for accuracy.



0 375 750
 Feet

**COMMERCIAL MEDICAL MARIJUANA
CULTIVATION
FOR THE
FAHEY PROPERTY
HUMBOLDT COUNTY, CA
A.P.N. 108-066-005**

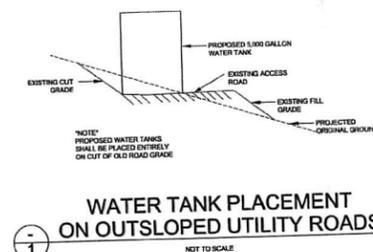


PROJECT INFORMATION

PROJECT OWNER(S) SOLOMAN FAHEY, JOSEPH & MARY FRANCES FAHEY PO BOX 1002 POINT ARENA, CA 95968 (707) 835-3008	PROJECT DESCRIPTION TOWNSHIP 4 SOUTH RANGE 1 EAST SECTION 14 LOTS 2, 3 & 4 HUMBOLDT COUNTY, CA
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LEGEND

ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION
P	PROPOSED	—O—	OWNER'S LINE
E	EXISTING	—S—	SEWER LINE
L	LOT	—E—	ELECTRIC LINE
F	FINISH	—B—	BIOTIC LINE
FS	FINISH GRADE	—N—	NATURAL LINE
ES	EXISTING GRADE	—C—	CONCRETE CURB
RF	REINFORCED CONCRETE FLOOR	—G—	GRAVEL
ST	STATION	—P—	PIPE
SP	STRUCTURE PROTECTION	—F—	FIRE HYDRANT
LS	LAND SURVEY	—P—	PERMITS
LP	LOW POINT	—R—	REINFORCED CONCRETE FLOOR
DC	ON CENTER	—C—	CONCRETE CURB
CP	CONCRETE	—P—	PIPE
BR	BROWNS	—S—	SEWER
SI	SEWER	—E—	ELECTRIC
PI	PROPOSED	—P—	PERMITS
LP	LOW POINT	—R—	REINFORCED CONCRETE FLOOR
EL	ELEVATION	—C—	CONCRETE CURB
NS	NATURAL	—P—	PIPE
CM	COMMERCIAL MEDICAL	—C—	CONCRETE CURB

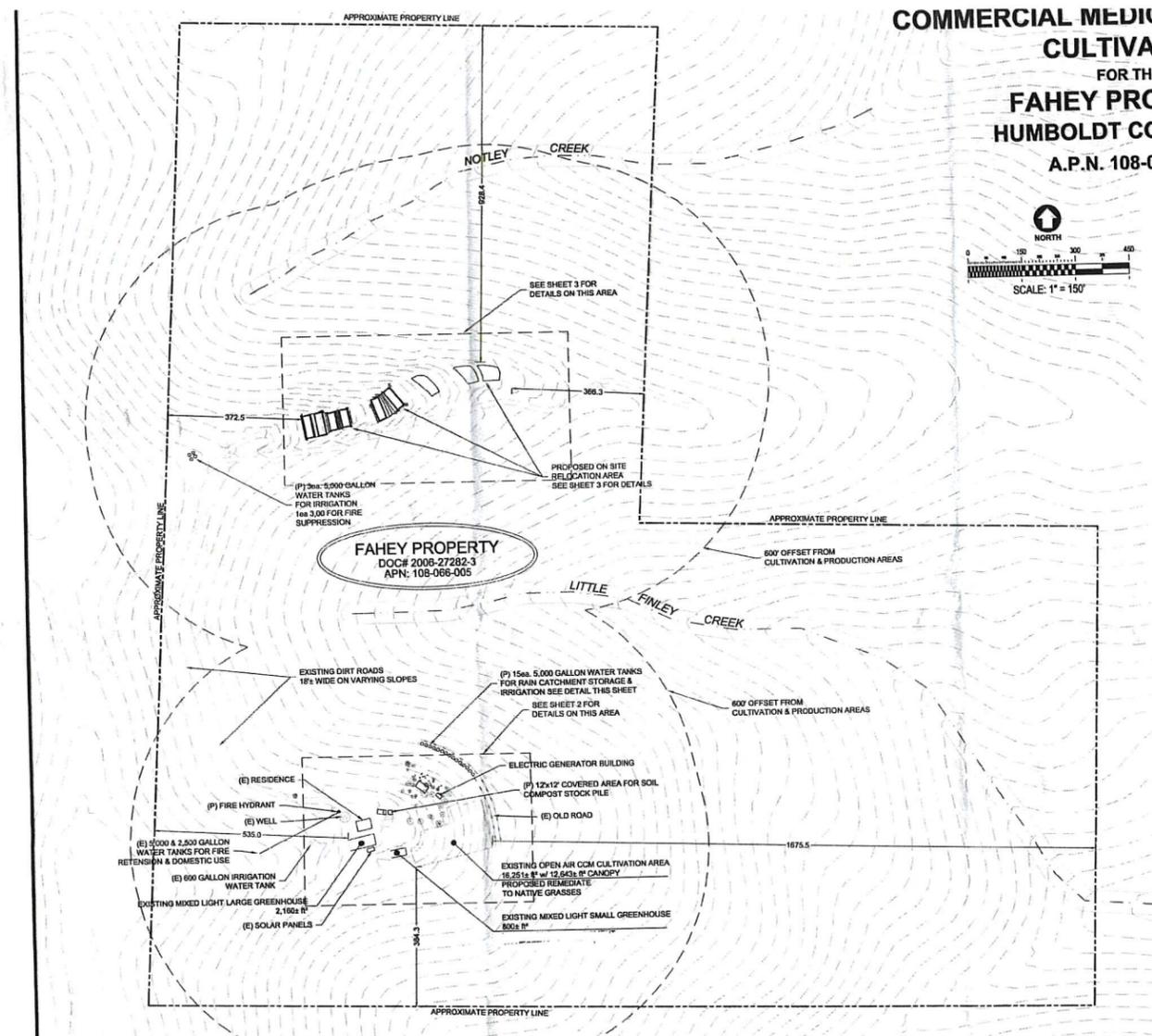


SHEET INDEX

SHEET #	SHEET TITLE
1	TITLE SHEET
2	EXISTING BUILDINGS PLAN
3	LOT PLAN
4	SITE ACCESS MAP NORTH
5	SITE ACCESS MAP SOUTH

PROJECT SITE DISTANCE TO PUBLIC FACILITIES

PUBLIC FACILITY	DISTANCE	RESIDING IN
PUBLIC SCHOOL	3.00+ MILES	ETTENSBURG
PUBLIC PARK	8.0+ MILES	WHITESHORN
CHURCH	11.5+ MILES	REDWAY
BUS STOP	11.5+ MILES	REDWAY



SITE PLAN
SCALE: 1" = 150'

PROPERTY LINES:
THE PROPERTY LINES SHOWN HEREON ARE BASED ON PRELIMINARY SURVEY DATA, AND ARE FOR REFERENCE ONLY. THIS IS NOT A BOUNDARY SURVEY MAP AND SHOULD NOT BE USED AS SUCH.

COMMENTS:

NO.	DATE	REVISION

FAHEY PROPERTY
HUMBOLDT COUNTY, CA
A.P.N. 108-066-005

JOB # 1227
ORIGINAL DATE: 01/24/2019
SCALE: 1" = 150'
SHEET TITLE: TITLE SHEET
SHEET: 1
1 OF 5 SHEETS



ATTACHMENT 1

RECOMMENDED CONDITIONS OF APPROVAL

APPROVAL OF THE CONDITIONAL USE PERMIT IS CONDITIONED ON THE FOLLOWING TERMS AND REQUIREMENTS WHICH MUST BE SATISFIED BEFORE THE PROVISIONAL CANNABIS CULTIVATION PERMIT CAN BE FINALIZED.

Approval of the Conditional Use Permit is conditioned on the following terms and requirements which must be satisfied before release of the building permit or initiation of operations, whichever occurs first.

Section 1: Development Restrictions

1. Within 60 days of the effective date of project approval, the applicant shall execute a Compliance Agreement with the Humboldt County Planning Department detailing all necessary permits and infrastructure improvements described under Conditions of Approval #2 through #16. The agreement shall provide a timeline for completing all outstanding items. All activities detailed under the agreement must be completed to the satisfaction of the Planning and Building Department before the permit may be finalized and no longer considered provisional.
2. Simultaneous to the submittal of the compliance agreement the Applicant shall execute and file with the Planning Division the statement titled, "Notice and Acknowledgment regarding Agricultural Activities in Humboldt County," ("Right to Farm" ordinance) as required by the HCC and available at the Planning Division.
3. A review fee for Conformance with Conditions as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of Supervisors (currently \$750.00) shall be paid to the Humboldt County Planning Division, 3015 "H" Street, Eureka. This fee is a deposit, and if actual review costs exceed this amount, additional fees will be billed at the County's current burdened hourly rate.
4. The applicant shall demonstrate that restoration of the area of relocated cannabis cultivation has occurred per the recommendations of the report prepared by Timberland Resource Consultants. A site visit by county staff or a report by a qualified professional biologist will satisfy this condition.
5. The applicant shall secure permits for all structures related to the cannabis cultivation and other commercial cannabis activity. The plans submitted for building permit approval shall be consistent with the project description and approved project site plan. A letter or similar communication from the Building Division verifying that all structures related to the cannabis cultivation are permitted will satisfy this condition.
6. The approved building plans shall meet all applicable fire codes including fire suppression infrastructure requirements deemed necessary for the project by the Building Inspection Division. Sign off on the Occupancy Permit by the Building Division shall satisfy this requirement.
7. The approved building plans shall meet all applicable fire codes including fire suppression infrastructure requirements deemed necessary for the project by the Building Inspection Division. Sign off on the Occupancy Permit by the Building Division shall satisfy this requirement.
8. All grading associated with the project shall incorporate the measures detailed in the Geotechnical Investigation prepared for the proposed project by Jim Glomb Geotechnical and Environmental Consulting. A letter or similar communication from the Building Inspection Division shall satisfy this condition.

9. Prior to any ground-disturbance, the applicant shall consult with, or obtain a permit as needed from the North Coast Air Quality Management District (NCAQMD). Dust control practices during construction and grading shall achieve compliance with NCAQMD fugitive dust emission standards.
10. The applicant shall improve the intersection of Paradise Ridge Rd and Shelter Cove Rd to the satisfaction of the Department of Public Works, bringing the intersection into conformance with the Sight Visibility Ordinance. A letter or similar communication from Public Works shall satisfy this condition.
11. All processing shall occur in a licensed processing facility.
12. The applicant shall supply a copy of the Notice of Intent and Monitoring Self-Certification and other documents filed with the North Coast Regional Water Quality Control Board demonstrating enrollment in Tier 1, 2 or 3, North Coast Regional Water Quality Control Board Order No. 2015-0023, or any substantially equivalent rule that may be subsequently adopted by the County of Humboldt or other responsible agency.
13. The applicant shall implement all corrective actions detailed within the Water Resource Protection Plan (WRPP) developed for the parcel, prepared pursuant to Tier 2 enrollment under the North Coast Regional Water Quality Control Board (NCRWQCB) Cannabis Cultivation Waste Discharge Regulatory Program, including those measures determined necessary during annual and periodic site inspections in accordance with the monitoring element. A copy of the report form portion of the Mitigation and Reporting Program (MRP) shall be submitted annually to the County Planning and Building Department concurrent with the submittal to the NCRWQCB. A letter or similar communication from the NCRWQCB or the Third Party Consultant verifying that all their requirements have been met will satisfy this condition. After July 31, 2019, plans and reporting shall conform to the Cannabis Cultivation Policy and Cannabis General Order adopted October 17, 2017 by the State Water Board.
14. No lights, generators or fans are permitted by this permit until a scoping report for Northern Spotted Owl and Marbled Murrelet habitat is prepared by a biologist or forester with experience in the life history of the species, and approved by the Planning Director. If habitat is present within the project vicinity, a light and noise attenuation plan shall be developed in consultation with the Planning Department and California Department of Fish and Wildlife prior to the use of any lights, generators or fans. Conformance will be evaluated using auditory disturbance guidance prepared by the United States Fish and Wildlife Service and any other relevant published literature. Should the applicant propose to achieve noise attenuation by placing the generators inside a building(s), the applicant shall secure a building permit prior to construction.
15. The applicant shall be compliant with the County of Humboldt's Certified Unified Program Agency (CUPA) requirements regarding hazardous materials. A written verification of compliance shall be required before any provisional permits may be finalized.
16. The applicant shall submit to the Division of Environmental Health (DEH) receipts, or a copy of contract confirming sufficient use of portable toilets to serve staff or provide written assessment from a qualified septic consultant confirming a Tier 0 status for the existing onsite waste treatment system serving the dwelling.
17. The Applicant is required to pay for permit processing on a time and material basis as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of Supervisors. The Department will provide a bill to the Applicant after the decision. Any and all outstanding Planning fees to cover the processing of the application to decision by the Hearing Officer shall be paid to the Humboldt County Planning Division, 3015 "H" Street, Eureka.

Ongoing Requirements/Development Restrictions Which Must be Satisfied for the Life of the Project:

1. All components of project shall be developed, operated, and maintained in conformance with the Project Description, the approved Plot Plan, the Plan of Operations, and these conditions of approval. Changes shall require modification of this permit except where consistent with Humboldt County Code Section 312-11.1, Minor Deviations to Approved Plot Plan. If offsite processing is chosen to be the preferred method of processing, the Applicant shall notify the Department of the identity of the offsite licensed facility. This change will be processed as a Minor Deviation.
2. Transportation of cannabis across federal lands may be subject to federal enforcement action. Approval of this permit does not authorize any transportation of cannabis across federal lands.
3. The applicant shall have yearly well inspections to evaluate drawdown and the potential for the well to go dry. The well inspection shall be conducted using a standard pump test and occur during the dry season by a licensed profession to the satisfaction of the County and CDFW.
4. The applicant shall not use any erosion control materials that contain synthetic (e.g., plastic or nylon) netting, including photo- or biodegradable plastic netting. Geotextiles, fiber rolls, and other erosion control measures shall be made of loose-weave mesh, such as jute, hemp, coconut (coir) fiber, or other products without welded weaves.
5. The applicant shall maintain compliance with the CUPA requirements regarding hazardous materials.
6. Cannabis cultivation and other commercial cannabis activity shall be conducted in compliance with all laws and regulations as set forth in the Humboldt County Commercial Medical Marijuana Land Use Ordinance (CMMLUO) and the Medical and Adult Use Cannabis Regulation and Safety Act (MAUCRSA), as may be amended from time to time, as applicable to the permit type.
7. The operation shall participate in the Commercial Cannabis Track and Trace Program administered by the Humboldt County Agricultural Commissioner or State equivalent, when available.
8. Possession of a current, valid required license, or licenses, issued by any agency of the State of California in accordance with the MAUCRSA, and regulations promulgated thereunder, as soon as such licenses become available.
9. Compliance with all statutes, regulations and requirements of the California State Water Resources Control Board and the Division of Water Rights, at a minimum to include a statement of diversion of surface water from a stream, river, underground stream, or other watercourse required by Water Code Section 5101, or other applicable permit, license, or registration, as applicable.
10. Maintain enrollment in Tier 1, 2 or 3, certification with the North Coast Regional Water Quality Control Board (NCRWQCB) Order No. R1-2015-0023, if applicable, or any substantially equivalent rule that may be subsequently adopted by the County of Humboldt or other responsible agency.
11. Confinement of the area of cannabis cultivation, processing, manufacture or distribution to the locations depicted on the approved Plot Plan. The commercial cannabis activity shall be set back at least 30 feet from any property line, and 600 feet from any School, School Bus Stop, Church or other Place of Religious Worship, or Tribal Cultural Resources, except where a reduction to this setback has been approved pursuant to Section 55.4.11 (d).

12. At all times, on-site workers shall have access to safe drinking water and toilets and handwashing facilities that comply with applicable federal, state, and local laws and regulations. Plumbing facilities and water source must be capable of handling increased usage without adverse consequences to neighboring properties or the environment.
13. Comply with the terms of any applicable Streambed Alteration (1600) Permit obtained from the Department of Fish & Wildlife.
14. Odors shall be contained on the property on which the Cannabis activity is located. To implement this requirement air filtration and ventilation equipment is to be maintained in good working condition and monitored on an on-going basis to limit potential adverse odor emission impacts to employees and/or properties located in the vicinity of the operation. If the County receives any odor complaints, the permit holder shall work with the Building Official to correct odor concerns.
15. Consent to an annual on-site compliance inspection, with at least 24 hours prior notice, to be conducted by appropriate County officials during regular business hours (Monday – Friday, 9:00 am – 5:00 pm, excluding holidays).
16. Refrain from the improper storage or use of any fuels, fertilizer, pesticide, fungicide, rodenticide, or herbicide.
17. Pay all applicable application and annual inspection fees.
18. Storage of Fuel - Fuel shall be stored and handled in compliance with applicable state and local laws and regulations, including the County of Humboldt's CUPA program, and in such a way that no spillage occurs.
19. The Master Log Books maintained by the Applicant to track production and sales shall be maintained for inspection by the County.
20. Pay all applicable taxes as required by the Humboldt County Commercial Marijuana Cultivation Tax Ordinance (Humboldt County Code Section 719-1 et seq.).
21. Term of Commercial Cannabis Activity Conditional Use Permit. Any Commercial Cannabis Cultivation CUP issued pursuant to the CMMLUO shall expire after one (1) year after date of issuance, and on the anniversary date of such issuance each year thereafter, unless an annual compliance inspection has been conducted and the permittees and the permitted site have been found to comply with all conditions of approval.

If the inspector or other County official determines that the permittees or site do not comply with the conditions of approval, the inspector shall serve the SP or permit holder with a written statement identifying the items not in compliance, and the action that the permit holder may take to cure the non-compliance, or file an appeal within ten (10) days of the date that the written statement is delivered to the permit holder. Personal delivery or mailing the written statement to the mailing address listed on the application by regular mail, plus three (3) days after date of mailing, shall constitute delivery. The permit holder may request a re-inspection to determine whether or not the permit holder has cured all issues of non-compliance. Failure to request re-inspection or to cure any items of non-compliance shall terminate the Special Permit, immediately upon the expiration of any appeal period, or final determination of the appeal if an appeal has been timely filed pursuant to section 55.4.13.

22. Acknowledgements to Remain in Full Force and Effect. Permittee Acknowledges that the County reserves the right to reduce the size of the area allowed for cultivation under any clearance or permit issued in accordance with this Section in the event that environmental conditions, such as a sustained drought or low flows in the watershed in which the cultivation area is located will not support diversions for irrigation.

Permittee further acknowledges and declares that:

- I. All commercial cannabis activity that I, my agents, or employees conduct pursuant to a permit from the County of Humboldt shall be solely for medical purposes and all commercial cannabis products produced by me, my agents, or employees are intended to be consumed solely by qualified patients entitled to the protections of the Compassionate Use Act of 1996 (codified at Health and Safety Code section 11362.5); and
 - II. All cannabis or cannabis products under my control, or the control of my agents or employees, and cultivated or manufactured pursuant to local Ordinance and the California Medical Marijuana Regulation and Safety Act will be distributed within the State of California; and
 - III. All commercial cannabis activity conducted by me, or my agents or employees pursuant to a permit from the County of Humboldt will be conducted in compliance with the California Medical Marijuana Regulation and Safety Act.
23. Transfers. Transfer of any leases or permits approved by this project is subject to the review and approval of the Planning Director for conformance with CMMLUO eligibility requirements, and agreement to permit terms and acknowledgments. The fee for required permit transfer review shall accompany the request. The request shall include the following information:
- a. Identifying information for the new Owner(s) and management as required in an initial permit application;
 - b. A written acknowledgment by the new Owner in accordance as required for the initial Permit application;
 - c. The specific date on which the transfer is to occur; and
 - d. Acknowledgement of full responsibility for complying with the existing Permit; and
 - e. Execution of an Affidavit of Non-diversion of Medical Cannabis.
24. Inspections. The permit holder and subject property owner are to permit the County or representative(s) or designee(s) to make inspections at any reasonable time deemed necessary to assure that the activities being performed under the authority of this permit are in accordance with the terms and conditions prescribed herein

Performance Standards for Cultivation and Processing Operations

25. Pursuant to the MAUCRSA, Health and Safety Code Section 19322(a)(9), an applicant seeking a cultivation license shall "provide a statement declaring the applicant is an 'agricultural employer,' as defined in the Alatorre-Zenovich-Dunlap-Berman Agricultural Labor Relations Act of 1975 (Part 3.5 commencing with Section 1140) of Division 2 of the Labor Code), to the extent not prohibited by law."
26. Cultivators shall comply with all applicable federal, state, and local laws and regulations governing California Agricultural Employers, which may include: federal and state wage and hour laws, CAL/OSHA, OSHA, California Agricultural Labor Relations Act, and the Humboldt County Code (including the Building Code).
27. Cultivators engaged in processing shall comply with the following Processing Practices:
- i. Processing operations must be maintained in a clean and sanitary condition including all work surfaces and equipment.
 - ii. Processing operations must implement protocols which prevent processing contamination and mold and mildew growth on cannabis.
 - iii. Employees handling cannabis in processing operations must have access to facemasks and gloves in good operable condition as applicable to their job function.
 - iv. Employees must wash hands sufficiently when handling cannabis or use gloves.

28. All persons hiring employees to engage in commercial cannabis cultivation and processing shall comply with the following Employee Safety Practices:

- I. Cultivation operations and processing operations must implement safety protocols and provide all employees with adequate safety training relevant to their specific job functions, which may include:
 - (a) Emergency action response planning as necessary;
 - (b) Employee accident reporting and investigation policies;
 - (c) Fire prevention;
 - (d) Hazard communication policies, including maintenance of material safety data sheets (MSDS);
 - (e) Materials handling policies;
 - (f) Job hazard analyses; and
 - (g) Personal protective equipment policies, including respiratory protection.
- II. Cultivation operations and processing operations must visibly post and maintain an emergency contact list which includes at a minimum:
 - (a) Operation manager contacts;
 - (b) Emergency responder contacts; and
 - (c) Poison control contacts.
- III. At all times, employees shall have access to safe drinking water and toilets and handwashing facilities that comply with applicable federal, state, and local laws and regulations. Plumbing facilities and water source must be capable of handling increased usage without adverse consequences to neighboring properties or the environment.
- IV. On site-housing provided to employees shall comply with all applicable federal, state, and local laws and regulations.

29. All cultivators shall comply with the approved Processing Plan as to the following:

- I. Processing Practices.
- II. Location where processing will occur.
- III. Number of employees, if any.
- IV. Employee Safety Practices.
- V. Toilet and handwashing facilities.
- VI. Plumbing and/or septic system and whether or not the system is capable of handling increased usage.
- VII. Drinking water for employees.
- VIII. Plan to minimize impact from increased road use resulting from processing.
- IX. Onsite housing, if any.

30. Term of Commercial Cannabis Activity Special Permit. Any Commercial Cannabis Cultivation Special Permit (SP) issued pursuant to the CMMLUO shall expire after one (1) year after date of issuance, and on the anniversary date of such issuance each year thereafter, unless an annual compliance inspection has been conducted and the permittees and the permitted site have been found to comply with all conditions of approval.

If the inspector or other County official determines that the permittees or site do not comply with the conditions of approval, the inspector shall serve the SP or permit holder with a written statement identifying the items not in compliance, and the action that the permit holder may take to cure the non-compliance, or file an appeal within ten (10) days of the date that the written statement is delivered to the permit holder. Personal delivery or mailing of the written statement to the mailing address listed on the application by regular mail, plus three (3) days after date of mailing, shall constitute delivery. The permit holder may request a re-inspection to determine whether or not the permit holder has cured all issues of non-compliance. Failure to request re-inspection or to cure any items of non-compliance shall terminate the SP, immediately upon the expiration of any appeal

period, or final determination of the appeal if an appeal has been timely filed pursuant to HCC Section 55.4.13.

31. Permit Renewals to comply with Updated Laws and Regulations. Permit renewal per Ongoing Condition of Approval #25 above is subject to the laws and regulations effective at the time of renewal, which may be substantially different than the regulations currently in place and may require the submittal of additional information to ensure that new standards are met.
32. Acknowledgements to Remain in Full Force and Effect. Permittee acknowledges that the County reserves the right to reduce the size of the area allowed for cultivation under any clearance or permit issued in accordance with this Section in the event that environmental conditions, such as a sustained drought or low flows in the watershed in which the cultivation area is located, will not support diversions for irrigation.
33. Permittee further acknowledges and declares that:
 - I. All commercial cannabis activity that I, my agents, or employees conduct pursuant to a permit from the County of Humboldt shall be solely for medical purposes and all commercial cannabis products produced by me, my agents, or employees are intended to be consumed solely by qualified patients entitled to the protections of the Compassionate Use Act of 1996 (codified in Health and Safety Code Section 11362.5);
 - II. All cannabis or cannabis products under my control, or the control of my agents or employees, and cultivated or manufactured pursuant to local Ordinance and the California MAUCRSA will be distributed within the State of California; and
 - III. All commercial cannabis activity conducted by me, or my agents or employees pursuant to a permit from the County of Humboldt will be conducted in compliance with the California MAUCRSA.
34. Transfers. Transfer of any leases or permits approved by this project is subject to the review and approval of the Planning Director for conformance with CMMLUO eligibility requirements, and agreement to permit terms and acknowledgments. The fee for required permit transfer review shall accompany the request. The request shall include the following information:
 - f. Identification of information for the new Owner(s) and management as required in the initial permit application;
 - g. Acknowledgment, in writing, by the new Owner(s) as required for the initial permit application;
 - h. Inclusion of the specific date on which the transfer is to occur;
 - i. Acknowledgement of full responsibility for complying with the existing Permit; and
 - j. Execution of an Affidavit of Non-diversion of Medical Cannabis.
35. Inspections. The permit holder and subject property owner are to permit the County or representative(s) or designee(s) to make inspections at any reasonable time deemed necessary to assure that the activities being performed under the authority of this permit are in accordance with the terms and conditions prescribed herein.

Informational Notes:

1. This permit approval shall expire and become null and void at the expiration of one (1) year after all appeal periods have lapsed (see "Effective Date"); except where building permits have been secured and/or the use initiated pursuant to the terms of the permit, the use is subject to the Permit Duration and Renewal provisions set forth in Condition of Approval #25 of the On-Going Requirements /Development Restrictions, above.
2. If cultural resources are encountered during construction activities, the contractor on site shall cease all work in the immediate area and within a 50-foot buffer of the discovery location. A qualified archaeologist as well as the appropriate Tribal Historic Preservation Officer(s) are to be contacted

to evaluate the discovery and, in consultation with the applicant and lead agency, develop a treatment plan in any instance where significant impacts cannot be avoided.

3. Prehistoric materials may include obsidian or chert flakes, tools, locally darkened midden soils, groundstone artifacts, shellfish or faunal remains, and human burials. If human remains are found, California Health and Safety Code 7050.5 requires that the County Coroner be contacted immediately at 707-445-7242. If the Coroner determines the remains to be Native American, the NAHC will then be contacted by the Coroner to determine appropriate treatment of the remains pursuant to PRC 5097.98. Violators shall be prosecuted in accordance with PRC Section 5097.99.
4. The applicant is responsible for costs for permit processing and the post-approval review for project conformance with conditions on a time and material basis as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of Supervisors. After the decision on the application, the Department will send a bill to the applicant for costs incurred in permit processing that exceed the deposit on hand. Also, the Department will send a bill to the applicant for all staff costs for review of the project for conformance with the conditions of approval. Any and all Planning fees shall be paid to the Humboldt County Planning Division, 3015 "H" Street, Eureka.

ATTACHMENT 2

STAFF ANALYSIS OF THE EVIDENCE SUPPORTING THE REQUIRED FINDINGS

Required Findings: To approve this project, the Hearing Officer must determine that the applicant has submitted evidence in support of making **all** of the following required findings.

The County Zoning Ordinance, Sections 312-1.1.2 and 312-17.1 of the Humboldt County Code (Required Findings for All Discretionary Permits) specify the findings that are required to grant a Conditional Use Permit/Special Permit:

1. The proposed development is in conformance with the County General Plan;
2. The proposed development is consistent with the purposes of the existing zone in which the site is located;
3. The proposed development conforms with all applicable standards and requirements of these regulations;
4. The proposed development and conditions under which it may be operated or maintained will not be detrimental to the public health, safety, or welfare; or materially injurious to property or improvements in the vicinity;
5. The proposed development does not reduce the residential density for any parcel below that utilized by the Department of Housing and Community Development in determining compliance with housing element law (the midpoint of the density range specified in the plan designation) unless the following written findings are made supported by substantial evidence: 1) the reduction is consistent with the adopted general plan including the housing element; and 2) the remaining sites identified in the housing element are adequate to accommodate the County share of the regional housing need; and 3) the property contains insurmountable physical or environmental limitations and clustering of residential units on the developable portions of the site has been maximized; and
6. In addition, the California Environmental Quality Act (CEQA) states that one of the following findings must be made prior to approval of any development which is subject to the regulations of CEQA. The project either:
 - a. Is categorically or statutorily exempt; or
 - b. Has no substantial evidence that the project will have a significant effect on the environment and a negative declaration has been prepared; or
 - c. Has had an environmental impact report (EIR) prepared and all significant environmental effects have been eliminated or substantially lessened, or the required findings in Section 15091 of the CEQA Guidelines have been made.

Staff Analysis of the Evidence Supporting the Required Findings: To approve this project, the Hearing Officer must determine that the applicant has submitted evidence in support of making **all** of the following required findings.

1. The proposed development must be consistent with the General Plan. The following table identifies the substantial evidence which supports finding that the proposed development is in conformance with all applicable policies and standards of the Humboldt County General Plan.

Plan Section	Summary of Applicable Goal, Policy or Standard	Evidence Which Supports Making the General Plan Conformance Finding
<p>Land Use Chapter 4</p> <p>Land Use Designations Section 4.8</p>	<p>Timberland (T): Lands primarily suitable for the growing, harvesting and production of timber. Allowable uses include timber production, general agriculture, timber/agricultural products processing, natural resources uses, other uses</p> <p>Density range is 40 -160 acres/unit</p>	<p>The CMMLUO provides for the cultivation and processing of medical cannabis within the zoning districts where agriculture is a principally permitted use, with limits and in compliance with performance standards that will preserve space for more traditional agricultural activities that supply food and fiber contributing to a diverse economic base. The existing cultivation and proposed relocation of the existing cultivation areas is considered an agricultural use, and the processing facility and supportive infrastructure may be considered accessory to the agricultural use.</p> <p>The referenced section enumerates "resource production allowing intensive management" as a primary and compatible use. The project entails the permitting of cannabis cultivation areas totaling 12,634 square feet (sf) on an approximate 120-acre site. These actions are consistent with these objectives. Agriculture is a compatible use on Timber Production lands. The proposed action would approve a Special Permit for cultivation of cannabis for medical use, which is an agricultural product, on a parcel in the Timber Production Zone with an underlying land use designation of Timber Production.</p> <p>The proposed project does not include the harvesting or removal of any timber associated with the proposed project so the site would be preserved for that use in the future. In addition, the California Department of Forestry and Fire Protection (CALFIRE) issued a less than three-acre conversion exemption on December 13, 2013. The Final Completion notice permit number is 1-13EX-281-HUM and was issued for the taking of 25% Douglas fir and 75% other hardwood.</p>

Plan Section	Summary of Applicable Goal, Policy or Standard	Evidence Which Supports Making the General Plan Conformance Finding
		<p>CALFIRE indicated a request for standard conditions related to Fire Safe, Resource Management, and Cannabis. The applicant has included a Shunt turn-around for fire equipment, fire hydrants, and appropriate water storage on the Plot Plan. All are featured in the most current site plan.</p>
<p>Circulation Chapter 7</p>	<p>Goals and policies contained in this Chapter relate to a balanced, safe, efficient, accessible and convenient circulation system that is appropriate for each type of unincorporated community (C-G1,CT-G2); coordinated planning design, development, operations, and maintenance between the County and other transportation system service providers (C-G3); and access for all transportation mode types with improved opportunities to move goods within, into and out of Humboldt County (C-GX, C-GXXX)</p> <p>Related policies: C-P3. Consideration of Transportation Impacts in Land Use Decision Making</p>	<p>Primary access to the project site would be provided via Paradise Ridge Road. This is the portion of Paradise Ridge Road accesses the westerly side of the project site and trends southerly through the BLM managed King Range National Conservation Area RMP to the west and southwest of the project site. County WebGIS names this alignment as "Etter Ranch Road" and shows that it generally trends north and south. From the project site, Paradise Ridge Road would be used for a distance of approximately five miles to the intersection with Shelter Cove Road. The entirety of Paradise Ridge Road crosses BLM lands. Shelter Cove Road trends in a generally northeasterly and southwesterly direction and traverses BLM land for approximately two miles. The proposed project would employ five seasonal workers during the growing season of approximately six months. The applicant is encouraging workers to utilize carpooling to reduce vehicle trips.</p> <p>Paradise Ridge Road is an unpaved roadway and according to the applicant is maintained to the functional equivalent of a Category 4 standard. Shelter Cove Road is paved and striped with one lane in each direction.</p> <p>The proposed project would generate approximately ten vehicle trips per day on the road referred to by the applicant as Paradise Ridge Road but that is shown on County WebGIS as a north south alignment of "Etter Ranch Road." The applicant also would take access via Shelter Cove Road which intersects near the southern terminus of Etter Ranch Road. This is not considered a substantial volume of traffic and is not expected to significantly deteriorate the quality of either road.</p>

Plan Section	Summary of Applicable Goal, Policy or Standard	Evidence Which Supports Making the General Plan Conformance Finding
Housing Chapter 8	<p>Goals and policies contained in this Element seek to identify existing and projected housing needs and establish goals, policies, standards and measures for the preservation, improvement, and development of housing.</p> <p>Related policies: H-P3, Development of Parcels in the Residential Land Inventory</p>	<p>The proposed project does not involve residential development, nor is the project site part of the Housing element Residential Land Inventory. The proposed project contains one single family residence that will remain upon project implementation. In addition, the proposed project will not preclude any future residential development. The project will not reduce the residential density for any parcel below utilized by the Department of Housing and Community Development in determining compliance with housing element law.</p>
<p>Conservation and Open Space Chapter 10</p> <p>Open Space Section 10.2</p>	<p>Goals and policies contained in this Chapter relate to an Open Space and Conservation Program that is complimentary to other agencies' plans and that preserves the county's unique open spaces (CO-G1,CO-G3)</p> <p>Related policies: CO-P1, Conservation and Open Space Program; CO-P8, Development Review, CO-S1. Identification of Local Open Space Plan, and CO-S2. Identification of the Open Space Action Program</p>	<p>The proposed project is located within Open Space Land Plan because the project site is planned Timberland and is zoned Timberland Production Zone (TPZ). The project can be found consistent with the Open Space Plan Open Space Action because the proposed project is consistent with the allowable uses of the Land Use Designations. The proposed cannabis cultivation - an agricultural product - is within land planned for agricultural purposes, consistent with the use of Open Space land for management production of resources.</p> <p>The proposed project also improves areas within proximity to a streamside management area and through the removal of an existing cultivation area that has erosion prone soil to an environmentally superior area that had been previously cleared and for which CAL FIRE issued a less than 3-acre conversion (#1-13EX-281-HUM) and has less erosion prone soils.</p>

Plan Section	Summary of Applicable Goal, Policy or Standard	Evidence Which Supports Making the General Plan Conformance Finding
<p>Conservation and Open Space Chapter 10</p> <p>Biological Resources Section 10.3</p>	<p>Goals and policies contained in this Chapter relate to mapped sensitive habitat areas where policies are applied to protect fish and wildlife and facilitate the recovery of endangered species (BR-G1, Threatened and Endangered Species, BR-G2, Sensitive and Critical Habitat, BR-G3, Benefits of Biological Resources)</p> <p>Related policies: BR-P1. Compatible Land Uses, BR-P5. Streamside Management Areas.</p>	<p>There are no mapped NSO sightings or activity centers within the project site. The nearest mapped NSO sightings are approximately 0.5 miles to the west and 0.5 miles to south, with mapped activity centers approximately 0.7 miles to the west and 1.5 miles to the south. However, based on correspondence received from the CDFW on June 22, 2018 regarding the potential presence of NSO, a condition of approval for habitat scoping and noise and light attenuation (if necessary) has been added to this project.</p> <p>The neighboring BLM lands are managed for the creation and maintenance of habitat for Marbled Murrelet (MaMu). Conditions have been added to protect MaMu that may use the property or adjacent lands as a nest site.</p> <p>The project site has two existing water courses within The Camp Mendocino Watershed. Notley Creek runs easterly through the northern portion of the project site and approximately 500 feet from the northerly boundary of the proposed relocation site of the cultivation area. Little Finley Creek is located approximately 475 feet to the south of the proposed location for the relocated cultivation site. The cultivation site would be outside the required buffer and Streamside Management Area (SMA) of both watercourses and associated sensitive habitats. A Water Resources Protection Plan (WRPP) was prepared by Timberland Resource Consultants (TRC) to remediate the degraded conditions in areas typically associated stream crossings and culverts. Approximately half of the remediation efforts have been completed, and not only protect stream habitat and water quality, but sensitive species that may use the streams or be downstream of the project site.</p> <p>Requirements for erosion control to protection of aquatic resources, other conditions of approval have been added which would protect sensitive species. These conditions, as well as other standard permitting conditions, would be sufficient to protect natural resources on this parcel.</p>
<p>Conservation and Open Space Chapter 10</p>	<p>Goals and policies contained in this Chapter relate to the protection and enhancement of significant cultural resources, providing heritage, historic, scientific, educational, social</p>	<p>A cultural resources investigation was not completed for the proposed project. The proposed cultivation site is located on a ridgeline and has been previously cleared of timber and is hence, heavily disturbed. Correspondence with the Tribal Historic</p>

Plan Section	Summary of Applicable Goal, Policy or Standard	Evidence Which Supports Making the General Plan Conformance Finding
<p>Cultural Resources Section 10.6</p>	<p>and economic values to benefit present and future generations (CU-G1, Protection and Enhancement of Significant Cultural Resources)</p> <p>Related policies: CU-P1. Identification and Protection, CU-P2. Native American Tribal Consultation]</p>	<p>Preservation Officer (THPO) for the Bear River Band of Rohnerville Rancheria did not request a cultural resources survey. In the instance cultural resources are discovered during any construction activities, a condition of approval requiring the Inadvertent Discovery Protocol has been added to the proposed project.</p>
<p>Conservation and Open Space Chapter 10</p> <p>Scenic Resources Section 10.6</p>	<p>Goals and policies contained in this Chapter relate to the protection of scenic areas that contribute to the enjoyment of Humboldt County's beauty and abundant natural resources (SR-G1); and a system of scenic highways roadways that increase the enjoyment of, and opportunities for, recreational and cultural pursuits and tourism in the County. (SR-Gx)</p> <p>Related policies: SR-SX. Light and Glare</p>	<p>The project involves 12,634 sf of outdoor cultivation and 2,160 sf of mixed light cultivation. The applicant's Site Plan Overview and Cultivation and Operations Plan include the use of artificial light in that will use a blackout curtain system to block artificial light from escaping from sunset to sunrise when artificial light is used. The CMMLUO requires that cultivation comply with International Dark Sky Association standards for Lighting Zone 0 and Lighting Zone 1, and be designed to regulate light spillage onto neighboring properties resulting from backlight, uplight, or glare (BUG). International Dark Sky Association Standards exceed the requirements of Scenic Resources Standard SR-SX, Light and Glare, that lighting be fully shielded, and designed and installed to minimize off-site lighting and direct light within the property boundaries. The project site is not located near any designated scenic highway and does not have the potential to affect a scenic highway. Conformance to these regulations also would serve to minimize impacts to the adjacent BLM lands that would otherwise occur. To ensure conformance, a condition of approval requiring implementation of International Dark Sky Association standards has been added to the proposed project.</p>

Plan Section	Summary of Applicable Goal, Policy or Standard	Evidence Which Supports Making the General Plan Conformance Finding
<p>Water Resources Chapter 11</p> <p>Stormwater Drainage</p>	<p>Goals and policies contained in this Chapter relate to coordinated watershed planning and land use decision making to advance management priorities (WR-G3, WR-G4, WR-G5); watershed conservation and restoration efforts aimed at de-listing water bodies and watersheds which are restored to meet all beneficial uses, including water use, salmon and steelhead recovery plans, recreational activities, and the economy (WR-G1, WR-G, WR-G7, WR-G8, WR-G8x); and</p> <p>Related policies: WR-P8. Erosion and Sediment Discharge; WR-P36. Erosion and Sediment Control Measures.</p>	<p>The proposed project includes 12,643 sf of cultivation occurring in full-sun gardens, five light-deprivation hoop structures, and one 2,160 sf mixed light greenhouse. The outdoor cultivation area uses drip irrigation and mulch and cover cropping are used to reduce erosion. In addition, the area also contains native grass areas which further reduce any erosive runoff.</p> <p>The project site falls within Tier 2 of the North Coast Regional Water Quality Control Board's (NCRWQCB) Order No. 2015-0023 (Order), which requires preparation of a Water Resources Protection Plan (WRPP) to protect water quality from cannabis cultivation and related activities. The applicant retained TRC to prepare a WRPP. The WRPP was prepared to describe and address the required elements and compliance with the 12 Standard Conditions established by the Order. The WRPP identified areas where the project site does not meet all 12 Standard Conditions and set a preliminary schedule prioritizing corrective actions to reach full compliance with the Order. The MRPP identified remediation efforts and corrective actions needed to bring the site into compliance, as well as a monitoring and reporting plan following remediation activities. Approximately 50% of the remediation efforts have been completed and the balance are scheduled to be completed by October of 2018.</p> <p>The WRPP recommended removal of an existing cultivation area in proximity to Little Finley Creek due to the location of erodible soils. The site would be located to an environmentally superior site and the existing site would be remediated and revegetated with a native plant pallet.</p> <p>Conformance with WRPP have been added as a condition of approval and conformance to and implementation of these standards would be consistent with this policy.</p>

Plan Section	Summary of Applicable Goal, Policy or Standard	Evidence Which Supports Making the General Plan Conformance Finding
<p>Water Resources Chapter 11</p> <p>Onsite Wastewater Systems</p>	<p>Goals and policies contained in this Chapter relate to adequate public water supply as well as onsite wastewater systems and natural and developed storm drainage systems that minimize interference with surface and groundwater flows and storm water pollution (WR-G6, WR-G9, WR GX)</p> <p>Related policies: WR-IM7. Basin Plan Septic Requirements; and IS-P20. On-Site Sewage Disposal Requirements.</p>	<p>The project site has an existing Onsite Wastewater Treatment System (OWTS), an existing septic system, that is used for the existing residence. The Cultivation and Operations Plan indicates the applicant is in the process of having the OWTS properly permitted with Humboldt County Health and Human Services. The proposed project does not have access to a public water supply but is served by a permitted well. Humboldt County Department of Health and Human Services (HCDHHS) on May 2, 2016 and was issued permit #15/16-0706. Drilling of the well began and ended on 05/09/2016 and was drilled to a depth of 220 feet. A condition of approval has been included and requires the applicant to continue to provide portable toilets to accommodate worker waste until the existing septic system is repaired to the satisfaction of Humboldt County Planning and Building Department and properly permitted. These project elements and condition of approval would serve to minimize any interference with surface and ground water flows while protecting overall water resources.</p>
<p>Noise Chapter 13</p>	<p>Goals and policies contained in this Chapter discourage incompatible uses within communities and reduce excessive noise through the application of standards (N-G1, N-G2)</p> <p>Related policies: N-P1, Minimize Noise from Stationary and Mobile Sources; N-P4, Protection from Excessive Noise</p>	<p>The project site is approximately 120 acres in size and no residences are located within 600 feet on adjacent parcels. The applicant has installed a solar system that is capable of providing almost all the power needs for the proposed project. The greenhouses will be powered by solar panels which will not generate noise. The solar system consists of 30, 260W solar panels with a 12 KW propane generator as a backup power source. During the growing season solar panels provide 100% of power needed for the operations demands. An electric generator building is noted on the Plot Plan adjacent to the existing residence approximately 800 feet from the nearest parcel boundary. No Northern Spotted Owl were observed within the project site. For instances in which the generator is used, standard permitting conditions regarding reducing noise associated with its use have been added. Per the request of CDFW, conditions have been added for biological resources surveys. Implementation of these conditions would avoid noise impacts.</p>

<p>Safety Element Chapter 14</p> <p>Geologic & Seismic</p>	<p>Goals and policies contained in this Chapter relate to communities that are designed and built to minimize the potential for loss of life and property resulting from natural and manmade hazards; and to prevent unnecessary exposure to areas of geologic instability, floodplains, tsunami run-up areas, high risk wildland fire areas, and airport areas planned and conditioned to prevent unnecessary exposure of people and property to risks of damage or injury (S-G1, S-G2)</p> <p>Related policies: S-PX1. Site Suitability, S-P6. Structural Hazards,</p>	<p>A Geotechnical Investigation was conducted for the home site and agricultural terracing for the project area. The report was dated June 15, 2017. The site is not located in a mapped Alquist-Priolo fault zone nor is subject to liquefaction. The nearest fault to the project site is the San Andreas fault located approximately four miles to the west. The project site is not mapped in an existing floodplain, it located between approximately 1,500 feet above mean sea level (amsl) to 2,300 amsl and is approximately 3 miles east of the Pacific Ocean coast and is not subject to Tsunamis. The proposed project is not located in an airport contour area or military training route. The proposed project is located within a State Responsibility Area (SRA), but will provide required buffers, setbacks, fire turnarounds, and water for supply for fire suppression. According to the Humboldt County Web GIS, the site is shown as being in an area of moderate instability in relation to seismic safety but the site is not shown with a history of historic landslides. According to the California Department of Conservation (CDOC) geologic hazards data and maps, the project site is not location within the landslide inventory and does not have any active or historic landslide. The application is proposing to relocate cultivation from an existing site that is located on 35-45% slopes and is underlain by shallow soils often associated with earthflows and other unstable features. The proposed relocation site is located on a trending ridge and is underlain by much rockier soils and less prone to surface erosion. The proposed relocation site has been previously cleared under a permitted Less-than-three-acre conversion, and would be graded with five terraces to accommodate structures for light deprivation cultivation. Based on the conclusions of the report, the project home site is suitable for support of the residence without mitigation. The proposed site of the agricultural terraces is suitable for engineered fill and lightweight greenhouses subject to certain mitigation. Accordingly, all grading would be conducted in conformance with a Humboldt County Codes, and the applicant will, at a minimum, incorporate the standard erosion control measures and the geotechnical recommendations contained in the Geotechnical Investigation Report as part of the approved project or as mitigation. Therefore, the relocation of the cultivation</p>
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Plan Section	Summary of Applicable Goal, Policy or Standard	Evidence Which Supports Making the General Plan Conformance Finding
		<p>area to an environmentally and geologically superior site does not pose a threat to public safety related from exposure to natural or manmade hazards. Enumerated. Conditions of approval have been added to ensure that all grading is properly permitted.</p>
<p>Safety Element Chapter 14</p> <p>Flooding</p>	<p>Goals and policies contained in this Chapter relate to the use of natural drainage channels and watersheds that are managed to minimize peak flows in order to reduce the severity and frequency of flooding. (S-G3)</p> <p>Related policies include: S-P10, Federal Flood Insurance Program; S-P11, Flood Plains; S-PX3, Construction Within Special Flood Hazard Areas</p>	<p>The subject site is located in the Cape Mendocino Watershed and crossed by a Notley Creek and Little Finley Creek. The proposed relocation site for the cultivation area is approximately 300 feet greater in elevation than Notley Creek and approximately 200 feet greater in elevation than Little Finley Creek. Neither watercourse is identified as a flood hazard and there is no portion of the project site located in a Federal Emergency Management Agency (FEMA) flood zone mapped as of (06/21/2017). The nearest 100-year flood zone is associated with Bear Creek approximately one mile to the northeast and approximately 1,500 feet downgradient from the proposed cultivation area. In addition, the project site is not within a mapped dam or levee inundation area, is approximately 3 miles distance from the Pacific Ocean coast, and is between approximately 1,500 to 2,300 feet amsl and is not subject to tsunami run-up. Therefore, the project is would not be subject to any area flooding from a natural drainage channel and would not be affected by peak flows of any watercourses.</p>
<p>Safety Element Chapter 14</p> <p>Fire Hazards</p>	<p>Goals and policies of this Chapter encourage development designed to reduce the risk of structural and wildland fires supported by fire protection services that minimize the potential</p> <p>Related policies: S-P15, Conformance with State Responsibility Areas (SRA) Fire Safe Regulations;</p>	<p>The subject property is located within the State Responsibility Area where the State of California has the primary financial responsibility for the prevention and suppression of wildland fires. County GIS shows the site within a high fire hazard severity zone. The project, however, does not propose any new habitable structures except for the future construction of a proposed processing building. The proposed project Plot Plan includes the provision of a shunt turn-around for fire equipment per the 2016 standards, an adjacent fire hydrant (standpipes) for local fire department hookups, and dedicated water storage for fire suppression (3,000) gallons adjacent to three 5,000-gallon hard sided tanks, which will provide fire protection.</p>

Plan Section	Summary of Applicable Goal, Policy or Standard	Evidence Which Supports Making the General Plan Conformance Finding
		<p>CAL FIRE comments recommended compliance with the requirements of the County's Fire Safe Regulations, Resource Management policies, and for cannabis cultivation in SRA lands. The project would comply with the requirements of the County's Fire Safe Regulations and the Humboldt County Fire Safe Ordinance (Section 3111-1 et seq.), which establishes development standards for minimizing wildfire danger in state responsibility designated areas. Conditions of approval addressing other CALFIRE requests have been added.</p>
<p>Air Quality Chapter 15</p>	<p>Goals and policies contained in this Chapter relate to improved air quality to meet current and future state and federal standards, including attainment of particulate matter requirements (AQ-G1, AQ-G2, AQ-G2X) and the successful reduction of greenhouse gas emissions to levels consistent with state and federal requirements (AQ-G3)</p> <p>Related policies: AQ-P4, Construction and Grading Dust Control, AQ-S1. Construction and Grading Dust Control, AQ-P7. Interagency Coordination.</p>	<p>The proposed project includes use of solar power which would reduce emissions from the typical use of generators and would contribute to the reduction and reduce the generation of greenhouse gas emissions. The proposed project would require grading to facilitate use of the environmentally superior relocated cultivation area. As a condition of project approval, applications for grading and or building permits shall be referred to the North Coast Air Quality Management District (NCAQMD) for review and consultation. Dust control practices will be required during all work on the project site to include, culvert and BMP installation, any grading that would occur for work on the project site. All work shall achieve compliance with NCAQMD fugitive dust emission standards.</p>

2. Zoning Compliance and 3. Conforms with applicable standards and requirements of these regulations: The following table identifies the evidence which supports finding that the proposed development is in conformance with all applicable policies and standards in the Humboldt County Zoning Regulations.

Zoning Section and Summary of Applicable Requirement	Evidence That Supports the Zoning Finding
<p>§312-1.1.2 Legal Lot Requirement: development permits shall be issued only for a lot that was created in compliance with all applicable state and local subdivision regulations.</p>	<p>The original patent for the property containing the project site occurred in 1926, for 160 acres. The current configuration of the 120 acres parcel was legally created through the conveyance of 40 acres to a government entity, which was exempt from the subdivision requirements. There is no evidence indicating there have been any subsequent acts to merge or divide this parcel. Therefore, the subject parcel was lawfully created in its current configuration and can be developed as proposed.</p>

<p>§314-7.4 Timberland Production (TPZ) is intended to provide standards and restrictions for the preservation of timberlands for growing and harvesting timber.</p>	<p>Principal permitted uses in the Timberland Production (TPZ) zoning district includes, "accessory agricultural uses and structures as listed at Section 314-43.1.3 (Permitted Agricultural Accessory Uses) and 314-69.1-1 (Permitted Agricultural Accessory Structures)." The TPZ also includes grazing and other agricultural uses under Principle Permitted Uses Compatible with Timber Production. Pursuant to Humboldt County Code Section 43.1.3 – Permitted Agricultural Accessory Uses includes greenhouses, tank houses, and drainage facilities and structures. While the project applicant is not proposing to utilize the land for timber production, the proposed uses are consistent with those allowed in the TPZ, and a finding of consistency can be made for the project.</p>
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Zoning Section	Summary of Applicable Requirement	Evidence That Supports the Zoning Finding
§314-7.4 Timberland Production (TPZ)		
Minimum Lot Size	160 acres	The subject parcel is assessed at 120.7 acres in size. Pursuant to HCC Section 314-107.2.1, a substandard lot may be developed or sold if it was legally created. As discussed above, the subject parcel is a separate legal parcel.
Maximum Ground Coverage	N/A	Not applicable
Residential Density	No greater than 1 dwelling per 20 acres	The project site contains an existing residential unit. The applicant, however, is not proposing any new residential units and is consistent with this requirement.
Setbacks Front: 20 feet Rear: 30 feet Side: 30 feet		Front, north property line: the project Plot Plan shows a 926.4-foot setback. Rear, south property line: the project Plot Plan shows a 384.3-foot setback. Side, east and west property lines: The Plot Plan shows a set back from the western boundary of 372.5 feet and from the east of 364.4 feet.
Max. Building Height	None specified	The applicant proposed to construct a two-story structure adjacent to the existing residence. The proposed structure would be used for processing. The structure is not expected to exceed standard building height and would not violate this code as not height restrictions are listed.
§314-61.1 Streamside Management Area (SMA)	Purpose: to provide minimum standards pertaining to the use and development of land located within Streamside Management Areas (SMAs) and other wet areas (OWA) to implement the County's Open Space Element of the General Plan.	Water is sourced primarily from a permitted well (Humboldt County as well as a rainwater catchment system that would feed fifteen 2,500 gallon tanks. The proposed project does not consist of any water diversions within an SMA or OWA. The project site contains two SMA's including Notley Creek and Little Finley Creek. While the cultivation nearest Little Finley Creek is not within the adjacent SMA, the applicant proposes to relocate to an environmentally superior ridgeline site with less erodible soils, outside all SMA's and OWA's. This location is approximately 500 feet from Finley Creek and Notley Creek. Therefore, no cultivation or development would occur within an SMA or OWA.

314-55.4 et seq. HCC: Commercial Cultivation, Processing, Manufacturing and Distribution of Cannabis for Medical Use Inland Land Use Regulation (CMMLUO)

§ 314-55.4.8.2.2	On TPZ parcels (on parcels of one acre or larger), only when possible to bring them into compliance...	In accordance with the referenced section the applicant has applied for the necessary CUP due to the parcel being approximately 120 acres in size. Approval of the CUP for the project as proposed and conditioned would bring it into compliance with all applicable standards and eliminate violations.
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§314-55.4.8.2.2 Criterial for approval for existing outdoor and mix-light cultivation areas:

No expansion of the existing cultivation area shall be permitted. The total cultivation area allowed on a single parcel shall not exceed one acre for outdoor cultivation of 43,560 square feet for outdoor cultivation.	The applicant does not propose to expand the area within the project site currently under outdoor (12,643 sf) and mixed-light (2,160 sf) cultivation. The total area under cultivation is approximately 14,803 sf, which is less than the amount permissible. The project proposes to relocate a total of 12,643 of flowering greenhouses used as outdoor cultivation to an environmentally superior site. Therefore, the applicant is consistent with this requirement
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With documented current water right or other non-diversionary source of irrigation water.	Water for the proposed project is served by a permitted well is capable of pumping 20-gallons per minute. A water well application was filed with Humboldt County Department of Health and Human Services (HCDHHS) on May 2, 2016 and permit #15/16-0706 was issued. Drilling of the well began and ended on 05/09/2016 and was drilled to a depth of 220 feet. The well was determined by California Department of Fish and Wildlife (CDFW) to be non-jurisdictional and therefore, not hydrologically connected to a surface water under Fish and Game Code 1602 and is not required to be covered under any Lake and Streambed Alteration Agreement (LSAA). The property also derives water from a rain catchment system from a 2,100 sf roof. Based on the submitted evidence, the project complies with the referenced section.
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§314-55.4.8.2	In all zones where cultivation is allowed consisting of timberland, the commercial cultivation of cannabis for medical use shall only be permitted within a 3-acre conversion exemption area, or non-timberland open area, subject to the conditions and limitations set forth in this Section.	The applicant is proposing the relocation of approximately 12,643 sf of cultivation from a site on erodible soils near Little Finley Creek to an environmentally superior location approximately 500 feet from Little Finley Creek and Notley Creek. The proposed relocation site also would consist of 12,643 sf of cultivation and would be located in an area with an under a previously approved Less than three-acre conversion exemption. The exemption was issued to the named applicants by CAL FIRE on December 13, 2013. The Final Completion notice permit number is 1-13EX-281-HUM and was issued for the taking of 25% Douglas fir and 75% other hardwood. The applicant does not propose to expand the area under cultivation or relocate to areas not already harvested. In addition, existing site operations, and those as proposed, would not require removal of any trees. Therefore, the proposed project complies with the referenced section.
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§314-55.4.8.10 Permit Limit	No more than four commercial cannabis activity permits may be issued to a single person, as defined in the referenced section.	According to records maintained by the Department, this project requires, and the applicant is applying for two permits. The CUP is required for the project as proposed and a SP is requested for a waiver for Public Land setback. As a total of four permits are allowed, the proposed project complies with the referenced section. Therefore, the proposed project complies with the referenced section.
§314-55.4.9.1 Accessory Processing	Processing for cultivation requiring a Special Permit or Use Permit will be considered in the Use Permit application.	All commercial medical cannabis cultivated will be dried, cured, and trimmed by the applicant and by employees and temporary workers. While the applicants Cultivation and Operations Plan contains an thorough description of processing procedure, the project has been conditioned to include all applicable Employee Safe Practices enumerated in Section 55.4.11(q) through (u). If the applicant subsequently uses a third party for processing, the applicant will apply for a Special Permit pursuant to Section 55.4.8.4. This is added as a condition of approval
§314-55.4.9.4 Pre-Application Registration	Existing cultivation sites shall register with the County within 180 days of the effective date of this ordinance.	A Commercial Cannabis Registration Form for the site, APN 108-066-005, was filed with the Planning Division on June 6, 2016, and within the specified window. Therefore, the proposed project complies with the referenced section.
§314-55.4.10 Application Requirements	Identifies the Information Required for All Applications	Attachment 3 identifies the information submitted with the application, and shows all the required information was received.
§314-55.4.11 Performance Standards	Identifies the Performance Standards for Cannabis Cultivation Activities	All the applicable performance standards are included as conditions of project approval. They are required to be met throughout the timeframe of the permit.
§314-55.4.11.c Performance Standards-Water	Compliance with all statutes, regulations and requirements of the California State Water Resources Control Board, Division of Water Rights, at a minimum to include a statement of diversion of surface water from a stream, river, underground stream, or other watercourse required by Water Code Section 5101, or other applicable permit, license, or registration.	The applicant utilizes water from a permitted well and water from a rooftop rainwater catchment system. The well has been permitted by Humboldt County Department of Health and Human Services (HCDHHS) on May 2, 2016 and permit #15/16-0706 and, was determined by California Department of Fish and Wildlife (CDFW), confirmed by e-mail dated May 10, 2018, to be non-jurisdictional and therefore, not hydrologically connected to a surface water under Fish and Game Code 1602 and is not required to be covered under any Lake and Streambed Alteration Agreement (LSAA). The rooftop catchment system flows to an existing 2,500-gallon tank and does not require permitting. All existing water sources, existing water storage, and proposed water storage are greater than 600 feet from the nearest water course. Therefore, the proposed project complies with the referenced section.

<p>§314-55.4.11.d Performance Standards-Setbacks</p>	<p>The area of cannabis cultivation and on-site processing shall be setback at least 30 feet from any property line, and 600 feet from any school, school bus stop, church or other place of religious worship, public park, or tribal cultural resources (TCRs).</p>	<p>The applicant's site plan shows that the cultivation and processing area is setback approximately 20 to 30 feet from the northern property line and greater than 30 feet from all other property lines. The applicants site plan also shows that the cultivation and processing area conforms to required 600-foot setback from any school, school bus stop, church or other place of public worship, and public park. Although the project site was not surveyed for cultural resources per the request of the Tribal Historic Preservation Officer (THPO), a condition for inadvertent discovery for archaeological resources has been added. The proposed project would be located within 600 feet of BLM land that are subject to the 2005 King Range National Conservation Area Resource Management Plan (RMP). As discussed in the Executive Summary above, the proposed project would support increased wildlife and habitat protection than if the setback were not approved.</p>
<p>§314-55.4.11.o Performance Standards-Generator Noise</p>	<p>The noise produced by a generator used for cannabis cultivation shall not be audible by humans from neighboring residences. The combined decibel level for all noise sources, including generators, at the property line shall be no more than 60 decibels. Where applicable, sound levels must also show that they will not result in the harassment of Marbled Murrelet or Spotted Owl species, when generator use is to occur in the vicinity of potential habitat. Conformance will be evaluated using current auditory disturbance guidance prepared by the United State Fish and Wildlife Service</p>	<p>As discussed above the applicant proposes to use solar power for energy use on the site. The greenhouses will be powered by solar panels which will not generate noise. The solar system consists of 30, 260W solar panels with a 12 KW propane generator as a backup power source. During the growing season solar panels provide 100% of power needed for the operations demands. A generator building is also noted on the Plot Plan. The location of the generator is not in proximity to any offsite residential uses and is shown to be stored inside a building. No Northern Spotted Owl have been observed within on the parcel, though there may be habitat in proximity to the project site. For instances in which the generator is used, standard permitting conditions regarding reducing noise associated with its use have been added. Implementation of these conditions would avoid noise impacts. Therefore, the project conforms with the referenced standard. As discussed above, the applicant has installed a complete solar system and would only use a generator in emergency situations. As such, the proposed project produces very little extraneous noise as all cultivation related electrical equipment including greenhouse fans and lights are run off solar power.</p>
<p>§314-55.4.17 Sunset Date</p>	<p>No application for any Use Permit pursuant to the CMMLUO shall be processed for issuance or approval that is received after December 31, 2016.</p>	<p>The applicant filed the application on June 6, 2016.</p>

4. Public Health, Safety and Welfare, and 6. Environmental Impact: The following table identifies the evidence which supports finding that the proposed development will not be detrimental to the public health, safety and welfare or materially injurious to properties or improvements in the vicinity, and will not adversely impact the environment.

Code Section	Summary of Applicable Requirements	Evidence that Supports the Required Finding
§312-17.1.4	The proposed development will not be detrimental to the public health, safety and welfare, and will not be materially injurious to properties or improvements in the vicinity.	The Department finds that the proposed project will not be detrimental to the public health, safety and welfare since all reviewing referral agencies have approved the proposed project design. The project as proposed and conditioned is consistent with the general plan and zoning ordinances; and the proposed project is not expected to cause significant environmental damage.

5. Residential Density Target: The following table identifies the evidence which supports finding that the proposed project will not reduce the residential density for any parcel below that utilized by the Department of Housing and Community Development in determining compliance with housing element law.

Code Section	Summary of Applicable Requirement	Evidence that Supports the Required Finding
17.1.5 Housing Element Densities	The proposed development shall not reduce the residential density for any parcel below that utilized by the Department of Housing and Community Development in determining compliance with housing element law (the midpoint of the density range specified in the plan designation), except where: 1) the reduction is consistent with the adopted general plan including the housing element; and 2) the remaining sites identified in the housing element are adequate to accommodate the County share of the regional housing need; and 3) the property contains insurmountable physical or environmental limitations and clustering of residential units on the developable portions of the site has been maximized.	As discussed above the property was not included in the 2014 Housing Inventory because of the land use designation and zoning. The proposed project does contain an existing residential unit but there is no proposal to construct any additional residences on the project site. The project is in conformance with the standards in the Housing Element.

6. Environmental Impact: The following evidence supports finding that the proposed development is consistent with the California Environmental Quality Act and will not adversely impact the environment.

As lead agency, the Department prepared an Addendum to the previously adopted Mitigated Negative Declaration (MND) (State Clearinghouse # 2015102005) prepared for the Commercial Medical Marijuana Land Use Ordinance (CMMLUO) and adopted by the County Board of Supervisors January 26, 2015. The MND prepared for the CMMLUO established that the environmental effects of existing cultivation operations would be reduced from the baseline impacts through the regulations applied by the CMMLUO. The proposed project is consistent with all regulations within the CMMLUO and all mitigation measures of the MND. The project is for the approval of an existing cultivation, including relocating the cultivation areas to an environmentally superior location that would reduce the impacts of the proposed development. The environmental document on file includes detailed discussions of all the relevant environmental issues.

ATTACHMENT 3
CEQA Addendum

**CEQA ADDENDUM TO THE
MITIGATED NEGATIVE DECLARATION FOR THE COMMERCIAL MEDICAL MARIJUANA LAND USE
ORDINANCE**

***Commercial Medical Marijuana Land Use Ordinance Mitigated Negative Declaration (MND)
(State Clearinghouse # 2015102005), January 2016***

APN 108-066-005, Shelter Cove area, County of Humboldt

**Prepared By
Humboldt County Planning and Building Department
3015 H Street, Eureka, CA 95501**

February 2019

Background

Modified Project Description and Project History - The original project reviewed under the Mitigated Negative Declaration (MND) for the Commercial Medical Marijuana Land Use Ordinance (CMMLUO) addressed the broad environmental impacts that could be expected to occur from the adoption and implementation of the ordinance. The MND specified that the regulations established in the CMMLUO would mitigate the impacts of existing cannabis operations by establishing regulations for an existing unregulated land use to help prevent and reduce environmental impacts that are known to result from unpermitted baseline cultivation operations. The MND states that "Bringing existing operations into compliance will help to attenuate potential environmental effects from existing cultivation activities, including aesthetic impacts resulting from improper operation or poor siting."

The modified project involves a Conditional Use Permit (CUP) for 12,643 square feet of existing outdoor cannabis cultivation and 2,160 square feet of existing mixed light cultivation, and appurtenant uses. The project also involves a Special Permit for a reduction of the setback to public lands. Cultivation activities extend from February to October. Plants would be grown in a combination of raised beds and above-ground pots. The applicant proposes two mixed light and light deprivation harvests and one full-sun outdoor harvest annually. There would be an 800 square foot dedicated appurtenant nursery structure, and the 2,160 square foot mixed light greenhouse would be used as a nursery for part of the year. A 702 square foot, two-story processing facility is proposed adjacent to the existing residence. Until constructed processing would occur at a licensed processing facility. A maximum of two employees would be required for cultivation activities with a maximum of five for harvest and processing.

Pre-2016 cultivation consisted of three separate cultivation areas. The applicant proposes to relocate the cultivation areas to a centrally located outdoor cultivation area on ridge-top in a permitted less-than-three acre conversion area. Reorganization of the cultivation areas removes cultivation out of proximity to watercourses. Water for irrigation uses is provided from an existing well that is disconnected from surface water flows. Additional water is sourced from a rooftop rainwater catchment system. Approximately 211,080 gallons of water would be required annually to meet operational needs. Proposed water storage totals 92,500 gallons in hard tanks. The proposed on-site relocation will result in increased habitat and watershed protection, and the project's compliance with the CMMLUO will ensure that the modified project is fully consistent with the MND adopted for the CMMLUO.

Purpose - Section 15164 of the California Environmental Quality Act (CEQA) provides that the lead agency shall prepare an addendum to a previously certified Mitigated Negative Declaration (MND) if some changes or additions are necessary but none of the conditions described in Section 15162 calling for a subsequent EIR or Negative Declaration have occurred. Section 15162 states that when an EIR has been certified for a project, no subsequent EIR shall be prepared for that project unless the lead agency determines, on the basis of substantial evidence in the light of the whole record, one or more of the following:

1. Substantial changes are proposed in the project which require major revisions of the previous MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;
2. Substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous MND due to the involvement of

new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or

3. New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous MND was certified as complete, shows any of the following: A) the project will have one or more significant effects not discussed in the previous MND; B) significant effect previously examined will be substantially more severe than shown in the previous MND; C) mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative; or D) mitigation measures or alternatives which are considerably different from those analyzed in the previous MND would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.

Summary of Significant Project Effects and Mitigation Recommended

No changes are proposed for the original MND recommended mitigations. The proposal to authorize an existing 14,803 square foot commercial cannabis operation and to construct improvements necessary to bring the operation into compliance with the CMMLUO is fully consistent with the impacts identified and adequately mitigated in the original MND. The project as conditioned to implement responsible agency recommendations, results in no significantly adverse environmental effects beyond those identified in the MND.

Other CEQA Considerations

Staff suggests no changes for the revised project.

EXPLANATION OF DECISION NOT TO PREPARE A SUPPLEMENTAL MITIGATED NEGATIVE DECLARATION OR ENVIRONMENTAL IMPACT REPORT

See **Purpose** statement above.

In every impact category analyzed in this review, the projected consequences of the current project proposal are either the same or less than significantly increased than the initial project for which the MND was adopted. Based upon this review, the following findings are supported:

FINDINGS

1. The proposed project will permit an existing cannabis operation and bring the operation into compliance with county and state requirements intended to adequately mitigate environmental impacts.
2. The circumstances under which the project was approved have not changed substantially. There are no new significant environmental effects and no substantial increases in the severity of previously identified effects.
3. For the current proposed project, there has been no new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous MND was adopted as complete.

CONCLUSION

Based on these findings it is concluded that an Addendum to the certified MND is appropriate to address the requirements under CEQA for the current project proposal. All of the findings, mitigation requirements, and mitigation and monitoring program of the MND, remain in full force and effect on the original project.

ATTACHMENT 4

Applicant's Evidence In Support of the Required Findings

Attachment 4 includes a listing of all written evidence which has been submitted by the applicant in support of making the required findings. The following materials are on file with the Planning Division:

1. The name, contact address and phone number(s) of the applicant. (Application form on file)
2. If the applicant is not the record title owner of parcel, written consent of the owner for the application with original signature and notary acknowledgement. (On-file)
3. Site plan showing the entire parcel, including easements, streams, springs, ponds and other surface water features, and the location and area for cultivation on the parcel with dimensions of the area for cultivation and setbacks from property lines. The site plan shall also include all areas of ground disturbance or surface water disturbance associated with cultivation activities, including: access roads, water diversions, culverts, ponds, dams, graded flats, and other related features. If the area for cultivation is within ¼ mile (1,320 feet) of a school, school bus stop, church or other place of religious worship, public park, or Tribal Cultural Resource, the site plan shall include dimensions showing that the distance from the location of such features to the nearest point of the cultivation area is at least 600 feet. (Attached)
4. A cultivation and operations plan that meets or exceeds minimum legal standards for water storage, conservation and use; drainage, runoff and erosion control; watershed and habitat protection; and proper storage of fertilizers, pesticides, and other regulated products to be used on the parcel, and a description of cultivation activities (outdoor, indoor, mixed light), the approximate date(s) cannabis cultivation activities have been conducted on the parcel prior to the effective date of this ordinance, if applicable, and schedule of activities during each month of the growing and harvesting season. (Attached)
5. Copy of the statement of water diversion, or other permit, license or registration filed with the State Water Resources Control Board, Division of Water Rights, if applicable. (Not Applicable)
6. Description of water source, storage, irrigation plan, and projected water usage. (Included in cult. ops plan, attached)
7. Copy of Notice of Intent and Monitoring Self-Certification and other documents filed with the North Coast Regional Water Quality Control Board demonstrating enrollment in Tier 1, 2 or 3, North Coast Regional Water Quality Control Board Order No. 2015-0023, or any substantially equivalent rule that may be subsequently adopted by the County of Humboldt or other responsible agency. (On file)
8. If any on-site or off-site component of the cultivation facility, including access roads, water supply, grading or terracing impacts the bed or bank of any stream or other watercourse, a copy of the Streambed Alteration Permit obtained from the Department of Fish & Wildlife. (Attached)
9. If the source of water is a well, a copy of the County well permit, if available. (Attached)
10. If the parcel is zoned FR, U or TPZ, or involves the conversion of timberland as defined under section 4526 of the Public Resources Code, a copy of a less-than-3-acre conversion exemption or timberland conversion permit, approved by the California Department of Forestry and Fire Protection (CAL-FIRE). Alternately, for existing operations occupying sites created through prior unauthorized conversion of timberland, evidence may be provided showing that the landowner has completed a civil or criminal process and/or entered into a negotiated settlement with CAL-FIRE. (Attached)

11. Consent for onsite inspection of the parcel by County officials at prearranged date and time in consultation with the applicant prior to issuance of any clearance or permit, and once annually thereafter. (On file)
12. For indoor cultivation facilities, identify the source of electrical power and how it will meet with the energy requirements in section 55.4.8.2.3, and plan for compliance with applicable Building Codes. (Not applicable)
13. Acknowledge that the County reserves the right to reduce the size of the area allowed for cultivation under any clearance or permit issued in accordance with this Section in the event that environmental conditions, such as a sustained drought or low flows in the watershed will not support diversions for irrigation. (On file)
14. Acknowledge that the county reserves the right to engage with local Tribes before consenting to the issuance of any clearance or permit, if cultivation operations occur within an Area of Traditional Tribal Cultural Affiliation, as defined herein. This process will follow current departmental referral protocol, including engagement with the Tribe(s) through coordination with their Tribal Historic Preservation Officer (THPO) or other tribal representatives. This procedure shall be conducted similar to the protocols outlined under SB 18 (Burton) and AB 52 (Gatto), which describe "government to government" consultation, through tribal and local government officials and their designees. During this process, the tribe may request that operations associated with the clearance or permit be designed to avoid, minimize or mitigate impacts to Tribal Cultural Resources, as defined herein. Examples include, but are not limited to: conducting a site visit with the THPO or their designee to the existing or proposed cultivation site, requiring that a professional cultural resources survey be performed, or requiring that a tribal cultural monitor be retained during project-related ground disturbance within areas of sensitivity or concern. The county shall request that a records search be performed through the California Historical Resources Information System (CHRIS). (On-file)
15. Timberland Resource Consultants, Water Resource Protection Plan for WDID#1B161033CHUM (Attached)
16. Engineering and geologic review of well log (Attached)
17. DEH Worksheet (On file)
18. Road Evaluation Form (Attached)
19. Geotechnical Investigation (Attached)
20. Statement of support for on-site relocation from engineer (Attached)
21. Relocation Plan (Attached)

PROPOSED PROJECT DESCRIPTION



Applicant is applying for an existing outdoor and mixed light commercial cannabis cultivation operation. On December 5, 2017 the applicant was issued an Interim Permit for a cultivation area of 12,643 square feet of existing outdoor and 2160 square feet of existing mixed light. The applicant proposes on-site relocation of the existing 12,643 sq ft outdoor to an area of a previously permitted 3 acre conversion with 12,643 square feet of outdoor cultivation. Cultivation will occur in 6600 sq ft of greenhouses and 6000 sq ft open air outdoor. The applicant requests to move outdoor cultivation site due to the 3 acre conversion area being environmentally superior to the existing outdoor cultivation area (see attached under Tab 3). Irrigation water is provided by an existing non-jurisdictional permitted on-site well (see attached under Tab 4). Estimated water usage is 210,440 gallons per 180 day growing season. Cultivated cannabis is dried and processed on-site. The applicant proposes building an A.D.A. compliant processing room upon permit approval. All existing structures and septic system will be brought into compliance with all applicable Humboldt County building codes. All proposed greenhouses, processing room and grading will be built in compliance with all applicable Humboldt County building codes.

PROPOSED PROJECT TIME-LINE

Upon approval of a provisional permit for the proposed project, the build out would take place within a two year frame. All structures will be built in accordance to all applicable Humboldt County building and grading codes.

- **Phase I** – Applicant will bring existing residence, existing greenhouse and septic system into compliance with all Humboldt County Building and Health and Safety codes August 1, 2019 (see site plan).
- **Phase II** - Grading of terraces for proposed greenhouses, construction of greenhouses in compliance with all applicable Humboldt County Building and Grading codes August 1, 2019 (see site plan). Outdoor gardens will be set up.
- **Phase III** – Construction of ADA compliant processing structure in accordance with all Humboldt County Building codes by August 1, 2020. If project can not be completed by August 1, 2020, arrangements will be made to contract with an off-site processing facility until completion of processing facility (see site plan) .
- **Phase IV** – Installation of rain water catchment holding tanks in accordance with all Humboldt County Grading codes by August 1, 2020 (see site plan).
- Geo-technical Report is prepared (see attached under Tab 5).
- Grading plan's are prepared and in possession of R.E.B. Engineering

PROPOSED CULTIVATION AND OPERATIONS PLAN

DESCRIPTION OF WATER SOURCE, STORAGE, IRRIGATION AND WATER USEAGE

- Irrigation water is supplied by a 20 gallon per minute non-jurisdictional well (see attachment).
- Water will be stored in three 5000 gallon poly tanks (see site plan).
- Drip irrigation, mulch and cover cropping will be used to conserve water use and runoff.
- Drip irrigation systems will be pressurized by gravity.

NURSERY / GROWTH GREENHOUSE #1 = 800 SQUARE FEET

- Plants are watered @ 1 gallon per 10 sq ft

800 sq ft/10 sq ft = 80 x 1 = 80 per watering

80 gallons x 15 days of watering/month = 1200 gallons

1200 gallons/month x 4 months = 4800 gallons

MIXED LIGHT GREENHOUSE = 2160 SQUARE FEET

(to be used as a nursery house in the months of March and April)

- Plants are watered @ 1 gallon per 10 sq ft

2160 sq ft/10sqft = 216 x 1 = 216 per watering

216 gallons x 15 days of watering/month = 3240 gallons

3240 gallons/month x 2 months = 6480 gallons

MIXED LIGHT GREENHOUSE = 2160 SQUARE FEET

- Plants are watered @ 1.5 gallons per 10 sq ft

$$2160 \text{ sq ft}/10\text{sqft} = 216 \times 1.5 = 324 \text{ per watering}$$

$$324 \text{ gallons} \times 15 \text{ days of watering/month} = 4860 \text{ gallons}$$

$$4860 \text{ gallons/month} \times 6 \text{ months} = 29,160 \text{ gallons}$$

GREENHOUSES = 6640 SQUARE FEET

- Plants are watered @ 1.5 gallons per 10 sq ft

$$6640 \text{ sq ft}/10\text{sqft} = 664 \times 1.5 = 996 \text{ per watering}$$

$$996 \text{ gallons} \times 15 \text{ days of watering/month} = 14,940 \text{ gallons}$$

$$14,940 \text{ gallons/month} \times 6 \text{ months} = 89,640 \text{ gallons}$$

OUTDOOR OPEN AIR CULTIVATION = 6000 SQUARE FEET

- Plants are watered @ 1.5 gallons per 10 sq ft

$$6000 \text{ sq ft}/10\text{sqft} = 600 \times 1.5 = 900 \text{ per watering}$$

$$900 \text{ gallons} \times 15 \text{ days of watering/month} = 13,500 \text{ gallons}$$

$$13,500 \text{ gallons/month} \times 6 \text{ months} = 81,000 \text{ gallons}$$

$$\text{Total water used in 15 days per month} = 37,740$$

$$\text{Total water used every 15 days per month for 6 months} = 210,440$$

RAINWATER CATCHMENT

- Rain water is collected from the roof of an existing 2100 sq ft greenhouse and collected in a 2,500 gallon tank located next to the greenhouse (see site plan).
- Future plans propose 15-5000 gallon water tanks placed on an existing old logging skid road. (see site plan).
- The King Range receives approximately 100" of rain annually.
- 1" of rain on a 2000 sq ft roof = 1200 gallons.
- 100" x 1200 gallons = 120,000 gallons potentially.

DESCRIPTION OF SITE DRAINAGE

- Greenhouses and outdoor gardens would be located on a ridge within a existing permitted 3 acre conversion area (see attached under Tab 10) with engineered drainage plan.
- Drip irrigation, mulch and cover cropping would be used to conserve water use and runoff.
- Greenhouses and outdoor gardens would be inter-planted with native plants to promote beneficial insects and reduce erosion.

PROTECTION OF WATERSHED AND NEARBY HABITAT

- Cultivation area will be located on a ridge away from waterways.
- Watershed resource protection plan is in place and is in the process of being implemented (see attached under Tab 7). Access roads will be maintained regularly.
- Greenhouses will be solar powered to alleviate noise pollution and fire hazard caused by generators.
- In compliance with the dark sky standards, all greenhouses will use blackout curtain systems to block artificial light from escaping from sunrise to sunset when artificial light is used.
- Dedicated fire suppression water, as well as standpipes for local fire departments to hook up to in case of a fire (see site plan).
- All employees will receive Fire Safety training.

- A strict no smoking policy will be implemented.
- Portable toilets are in use until septic system is brought into compliance with all applicable Humboldt County Health and Safety codes (see attached under Tab 6).

DECLARATION

- Declaration of compliance with the Agricultural Relation Act of 1975 Alatorre-Zenovich-Dunlap-Berman (see letter attached under Tab 9).
- The cultivation operation will comply with all applicable Federal, State and local laws and regulations governing California Agricultural employers. Such as Federal and state wage and hour laws, CAL/OSHA, OSHA California Agricultural Labor Relations Act and the Humboldt County Code, including building codes.

SUMMARY OF EMPLOYEE SAFETY PRACTICES FOR CULTIVATION

- Procedures will be implemented to insure employee safety.
- There will be Emergency Response and Fire Prevention training.
- Information and maps regarding these procedures, along with fire extinguishers will be posted in all necessary areas.
- Logs of any employee accidents and investigation policies will be kept on site.
- Material Handling (including MSDS sheets), Personal Protective Equipment (including Respiratory Protection), Job Hazard Analysis and Hazard Communication policies will also be located on site and available to all employees.
- A list of all Emergency contacts including, Operation Manager/s, Emergency responder/s and Poison control will be posted.
- Workers will be have shaded rest area.
- Toilet and hand washing facilities will be available.
- Plumbing and septic system will be capable of handling increased loads.
- Well water will be made available to employees.
- Minimum impact on road will occur with two cultivation employees carpooling together.

PROTOCOLS FOR PROPER USE AND STORAGE OF FERTILIZERS AND PESTICIDES

- All pesticides and fertilizers will be stored in a dedicated locked shed.
- All California Department of Pesticide Regulations will be followed.
- Integrated pest management plan will be implemented.
- Operator identification number – O.I.N. will be obtained.
- Private applicator certification will be obtained.
- Employee personal protective equipment including respiratory protection will be provided.
- Provide required employee training and access to pesticide labels and safety information.
- Properly store, handle and dispose of pesticides.
- A list of emergency responders and poison control will be posted.
- Material Handling (including MSDS sheets), Personal Protective Equipment (including Respiratory Protection), Job Hazard Analysis and Hazard Communication policies will also be located on site and available to all employees.
- A list of all Emergency contacts including, Operation Manager/s, Emergency responder/s and Poison control will be posted.

SOIL MANAGEMENT PLAN

- Soil in flowering greenhouses and outdoor gardens will be re-amended and re-used on a yearly basis..
- A dedicated soil stock pile area (see site plan) with containment block and covered roof near fertilizer/pesticide shed.
- Very little soil will be stock piled and all soil will be re amended before replanting and cover cropped in the fall through winter resting period.

DESCRIPTION OF MIXED LIGHT CULTIVATION ACTIVITIES AND CYCLES

(greenhouses and outdoor)

- Plant-lets will be reared in 2 gallon pots located in the vegetative / growth greenhouse (see site plan).
- Outdoor plants would be grown in above ground pots, utilizing drip irrigation
- Plant-lets will be hand watered.
- Plants flowering in greenhouses (see site plan) will be grown in raised beds, using no till techniques and a drip tape irrigation.
- Cover cropping / mulching techniques will be also used to conserve water.
- Greenhouses will be passively operated with solar powered exhaust and H.A.F fans.
- Greenhouses will be also orientated to take advantage of natural air flow.
- In compliance with the dark sky standards, all greenhouses will use blackout curtain systems to block artificial light from escaping from sunset to sunrise when artificial light is used.

FIRST CYCLE

Nursery Growth House

April 15th -- Plant lets will be reared in 2 gallon pots located in the nursery/growth greenhouse.

Compost tea will be applied to the soil.

May – Light maintenance / spot checking.

Transition Period

June 1st – Plants will then be moved to the flowering greenhouses and transplanted. Compost tea will be applied to the soil. The plants will then need approximately 7 days to transition into a new environment. Trellis will be installed.

Flowering Stage

June 7th – Flowering will be initiated and continue for approximately 8 weeks.

July – Prune understory of plants. Top dress of flowering fertilizer.

August – Harvest process will begin.

SECOND CYCLE

Vegetative Growth House

June – Plant lets will be reared in 2 gallon pots located in the vegetative/growth greenhouse. Compost

tea will be applied to the soil.

July – Light maintenance / spot checking.

Transition Period

August 3rd – Plants will then be moved to the flowering greenhouses and transplanted. Compost tea will be applied to the soil. The plants will then need approximately 7 days to transition into a new environment. Trellis will be installed.

Flowering Stage

August 9th – Flowering will be initiated and continue for approximately 8 weeks.

September – Prune understory of plants. Top dress of flowering fertilizer.

October – Harvest process will begin.

DESCRIPTION OF OUTDOOR CULTIVATION ACTIVITES

- Seeds are sown on February 15th in the nursery greenhouse.
- The plants are then transplanted out in the field directly into above ground pots around May 1st.
- Drip irrigation, mulch and cover cropping techniques are used to conserve water use and runoff.
- Only organic fertilizers are used.
- Plants are harvested middle to late October.

February – Sowing of seeds in nursery greenhouse.

March – Light maintenance / spot checking. Amend outdoor beds.

April – Determine sex of plants. Cull the males. Plant females in outdoor sites in ground. Compost tea is applied to soil.

May – Training plants with bamboo stakes.

June – Top dress with organic fertilizers.

July – Set up support trellises. Prune understory of plants.

August – Top dress with organic fertilizers. Apply compost tea fungal flowering formula.

September – Thin canopy. Secure plants to trellis

October – Strip big leaves and then begin harvest process.

DECLARATION

- Declaration of compliance with the Agricultural Relation Act of 1975 Alatorre-Zenovich-Dunlap-Berman (see letter under Tab 9).
- The cultivation operation will comply with all applicable Federal, State and local laws and regulations governing California Agricultural employers. Such as Federal and state wage and hour laws, CAL/OSHA, OSHA California Agricultural Labor Relations Act and the Humboldt County Code, including building codes.

PROCESSING FOR MIXED LIGHT GREENHOUSE, GREENHOUSES AND OUTDOOR

- Processing operations will be maintained in a clean and sanitary condition, including all work surfaces and equipment.
- Processing operations will implement protocols which prevent processing contamination, mold and mildew growth on cannabis.
- Employees must wash hands sufficiently.
- Mature plants will be harvested and line dried using circulation fans combined with natural heat for approximately 7-10 days.
- The dried flowers are then cut from the stems and stored in food grade containers.
- Trimming / cleaning the cured flowers are done in a assembly line fashion.
- Flowers are then ran through a Green Bros trim machine first and then hand trimmed on NSF tables.
- The flowers are then sealed in food grade packaging in 1lb increments.
- Sugar trim is also sealed in food grade packaging in 5lb increments.
- Processed cannabis is stored in a locked area within the processing area.
- Track and Trace program has been attended and is implemented.
- All cannabis stems and water leaf are ran through a shredder/chipper and composted.
- Processing will occur in a proposed A.D.A. compliant processing room attached to the back of the residence.
- No more than 5 employees will be needed for processing.
- Hand washing facilities are located on site in residence.
- Portable toilet will be used until septic system is brought to code (see attached under Tab 6).
- Well water will be the source of drinking water.
- Carpooling will be used whenever possible.

SUMMARY OF EMPLOYEE SAFETY PRACTICES FOR PROCESSING

- Procedures will be implemented to insure employee safety.
- There will be Emergency Response and Fire Prevention training.
- Information and maps regarding these procedures, along with fire extinguishers will be posted in all necessary areas.
- Logs of any employee accidents and investigation policies will be kept on site.
- Material Handling (including MSDS sheets), Personal Protective Equipment (including Respiratory Protection), Job Hazard Analysis and Hazard Communication policies will also be located on site and available to all employees.
- A list of all Emergency contacts including, Operation Manager/s, Emergency responder/s and Poison control will be posted.

SECURITY FOR MIXED LIGHT GREENHOUSE, GREENHOUSES AND OUTDOOR

- Fencing, cameras and motioned sensor lighting.
- Video surveillance cameras streamed to the residence will be focused on the flowering greenhouses.
- Motion sensor's and motion sensor lighting focused on the greenhouses will alert the residence of activity.
- If theft is in progress, applicant would call the Sheriffs Dept immediately.
- The cultivation area will also be fenced with commercial locks on the gates.
- Property access is gated and locked with commercial locks.



RECEIVED

WATER WELL APPLICATION

CONSTRUCTION – REPAIR – DESTRUCTION

MAY 2 2016

The Well Permit will be returned to the property owner when approved by Humboldt County Division of Environmental Health (DEH)

Instructions:

1. Complete pages 1 and 2 of the application and submit the required fee with the Well Permit application, including Well Driller's signature and property owner's signature.
2. Work on the well shall not be started prior to approval of the Well Permit Application by DEH.
3. Any changes made to the location of a new well shall be approved by DEH prior to commencement of drilling.
4. DEH shall be notified by the Well Driller a minimum of 24 hours prior to sealing the annular space.

Site Address	<u>7000 Paradise Ridge Rd.</u>	APN	<u>108-066-05</u>
City/State/Zip	<u>Whiterhorn, CA 95589</u>	CA	<u>CA</u>
Directions to Site	<u>Go west on Brice/land /Shelter Cove Rd. turn right on Paradise Ridge Rd. (2nd Row) stay on main road 6 3/4 mi. turn right before meadow at the end of the ridge.</u>		
Applicant	<u>Bushnell ENTERPRISES</u>	Contact	<u>George</u>
Mailing Address	<u>649 Bearcreek rd</u>	Work Phone	<u>(707) 923-2104</u>
City/State/Zip	<u>Garberville, CA. 95542</u>	Cell Phone	<u>(707) 498-3437</u>
Property Owner	<u>Fahey, Solomon and Joseph and Mary Fahey</u>	Home Phone	<u>707-223-0546</u>
Mailing Address	<u>P.O. Box 1412</u>	Work Phone	<u>707-223-0546</u>
City/State/Zip	<u>Redway, Ca 95549 95560</u>	Cell Phone	<u>707-223-0546</u>
I hereby grant 'right-of-entry' for inspection purposes		<u>★ Solomon Fahey</u>	

Drilling C-57

Contractor George Bushnell License # 403708

I hereby agree to comply with all laws and regulations of the County of Humboldt and the State of California Department of Water Resources Bulletin 74 pertaining to water well construction. I will contact Humboldt County Division of Environmental Health (DEH) when I commence work. Within 15 days after completion of work, I will furnish DEH a report of the work performed.

Well Driller Signature: George Bushnell

Would driller like a copy of approved application? Yes No

U.S. Mail address: 649 Bearcreek rd Garb, CA. 95542

Email address: _____

<u>Type of Application:</u>	<u>Construction:</u>	<u>Intended Use:</u>
<input checked="" type="checkbox"/> Construction	Estimated Depth (ft.) <u>250'</u>	<input checked="" type="checkbox"/> Domestic - private
<input type="checkbox"/> Destruction	Diameter (in.) <u>9"</u>	<input type="checkbox"/> Community Supply
<input type="checkbox"/> Repair/Modification	Depth of Seal (ft.) <u>20'</u>	<input checked="" type="checkbox"/> Irrigation
	Sealing Material <u>Bentonite</u>	<input type="checkbox"/> Other _____

TRIPPLICATE
Owner's Copy



STATE OF CALIFORNIA
WELL COMPLETION REPORT

Refer to Instruction Pamphlet

No. **1087856**

Page ___ of ___

Owner's Well No. _____

Date Work Began 5-9-16, Ended 5-9-16

Local Permit Agency Humboldt

Permit No. _____ Permit Date 5-2-16

DWR USE ONLY — DO NOT FILL IN —

STATE WELL NO./STATION NO. _____

LATITUDE _____ LONGITUDE _____

APN/TRS/OTHER _____

GEOLOGIC LOG		
ORIENTATION ()		
<input checked="" type="checkbox"/> VERTICAL <input type="checkbox"/> HORIZONTAL <input type="checkbox"/> ANGLE _____ (SPECIFY)		
DRILLING METHOD		
<input checked="" type="checkbox"/> AIR ROTARY <input type="checkbox"/> FLUID		
DEPTH FROM SURFACE		
Ft.	to	Ft.
DESCRIPTION		
Describe material, grain size, color, etc.		
0	20	TOP SOIL
20	90	Brk Rock Frac w/ quartz
90	100	blu sandstone w/ quartz
100	160	BROWN FRAC. ROCK
160	220	Blu Frac Sandstone quartz
TOTAL DEPTH OF BORING <u>220</u> (Feet)		
TOTAL DEPTH OF COMPLETED WELL <u>220</u> (Feet)		

WELL OWNER

Name Joseph Solomon

Mailing Address PO Box 1412

Redway CITY CA STATE 95566 ZIP

WELL LOCATION

Address 7000 Paradise Ridge Rd

City Whitethorne 95589

County Humboldt

APN Book _____ Page _____ Parcel 108-066-05

Township _____ Range _____ Section _____

Lat _____ DEG. MIN. SEC. N Long _____ DEG. MIN. SEC.

LOCATION SKETCH

NORTH _____

WEST _____

SOUTH _____

EAST _____

Illustrate or Describe Distance of Well from Roads, Buildings, Fences, Rivers, etc. and attach a map. Use additional paper if necessary. **PLEASE BE ACCURATE & COMPLETE.**

ACTIVITY ()

NEW WELL

MODIFICATION/REPAIR

Deepen

Other (Specify) _____

DESTROY (Describe Procedures and Materials Under "GEOLOGIC LOG")

USES ()

WATER SUPPLY

Domestic Public

Irrigation Indust

MONITORING _____

TEST WELL _____

CATHODIC PROTECTION _____

HEAT EXCHANGE _____

DIRECT PUSH _____

INJECTION _____

VAPOR EXTRACTION _____

SPARGING _____

REMEDIATION _____

OTHER (SPECIFY) _____

WATER LEVEL & YIELD OF COMPLETED WELL

DEPTH TO FIRST WATER 160 (Ft.) BELOW SURFACE

DEPTH OF STATIC WATER LEVEL 150 (Ft.) & DATE MEASURED 5-9-16

ESTIMATED YIELD 30 (GPM) & TEST TYPE AIR LIFT

TEST LENGTH 1 (Hrs.) TOTAL DRAWDOWN _____ (Ft.)

* May not be representative of a well's long-term yield.

DEPTH FROM SURFACE	BORE-HOLE DIA. (Inches)	CASING (S)								
		TYPE ()				MATERIAL / GRADE	INTERNAL DIAMETER (Inches)	GAUGE OR WALL THICKNESS	SLOT SIZE IF ANY (Inches)	
Ft.	to	Ft.	BLANK	SCREEN	CON-DUCTOR					FILL PIPE
0	140	9"	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F480	5"	200	
140	160		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>				.030
160	200		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>				.030
200	220		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>				.030

DEPTH FROM SURFACE	ANNULAR MATERIAL					
	TYPE					
Ft.	to	Ft.	CE-MENT ()	BEN-TONITE ()	FILL ()	FILTER PACK (TYPE/SIZE)
0	20		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
20	220		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	3/8 pea

ATTACHMENTS ()

Geologic Log

Well Construction Diagram

Geophysical Log(s)

Soil/Water Chemical Analyses

Other _____

ATTACH ADDITIONAL INFORMATION IF IT EXISTS
CUP-16-244 Solomon Faney 11405

CERTIFICATION STATEMENT

I, the undersigned, certify that this report is complete and accurate to the best of my knowledge and belief.

NAME Bushnell Ent
(PERSON, FIRM, OR CORPORATION) (TYPED OR PRINTED)

549649 Bear creek rd Garb CA 95543
ADDRESS CITY STATE ZIP

Signed [Signature] DATE SIGNED 5-17-16 403708
C-57 LICENSED WATER WELL FACTOR Page 60-57 LICENSE NUMBER

LESS THAN 3 ACRE CONVERSION EXEMPTION

STATE OF CALIFORNIA
DEPARTMENT OF FORESTRY AND FIRE PROTECTION
NOTICE OF TIMBER OPERATIONS THAT ARE EXEMPT FROM
CONVERSION AND TIMBER HARVESTING PLAN REQUIREMENTS
RM-73 (1104.1a) (11/12)



FOR ADMIN. USE ONLY YES

Ex. # 1-13EX-281 HUM

Date of Receipt DEC 13 2013

Date Accepted 12-13-2013

Date Expires 12-12-2014

VALID FOR ONE YEAR FROM DATE OF RECEIPT BY CAL FIRE
TIMBER OPERATIONS CANNOT START UNTIL VALID COPY
OF A NOTICE OF ACCEPTANCE IS RECEIVED FROM CAL FIRE

The Director of the Department of Forestry and Fire Protection (CAL FIRE) is hereby notified of timber operations under the requirements of 14 CCR § 1104.1(a): Harvesting of trees that is a single conversion to a non-timber growing use of timberland of less than three acres. (See 14 CCR § 1104.1(a) for a description of the conditions on the conduct of this type of timber operation and additional information that is **required** to be submitted.) Complete items 1 through 8 on both pages of this notice.

1 TIMBER OWNER(S) OF RECORD: Name Solomon, Joseph, and Mary Fahey

Address 1327 Tahoma Lane

City Lincoln State CA Zip 95648 Phone 707-815-3556

TIMBER TAX EXEMPTION: Timber owners owe timber yield tax when they harvest trees unless the harvest is exempt (Revenue and Taxation Code sec. 38116). Some small or low value harvests may be exempt from timber yield tax: Timber removed from an operation whose value does not exceed \$3,000 within a quarter, according to BOE Harvest Value Schedules, Rule 1024. If you believe your harvest may qualify for this exemption, please complete items A and B below. For timber yield tax information or for further assistance with these questions call the State Board of Equalization, 1-800-400-7115, or write: Timber Tax Section, MIC: 60, State Board of Equalization, P.O. Box 942879, Sacramento, California 94279-0060; or contact the BOE Web Page on the Internet at <http://www.boe.ca.gov>.

A. Circle the option that most closely estimates the total volume for this harvest, in thousands of board feet (mbf - Net Scribner short log):

Under 8 mbf 8-15 mbf 16-25 mbf Over 25 mbf

B. Estimate the species composition of the timber that will be removed during this harvest (numbers should sum to 100%):

Redwood _____%; Ponderosa/Sugar pine _____%; Douglas-fir 25%; Fir _____%;

Port-Orford Cedar _____%; Cedar (IC, WRC) _____%; Other conifer _____%; Other hardwood 75 %.

RECEIVE

DEC 13 2013

COAST AREA OFFICE
RESOURCE MANAGER

2 TIMBERLAND OWNER(S) OF RECORD: Name Solomon, Joseph, and Mary Fahey

Address 1327 Tahoma Lane

City Lincoln State CA Zip 95648 Phone 707-815-3556

I certify, under penalty of perjury, that this is a one-time conversion to a non-timberland use and that there is a "bona fide intent" [14 CCR § 1100(b)] to convert to (1) Building Site and (2) Agriculture.

SIGNATURE Solomon Fahey Date 8/25/13

SIGNATURE Joseph Fahey Date 8/25/13

SIGNATURE Mary Frances Fahey Date 08/25/13

3 LICENSED TIMBER OPERATOR(S): Name NPI Logging-Greg Niekrasz

Lic. No. A-9734

Address 2228 Chaney Lane

City Eureka State CA Zip 95503 Phone 707-442-7184

SIGNATURE Greg Niekrasz Date 12-3-13

4 Designate the legal land description of the location of timberland conversion. A map showing the location of the timberland conversion MUST be attached. The map must show the ownership boundaries, the location of the timber operation, boundaries of the conversion, location and classification of all watercourses, and landing locations.

Section	Township	Range	Base & Meridian	County	Acreage to be Converted	Assessors Parcel Number
14	4S	1E	HB & M	HUM	2.6	108-066-005

Page 1 NOTE: This form has two pages. Continue on and complete page 2. Read the instructions before attempting to complete.



DEPARTMENT OF FORESTRY AND FIRE PROTECTION
Resource Management
 118 Fortuna Blvd
 Fortuna, CA 95540
 (707) 726-1251
 Website: www.fire.ca.gov



JOSEPH FAHEY
 1327 TAHOMA LN
 LINCOLN, CA 95648

Date: January 26, 2015

NOTICE OF INSPECTION

Section 4604 of the Public Resources Code (PRC) requires the Department to inspect timber operations for compliance with the Forest Practice Act and rules of the Board of Forestry and Fire Protection.

Harvest Document: 1-13EX-281-HUM
 Inspection Date: January 14, 2015
 Inspection Number: 1
 On-Site Contact: JOSEPH FAHEY

ACTIVE INSPECTION. NO VIOLATIONS WERE OBSERVED ON THE AREA INSPECTED.

Final Completion

The conversion area was inspected and has been completed. All required work has been done. The conversion area was strawed and seeded and had waddles in place on the steeper slopes. A 3 year maintenance period will expire on Nov 23, 2017.

If you have any questions, please contact Tim Meyers at (707) 946-2204.

Hugh Scanlon
 Unit Chief, Humboldt Del Norte Unit

by:  Tim Meyers RPF #2813
 Forest Practice Inspector

Digitally signed by Tim Meyers
 DN: cn=Tim Meyers, o=CAL FIRE,
 ou=Humboldt-Del Norte,
 email=tim.meyers@fire.ca.gov, c=US
 Date: 2015.01.26 16:02:43 -0800

Attachment: CAL FIRE Inspection Map
 CC: North Coast Region I Headquarters
 HUU RP File
 CAL FIRE Inspector—T. Meyers
 LTO
 RPF
 Timberland Owner

"The Department of Forestry and Fire Protection serves and safeguards the people and protects the property and resources of California."

FC

ORIGINAL + C.C. TO UNIT
DATE 11/24/14 INITIALS

Admin. Use Only

State of California
Department of Forestry
and Fire Protection
Completion/Stocking Report
RM-71 (Rev. 12/08)
Page One of Three

Area: _____
Date Received: NOV 24 2014
Date Approved: _____
Date Sent to B.O.E.: _____

CNR-orig, BOE, WQ, DFW
TO/TLO, LTO, RPF, Unit on _____

TIMBER OPERATIONS WORK COMPLETION AND/OR STOCKING REPORT

(As per Div. 4, Chap. 8, Sections 4585 and 4587 PRC, and Title 14 CCR Sections 1070-1075)

Certification By Timber Owner or Agent: I certify that the declarations herein are true and correct to the best of my knowledge and belief. I am notifying the Department of Forestry and Fire Protection of the status of compliance with the completion and stocking requirements of the Forest Practice Act and rules of the Board of Forestry and Fire Protection for:
Harvest Document Number: 1-13EX-281 HUM

Harvest document includes a Timber Harvesting Plan (THP), a Nonindustrial Timber Management Plan's Notice of Timber Operations (NTO), a Less Than Three Acre Conversion Exemption (EX), or an Emergency Notice (EM). For Timberland Conversion Permits (TCP), include the THP Number above, as well as the Conversion Permit No.: _____

Completion Report

- Final Completion Report On (date): _____ all work on the operation was completed, and no further harvesting shall be conducted.
- Partial Completion Report On (date): _____ all work on a part of the plan as shown on the attached map was completed. Additional harvesting is anticipated on the remaining portion of the logging area. **Only one partial completion report may be accepted by the CAL FIRE during any calendar year.**
- NTMP-NTO Completion Report On (date): _____ all work on this NTO was completed for this calendar year. Additional harvesting is anticipated in following years.
- EX Completion Report On 11-24-2014 all work on this Less Than Three Acre Conversion Exemption was completed. No stocking report is required.
- TCP Completion Report On (date): _____ all work on this Timberland Conversion Permit was completed. No stocking report is required.

Stocking Report: The area declared as complete in this report or a previously approved completion report meets all of the stocking requirements of the Forest Practice Act and rules of the Board of Forestry and Fire Protection. The stocking status after completion of timber operations was determined by:

- One of the sampling procedures adopted by the Board of Forestry and Fire Protection. The identification of the person sampling, plot data, and a map of the area sampled are attached.
- Physical examination of the area by the timber owner or the agent thereof after completion of timber operations determined that the area's stocking obviously meet the requirements of the Forest Practice Rules and a waiver of stocking sampling is requested.
- As stated in the harvest document, the area was **substantially damaged** as per 14 CCR § 1080.1, and only dead, down, or dying trees were salvaged, or the Site Class is IV or V, hence no restocking is required.

RECEIVED

NOV 01 2014

RECEIVED

NOV 24 2014

This is a stocking report for the:

- Entire operating area covered by the harvest document.
- Entire operating area covered by this completion report or the completion report previously submitted on (date): _____
- Part of the operating area for which this completion report is submitted.

A map indicating the area completed (if the actual area harvested is less than approved) and/or stocked must be submitted with this report. Additional information can be found in the Instruction pages of this form.

Chris Carroll
Signature

11-24-14
Date

Chris Carroll, RPF #2628
Print Name

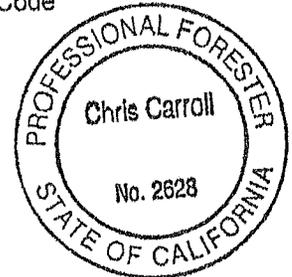
165 South Fortuna Blvd
Address

Fortuna
City

CA
State

95540
Zip Code

707-725-1897
Telephone Number (with Area Code)



DIRECTOR'S CERTIFICATION

Report In Conformance

- The Director has determined that all of the requirements of the Forest Practice Act and rules of the Board of Forestry and Fire Protection have been completed **except** stocking for the area described in this report. Erosion control maintenance is required for at least one year following the submission of this report, or until stocking is met, whichever is later, and it may be extended to three years.
- The area described by this report has been found to meet all of the requirements of the Forest Practice Act and forest practice rules **including** stocking as shown on the attached map. Erosion control maintenance is required for at least one year following the submission of this report or until stocking is met for the entire area of the harvest document, whichever is later, and it may be extended to three years.
- The area described by this report has been found to meet all of the requirements of the Forest Practice Act and Forest Practice Rules including stocking for the entire area as shown on the THP (or other harvest document) map. Erosion control maintenance is required for at least one year following the submission of this report, and it may be extended to three years.

RECEIVED
MARCH 24 2017
WEST AREA OFFICE
FOREST MANAGEMENT

Maintenance Period

The prescribed maintenance period for erosion control shall be:

- One Year. Ending date: _____
- Three Years. Ending date: 11/23/2017
- Other. Specify length: _____ years and ending date: _____

Report Not In Conformance

- [] The area described by this report has been found **not to be in compliance** with the Forest Practice Act and Forest Practice Rules. See attached documents for further information. **A new completion and/or stocking report must be submitted** upon completion of the work required in the documents attached.
- [] The Director has determined that the **stocking** requirements of the Forest Practice Act and forest practice rules **have not been met**. See attached documents for further information. **A new completion and/or stocking report must be submitted** upon completion of the work required in the documents attached.

Other Reports

- [] **Conversion Permit**. The Completion Report is necessary, but a stocking report is not required.
- [] **Less Than Three Acre Conversion Exemption**. The Completion Report is necessary, but a stocking report is not required.
- [] **Emergency Notice or a THP with Substantially Damaged Timberland** as per 14 CCR § 1080.1, where a stocking report is not required.

For the selection from Other Reports above, the Director has determined that all of the requirements of the Forest Practice Act and Forest Practice Rules:

- [] Have been completed.
- [] Have not been completed and are not in compliance with the regulations and/or the rules. See attached documents for further information. **A new completion report must be submitted** upon completion of the work required in the documents attached.

Director, California Department of Forestry and Fire Protection

By:  Tim Meyers
Signature Print Name

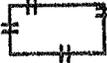
Forester I 2813 1/26/15
Title RPF # Date

RECEIVED
CALIFORNIA DEPARTMENT OF FORESTRY AND FIRE PROTECTION
1/26/15

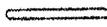
Fahey Family 3 Acre Conversion Conversion Exemption Map



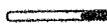
Property Boundary



Conversion Exemption Area



Appurtenant Permanent Rock Road



Paradise Ridge Road (Public)



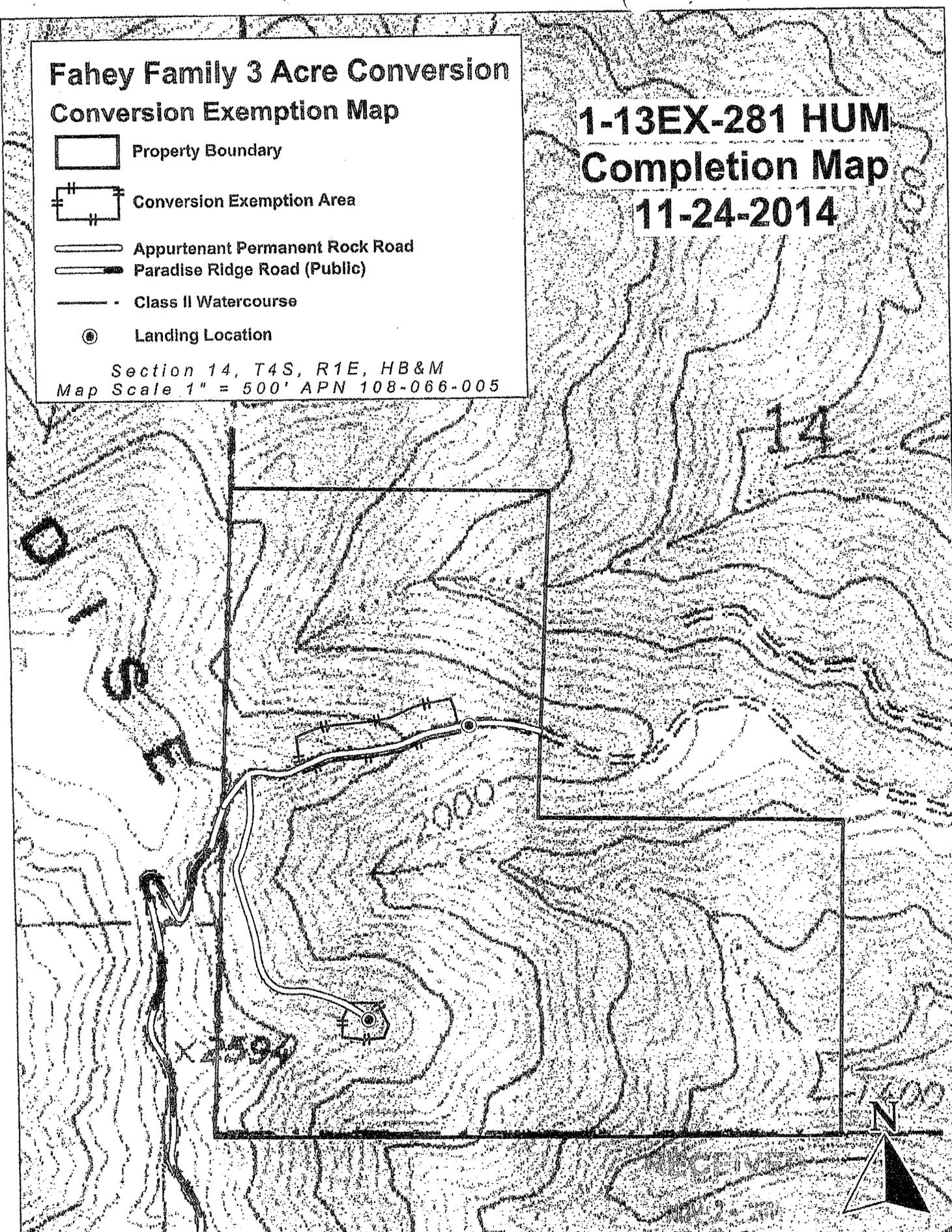
Class II Watercourse



Landing Location

Section 14, T4S, R1E, HB&M
Map Scale 1" = 500' APN 108-066-005

1-13EX-281 HUM Completion Map 11-24-2014



Water Resource Protection Plan

APN 108-066-05
180101070202TRC116

Submitted to:

Soloman Fahey



Prepared by:

Timberland Resource Consultants

165 South Fortuna Blvd

Fortuna, CA 95540

Purpose

This Water Resource Protection Plan (WRPP) has been prepared on behalf of the property owner, Soloman Fahey, by agreement and in response to the California Water Code Section 13260(a), which requires that any person discharging waste or proposing to discharge waste within any region that could affect the quality of the waters of the state, other than into a community sewer system, shall file with the appropriate regional water board a Report of Waste Discharge (ROWD) containing such information and data as may be required by the Regional Water Board. The Regional Water Board may waive the requirements of Water Code section 13260 for specific types of discharges if the waiver is consistent with the Basin Plan and in the public interest. Any waiver is conditional and may be terminated at any time. A waiver should include monitoring requirements to verify the adequacy and effectiveness of the waiver's conditions. Order R1-2015-0023 conditionally waives the requirement to file a ROWD for discharges and associated activities described in finding 4.

Scope of Report

Order No. R1-2015-0023 states that "Tier 2 Dischargers and Tier 3 Dischargers who intend to cultivate cannabis before, during, or following site cleanup activities shall develop and implement a water resource protection plan that contains the elements listed and addressed below. Dischargers must keep this plan on site, and produce it upon request by Regional Water Board staff. Management practices shall be properly designed and installed, and assessed periodically for effectiveness. If a management measure is found to be ineffective, the plan must be adapted and implemented to incorporate new or additional management practices to meet standard conditions. Dischargers shall certify annually to the Regional Water Board individually or through an approved third party program that the plan is being implemented and is effectively protecting water quality, and report on progress in implementing site improvements intended to bring the site into compliance with all conditions of this Order."

Methods

The methods used to develop this WRPP include both field and office components. The office component consisted of reviewing soil maps (California Cooperative Soil-Vegetation Survey), CGS Geomorphic Features Map (North Coast Watersheds Mapping, DMG CD 99-002, 1999). The field component included identifying and accurately mapping all watercourses, wet areas, and wetlands located downstream of the cultivation areas, associated facilities, and all appurtenant roads accessing such areas. An accurate location of the Waters of the State is necessary to make an assessment of whether potential and existing erosion sites/pollution sites have the potential to discharge waste to an area that could affect waters of the State (including groundwater). Next, all cultivation areas, associated facilities, and all appurtenant roads accessing such areas were assessed for discharges and related controllable water quality factors from the activities listed in Order R1-2015-0023, Finding 4a-j. The field assessment also included an evaluation and determination of compliance with the Standard Conditions per Provision I.B of Order No. R1-2015-

0023. The water resource protection plans required under Tier 2 are meant to describe the specific measures a discharger implements to achieve compliance with standard conditions. Therefore, all required components of the water resource protection plan per Provision I.B of Order No. R1-2015-0023 were physically inspected and evaluated. A comprehensive summary of each Standard Condition as it relates to the subject property is appended.

Methods
Identified Sites Requiring Remediation

Location	Map Point Description	Associated Standard Condition	Temporary BMP	Permanent BMP	Treatment Priority	Time Schedule for completion of Permanent BMP	Completion Date
Road Point #1 GPS 89 N 40.11014353' W -123.0451745'	BLM Road	A.1.a.	N/A	Reshape and armor rolling dip	2	10/15/17	
Road Point #2 GPS 88 N 40.10984019' W -123.04506269'	BLM Road	A.1.a.	N/A	Reshape and armor rolling dip	2	10/15/17	
Road Point #3 GPS 87 N 40.10955663' W-123.10955663'	BLM Road	A.1.a.	N/A	Reshape and armor rolling dip Active gully erosion at the Inlet of channel Placement of rip rap at the outlet of outboard road drainage channel Approximately 10' x 5'	2	10/15/17	

Road Point #4 GPS 90 N 40.10867997' W -123.04451845'	Main Access Road	A.1.a	N/A	Placement of armored rolling dip to disperse surface runoff	2	10/15/17	
Road Point #5 GPS 91 N 40.10886311' W -123.04443204'	Main Access Road	A.1.a	N/A	Removal of bales and slash and replace with rip rap buttress Construct a rocked apron with 12" rip rap approximately 5' x 5' x 2' Placement of armor rolling dip that outlets into rocked apron	2	10/15/18	
Road Point #7 GPS 93 N 40.10946519' W -123.04403289'	Main Access Road	A.1.a	N/A	Placement of armored rolling dip	2	10/15/17	
Road Point #8 GPS 99 N 40.11035996' W -123.04292715'	Main Access Road	A.1.a	N/A	Downcutting of road prism due to concentration of surface runoff Placement of armored rolling dip	2	10/15/17	
Road Point #9 GPS 100 N 40.11043673' W -123.04239515'	Main Access Road	A.1.a	N/A	Placement of armored rolling dip	2	10/15/17	

Road Point #10 GPS 101 N 40.11056967' W -123.04166399'	Main Access Road	A.1.a	N/A	Placement of armored rolling dip to ensure surface water discharge Remove berm to disperse surface runoff prior to dip	2	10/15/17	
Road Point #11 GPS 104 N 40.11076522' W -123.04026103'	Main Access Road	A.1.a	N/A	Placement of armored rolling dip to ensure surface water discharge	2	10/15/17	
Road Point #12 GPS 105 N 40.11036951' W -123.04297601'	Main Access Road	A.1.a	N/A	Placement of armored rolling dip near gate to ensure surface water discharge.	2	10/15/17	
Road Point #16 GPS 110 N 40.10801763' W -123.04320149'	Main Access Road	A.1.a	N/A	Reshape of road Removal of berm on outboard side. Placement of 12" of base and surface rock approximately 60' . 3" minus rock shall be applied	2	10/15/17	

Road Point #18: GPS 324/330 N 40.11378899' W -123.04212098'	Paradise Fire Road	A.1.a	N/A	Perched material located along the outboard side of road prism. Fill berm runs the extent of road segment equaling 1200'	2	10/15/18	
Road Point #19: GPS 324/330 N 40.11171062' W -123.04102052'	Paradise Fire Road	A.1.a	N/A	Existing rolling dips in place throughout road segment Reshape as needed during berm removal	2	10/15/18	
Road Point #6 Stream Crossing #1 GPS 92 N 40.10941423' W -123.0442903'	Main Access Road	A.2.a	N/A	Removal of gabion structures and placement of rip rap to create a rocked apron Rock apron dimensions: 10' x 10' x 2' of D50 quarter ton rock Upsize culvert to meet 100 year storm event-24"-30', continue to Stream Crossing #2	2	10/15/18	
Road Point #13 Stream Crossing #2 GPS 106 N 40.10983684' W -123.04338136'	Main Access Road	A.2.a	N/A	Upsize culvert to meet 100 year storm event Placement of 18"-30' HDPE Culvert Or Placement of a 20' x 10' rocked ford	2	10/15/18	
Road Point #14 Stream Crossing #3 GPS 107	Main Access Road	A.2.a	N/A	No existing crossing at location Straw bales placed to stabilize bank	2	10/15/18	

N 40.10983265' W -123.04329377'				Removal of bales and placement of a 30' x 20' rocked ford to convey seasonal drainage across road on hardened surface Bench and key in rip rap approximately 30' on outboard slope to expand road prism			
Road Point #15- Stream Crossing #4 GPS 108 N 40.10949637' W -123.04346376'	Main Access Road	A.2.a	N/A	Placement of 18"-40' ditch relief culvert to prevent drainage from entering Stream Crossing #5 Maintain inboard ditch to capture bank seepage	2	10/15/18	
Road Point #16- Stream Crossing #5 GPS 86 N 40.10923477' W -123.04359326'	Main Access Road	A.2.a	N/A	Upsize culvert to a 24"-40' culvert to meet 100 year storm event. Disconnect flex culvert where it daylights and construct armored apron that leads to the inlet of newly placed culvert Allow Class III and inboard ditch drainage to enter into newly upsized culvert by rocked apron Upsize culvert to a 24"-40' culvert to meet 100 year storm event.	2	10/15/18	
Road Point #20- Stream Crossing #6 GPS 322 N 40.11192997' W -123.04282891'	Paradise Fire Road	A.2.a	N/A	Existing Class III seasonal stream crossing No existing crossing in place Cal Fire suppression activities during the 2008 Paradise Fire filled the stream crossing. Downcutting within channel has occurred, but perched material still present	2	10/15/18	

				<p>Placement of a 30"-40' HDPE Culvert</p> <p>OR</p> <p>Approximately 30' x 10' Rocked Ford with 18"-6" base rock at foundation and 2-4" surface rock</p>			
<p>Road Point #21- Stream Crossing #7-</p> <p>GPS 326/327</p> <p>N 40.11210783' W -123.0427787'</p>	<p>Paradise Fire Road</p>	A.2.a	N/A	<p>Two (2) Existing Class III spring sources cross road prism</p> <p>Road prism in good condition, but downcutting occurring over surface and on the outboard side of drainage</p> <p>Placement of one (1) rocked ford including both spring sources equaling 40' x 20'</p> <p>OR</p> <p>Placement of two (2) separate rocked fords equaling 10' x 20' with 18"- 6" base rock at foundation and 2-4" surface rock</p>	2	10/15/18	
<p>Road Point #22- Stream Crossing #8</p> <p>GPS 334</p> <p>N 40.10909001' W -123.03568024'</p>	<p>Little Finley Creek Road</p>	A.2.a	N/A	<p>Existing Class III seasonal stream crossing</p> <p>No existing crossing in place</p> <p>Downcutting of road prism and gully formation on outlet occurring</p> <p>Placement of a 24"-30' HDPE Culvert</p> <p>Rip rap headwall of inlet and outlet</p> <p>Placement of 18"-6' energy dissipater at the outlet</p> <p>Application of 2-4" surface rock over culvert</p> <p>OR</p> <p>Approximately 20' x 10' Rocked Ford with 18"-6" base rock at</p>	2	10/15/18	

				foundation and 2-4" surface rock			
Road Point #23-Stream Crossing #9 GPS 335 N 40.10894836' W -123.03598811'	Little Finley Creek Road	A.2.a	N/A	Existing Class III seasonal stream crossing No existing crossing in place Downcutting of road prism and gully formation on outlet occurring Placement of a 24"-30' HDPE Culvert Rip rap headwall of inlet and outlet Placement of 18"-6' energy dissipater at the outlet Application of 2-4" surface rock over culvert OR Approximately 20' x 10' Rocked Ford with 18"-6" base rock at foundation and 2-4" surface rock			
Water Storage and Use GPS 69 N 40.10772485' W -123.04233094' GPS 82 N 40.10735697' W -123.04247075'	Throughout	A.5.a	N/A	PVC pipe to be buried for longevity and water conservation measures Pipe should be buried to 18", but will be dependent on location	4	4/15/18	

Water Storage and Use Throughout	Throughout	A.5.a	N/A	Conduct monitoring and reporting on application rates	2	4/15/17	
Water Storage and Use GPS 42 N 40.10768437' W -123.04210103'	Well and Storage Tank	A.5.a	N/A	Placement of water meter at well and storage tank	2	4/15/17	
Water Storage and Use GPS 54 Residence	Structure	A.5.a	N/A	Placement of raincatchment system at residence	4	10/15/20	
Irrigation Efficiency	All Cultivation Sites	A.6.a	N/A	Conduct monitoring and reporting on application rates	2	4/15/17	
Fertilizers and Soil Amendments	Throughout	A.7.a	N/A	Conduct monitoring and reporting on application rates	2	10/15/17	
Petroleum	Throughout	A.9.a	N/A	Provide drip trays for all generators and gas tanks	2	4/15/17	

Coordinates associated with sites UTM 10 NAD 83

Treat Priority: The time frame for treatment of each specific site.

- (1) Indicates a very high priority with treatment being planned to occur immediately.
- (2) Indicates a high priority site with treatment to occur prior to the start of the winter period (Nov. 15).
- (3) Indicates a moderate priority with treatment being planned to occur within a year 1, or prior to the winter period (Nov. 15) of the 2nd season of operations.
- (4) Indicates a low priority with treatment being planned to occur in the shortest time possible, but no later than the expiration of this Order (five years).

Identified Sites Not Requiring Mitigation

Site	Description	Planned Monitoring

Monitoring Plan

Tier 2 Dischargers shall include a monitoring element in the water resource protection plan that at a minimum provides for periodic inspection of the site, checklist to confirm placement and efficacy of management measures, and document progress on any plan elements subject to a time schedule. Tier 2 Dischargers shall submit an annual report (Appendix C) by March 31 of each year that documents implementation and effectiveness of management measures during the previous year. Tier 2 annual reporting is a function that may be provided through an approved third party program.

Monitoring of the site includes visual inspection and photographic documentation of each feature of interest listed on the site map, with new photographic documentation recorded with any notable changes to the feature of interest. At a minimum, all site features must be monitored annually, to provide the basis for completion of the annual re-certification process. Additionally, sites shall be monitored at the following times to ensure timely identification of changed site conditions and to determine whether implementation of additional management measures is necessary to iteratively prevent, minimize, and mitigate discharges of waste to surface water: 1) just prior to October 15 to evaluate site preparedness for storm events and storm water runoff, 2) following the accumulation of 3" total precipitation or by November 15, whichever is sooner, and 3) following any rainfall event with an intensity of 3" precipitation in 24 hours. Precipitation data can be obtained from the National Weather Service Forecast Office (e.g. by entering the zip code of the parcel location at <http://www.srh.noaa.gov/forecast>).

Inspection Personnel Contact Information:

Todd W. Golder

Timberland Resource Consultants

165 South Fortuna Blvd, Fortuna CA 95540

707-601-7014

Monitoring Plan Reporting Requirements

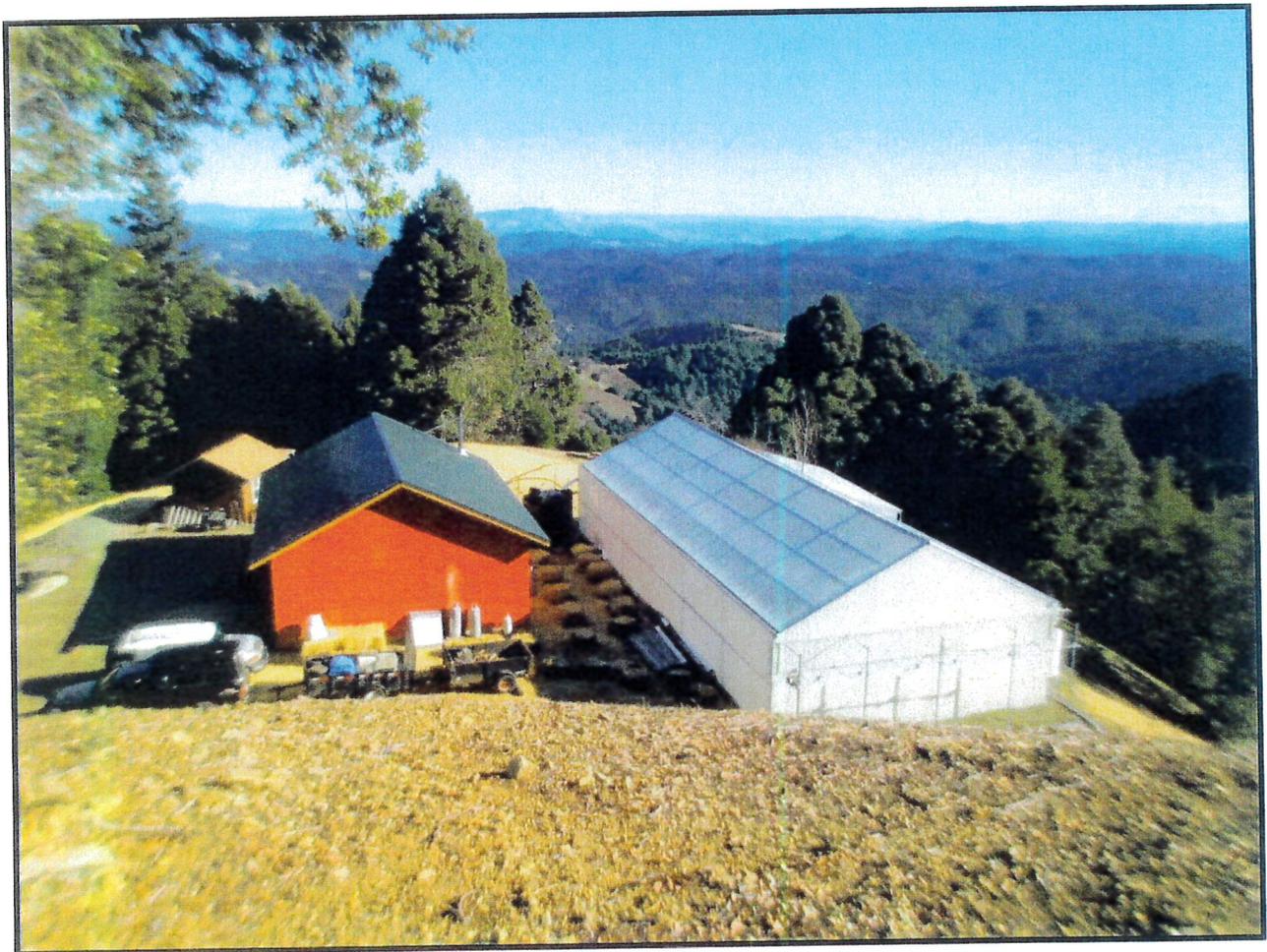
Order No. R1-2015-0023, Appendix C must be submitted to the Regional Water Board or approved third party program upon initial enrollment in the Order (NOI) and annually thereafter by March 31. Forms submitted to the Regional Water Board shall be submitted electronically to northcoast@waterboards.ca.gov. If electronic submission is infeasible, hard copies can be submitted to: North Coast Regional Water Quality Control Board, 5550 Skylane Boulevard, Suite A, Santa Rosa, CA 95403.

Water Resource Protection Plan

Assessment of Standard Conditions

APN 108-066-05

180101070202TRC116



Assessment of Standard Conditions consisted of field examinations in the summer of 2016. The examination evaluated areas near, and areas with the potential to directly impact, watercourses for sensitive conditions including, but not limited to, existing and proposed roads, skid trails and landings, unstable and erodible watercourse banks, unstable upslope areas, debris, jam potential, inadequate flow capacity, changeable channels, overflow channels, flood prone areas, and riparian zones. Field examinations also evaluated all roads and trails on the property, developed areas, cultivation sites, and any structures and facilities appurtenant to cultivation on the property. Anywhere the Standard Conditions are not met on the property, descriptions of the assessments and the prescribed treatments are outlined following each associated section below.

Summary of Standard Conditions Compliance

1. Site maintenance, erosion control, and drainage features Y / N
2. Stream crossing maintenance Y / N
3. Riparian and wetland protection and management Y / N
4. Spoils management Y / N
5. Water storage and use Y / N
6. Irrigation runoff Y / N
7. Fertilizers and soil amendments Y / N
8. Pesticides and herbicides? Y / N
9. Petroleum products and other chemicals Y / N
10. Cultivation-related wastes Y / N
11. Refuse and human waste Y / N

A. Standard Conditions, Applicable to all Dischargers

1. Site maintenance, erosion control and drainage features

A) Roads shall be maintained as appropriate (with adequate surfacing and drainage features) to avoid developing surface ruts, gullies, or surface erosion that results in sediment delivery to surface waters.

- **Road surface is in need of erosion control measures include armored rolling dips, rip rap placement at identified points and reshape and surface rock application.**

B) Roads, driveways, trails, and other defined corridors for foot or vehicle traffic of any kind shall have adequate ditch relief drains or rolling dips and/or other measures to prevent or minimize erosion along the flow paths and at their respective outlets

- **Placement of ditch relief culverts at seasonal drainages**
- **Placement of rolling dips at determined locations to drain surface drainage**

C) Roads and other features shall be maintained so that surface runoff drains away from potentially unstable slopes or earthen fills. Where road runoff cannot be drained away from an unstable feature, an engineered structure or system shall be installed to ensure that surface flows will not cause slope failure.

- **Reshape road to ensure surface runoff at stable outlet locations. Where necessary, placement of rock armor to ensure stability**

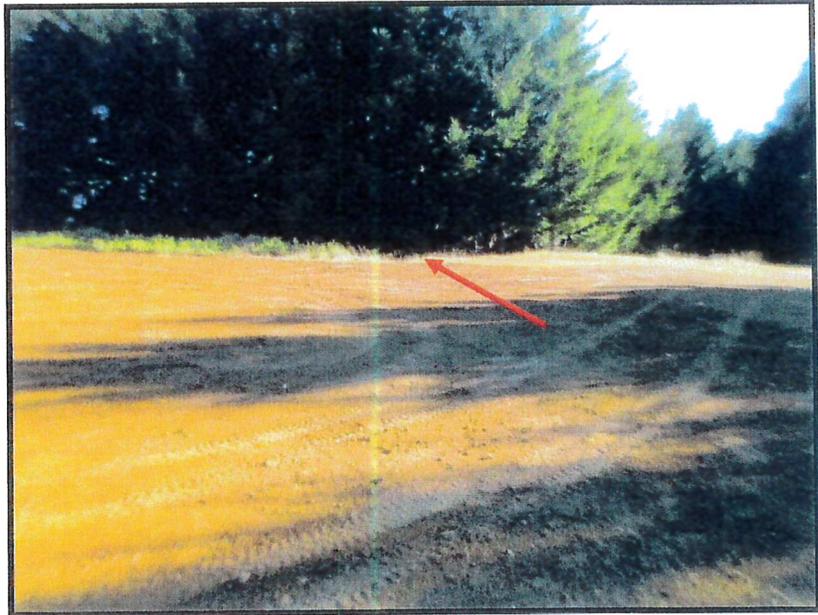
D) Roads, clearings, fill prisms, and terraced areas (cleared/developed areas with the potential for sediment erosion and transport) shall be maintained so that they are not hydro logically connected¹, as feasible, from surface waters, including wetlands, ephemeral, intermittent and perennial streams.

- **Removal of berm along the outboard side of road that has the potential of delivery**
- **Ditch relief culverts placed to disconnect inboard ditch drainage from stream crossings**

Connected roads are road segments that deliver road surface runoff, via the ditch or road surface, to a stream crossing or to a connected drain that occurs within the high delivery potential portion of the active road network. A connected drain is defined as any cross-drain culvert, water bar, rolling dip, or ditch-out that appears to deliver runoff to a defined channel. A drain is considered connected if there is evidence of surface flow connection from the road to a defined channel or if the outlet has eroded a channel that extends from the road to a defined channel. (http://www.forestsandfish.com/documents/Road_Mgmt_Survey.pdf)

Road Point #3: GPS 87

- Ridge road shaped to disperse runoff into Class III channel that drains into property.
- Active gully erosion at the inlet of channel
- Placement of rip rap at the outlet of outboard road drainage channel
- Approximately 10' x 5'



Road Point #4: GPS 90

- Reshape rolling dip to ensure surface water discharge and armor for stability and longevity of dip





Road Point #5: GPS 91

- Straw bales and slash used to stabilize gully
- Removal of bales and slash and replace with rip rap application
- Construct a rocked apron with 12" rip rap approximately 5' x 5' x 2'
- Placement of armor rolling dip that outlets into rocked apron





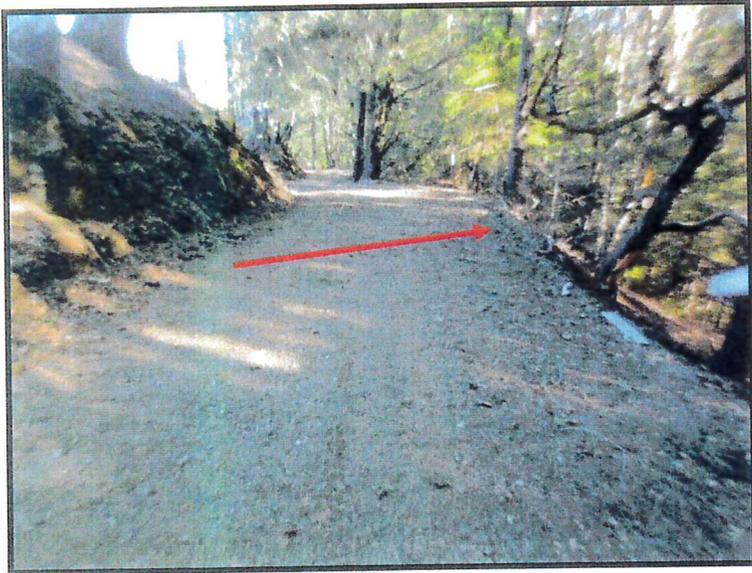
Road Point #7: GPS 93

- Placement of armor rolling dip to ensure surface water discharge and dip longevity.

Road Point #8: GPS 99

- Downcutting of road prism due to concentration of surface runoff
- Placement of armored rolling dip to ensure surface water discharge and dip longevity





Road Point #9: GPS 100

- Placement of armor rolling dip to ensure surface water discharge

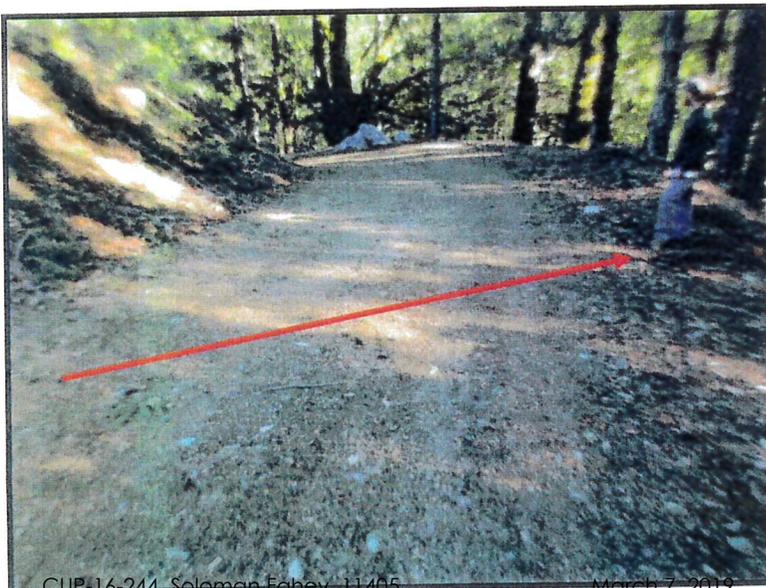
Road Point #10: GPS 101

- Placement of armor rolling dip to ensure surface water discharge
- Remove berm to disperse surface runoff prior to dip



Road Point #11: GPS 104

- Placement of armor rolling dip to ensure surface water discharge



Road Point #12: GPS 105

- Placement of armor rolling dip near gate to ensure surface water discharge.



Road Point #17-GPS 110

- Surface runoff delivery from the left and right approach along with secondary ATV road
- Based on topography map, a Class III creek runs through this section of road, but was not evident during



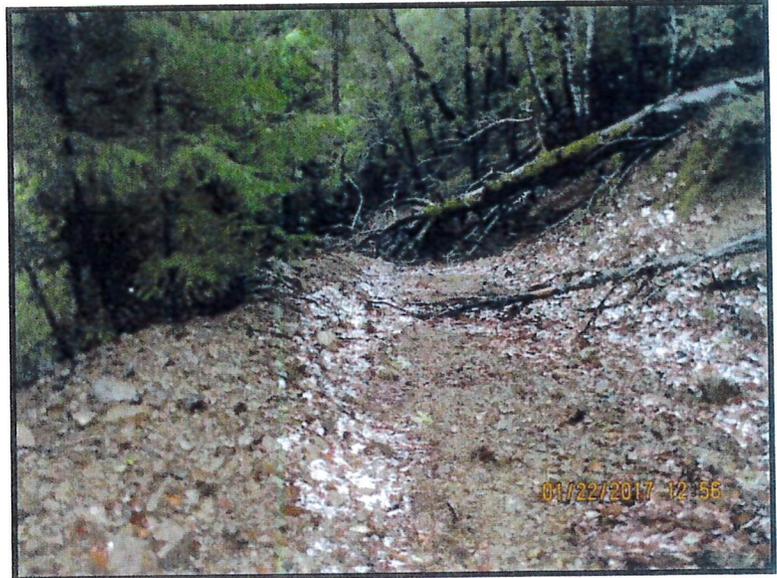
field inventory

- Reshape of road and removal of berm on outboard side.
- Placement of 12" of base and surface rock approximately 60'.
- 2-4" surface rock application

Paradise Fire Road

Road Point #18: GPS 324/330

- Perched material located along the outboard side of road prism.
- Fill berm runs the extent of road segment equaling 1200'



Road Point #19: GPS 324/330

- Existing rolling dips in place throughout road segment
- Reshape as needed during stream crossing upgrades and berm removal



- **Standard condition is not being met at this time**
 - * *All erosion related sites shall be monitored prior to and following prescribed treatments*
 - * *Refer to Figure 28/36-Rolling Dip Types -The Handbook for Forest, Ranch and Rural Road*
 - * *Refer to Figure 79-Rip Rap Application -The Handbook for Forest, Ranch and Rural Road*

F) Stockpiled construction materials are stored in a location and manner so as to prevent their transport to receiving waters.

- **Construction materials are stored near the residence, storage sheds, and processing facility.**
- **Standard condition is being met at this time**

2. Stream Crossing Maintenance

Culverts and stream crossings shall be sized to pass the expected 100-year peak streamflow.

Culverts and stream crossings shall be designed and maintained to address debris associated with the expected 100-year peak streamflow.

Culverts and stream crossings shall allow passage of all life stages of fish on fish-bearing or restorable streams, and allow passage of aquatic organisms on perennial or intermittent streams.

Stream crossings shall be maintained so as to prevent or minimize erosion from exposed surfaces adjacent to, and in the channel and on the banks.

Culverts shall align with the stream grade and natural stream channel at the inlet and outlet where feasible.²

Stream crossings shall be maintained so as to prevent stream diversion in the event that the culvert/crossing is plugged, and critical dips shall be employed with all crossing installations where feasible.³

² At a minimum, the culvert shall be aligned at the inlet. If infeasible to align the culvert outlet with the stream grade or channel, outlet armoring or equivalently effective means may be applied.

³ If infeasible to install a critical dip, an alternative solution may be chosen.

Main Access Road



Road Point 6-Stream Crossing #1: GPS 92

- Existing 18"-20' culvert that transitions to an above ground flex culvert
- Flex culvert delivers to Stream Crossing #5 approximately 160' downslope
- The purpose of the long flex tube is to avoid applying runoff to a slope failure between the two crossings
- Above inlet of culvert exists two (2) gabbion structures that prevent further downcutting upslope
- The gabbions are at

risk of failure and may result in sediment delivery to lower watercourse.

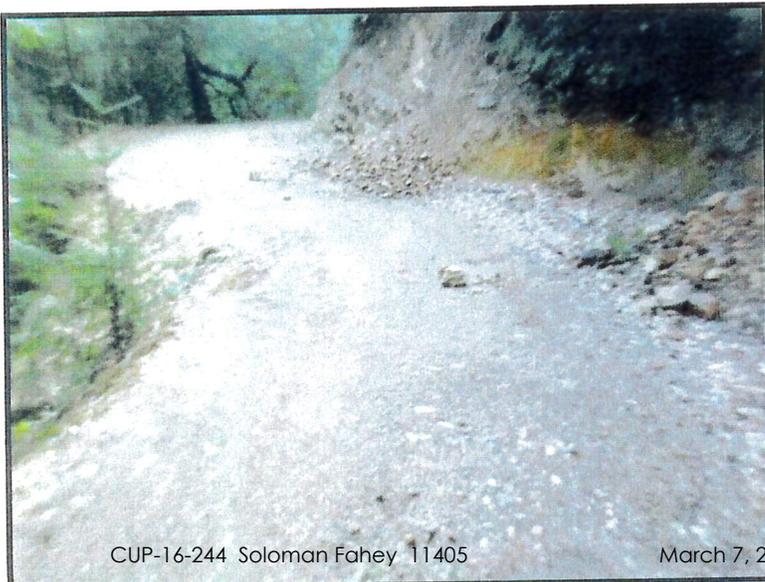
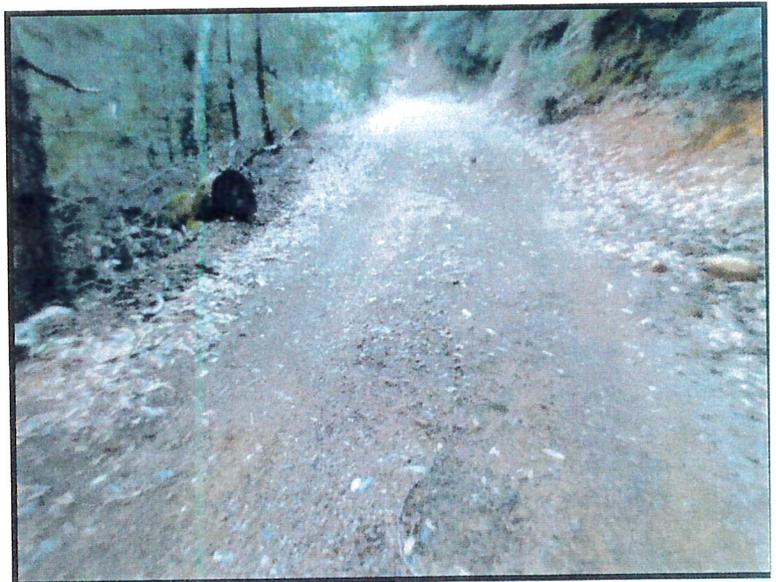
- Removal of gabbion structures and placement of rip rap to create a rock apron
- Rock apron dimensions: 10' x 10' x 2' of D₅₀ quarter ton rock
- Upsize culvert to meet 100 year storm event-24"-30', continue to Stream Crossing #2





Road Point #13-Stream Crossing #2-GPS 106

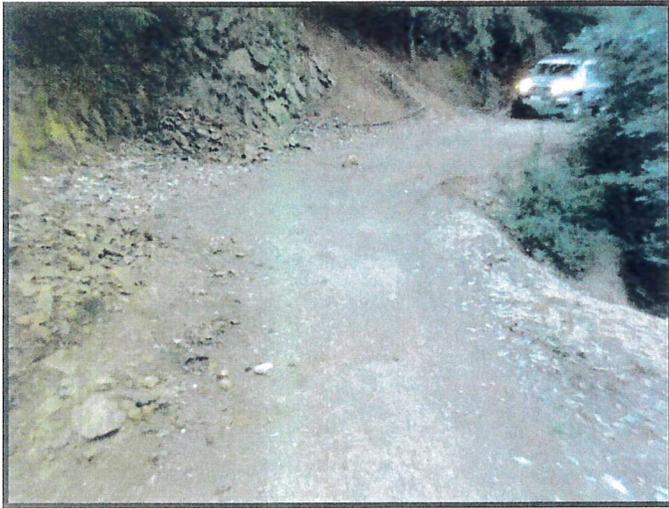
- Existing 12"-20' plastic culvert
 - Culvert inlet not located-plugged
 - Upsize culvert to meet 100 year storm event
 - Placement of 18"-30' HDPE Culvert
- Or
- Placement of a 20' x 10' rock ford



Road Point #14-Stream Crossing #3 -GPS 107

- Existing Class III seasonal stream crossing
- No existing crossing at location
- Outboard road failure due to surface flow and subsurface flow through road prism

- Narrow road prism reduces accessibility and increased safety risk
- Straw bales placed to stabilize bank
- Removal of bales and placement of a 30' x 20' rocked ford to convey seasonal drainage across road on hardened surface.
- Bench approximately 30' of outboard slope and key in rip rap to expand road prism



**Road Point #15-Stream Crossing
#4 -GPS 108**

- Existing Class III seasonal stream crossing
- No existing crossing at location
- Drainage runs into Stream Crossing #15 by inboard ditch
- According to California Board of Forestry and Fire Protection 2013 Road Rules and Technical Addendum No. 5- Guidance on Hydrological Disconnection, road drainage, minimization of



diversion potential and high risk crossings policy 14CCR923.5(a)-(i)[943.5(a)-(i),963.5(a)-(i)], the inboard ditch hydrology must be dispersed prior to entering seasonal drainage.

- Placement of 18"-40' ditch relief culvert to break ditch hydrology and prevent drainage from entering Stream Crossing #5
- Maintain inboard ditch to capture bank seepage



diversion potential and high risk crossings policy 14CCR923.5(a)-(i)[943.5(a)-(i),963.5(a)-(i), the inboard ditch hydrology must be dispersed prior to entering seasonal drainage.

- Placement of 18"-40' ditch relief culvert to break ditch hydrology and prevent drainage from entering Stream Crossing #5
- Maintain inboard ditch to capture bank seepage



Road Point #16-Stream Crossing #5 -GPS 86

- Existing Class III seasonal stream crossing
- Flex culvert delivers from Stream Crossing #1 approximately 160' downslope and under the road, culvert travels another 40' downslope on outboard side
- Circular grate T's into 18" flex culvert and collects water from inboard ditch Grate is at risk of plugging with sediment and woody debris accumulation



- Disconnect flex culvert where it daylights and construct armored apron that leads to the inlet of newly placed culvert
 - Allow Class III and inboard ditch drainage to enter into newly upsized culvert by rocked apron
 - Upsize culvert to a 24"-40' culvert to meet 100 year storm event.
 - Armor headwall of culvert



Paradise Fire Road

Road Point #20-Stream Crossing #6 -GPS 322

- Existing Class III seasonal stream crossing
- No existing crossing in place
- Cal Fire suppression activities during the 2008 Paradise Fire filled the stream crossing.
- Downcutting within channel has occurred, but perched material still present

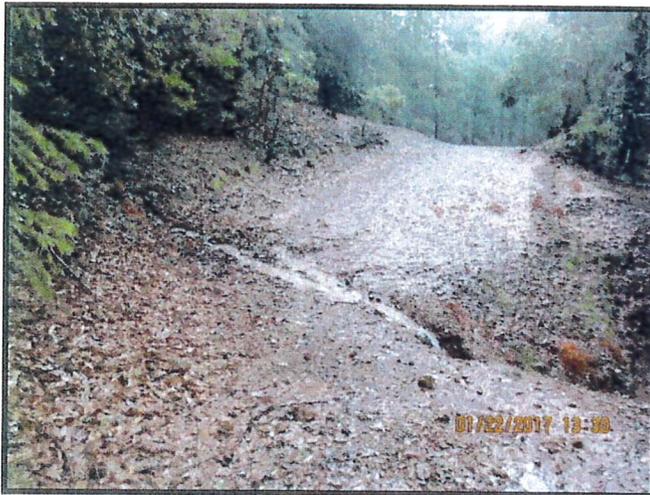


- Placement of a 30"-40' HDPE Culvert

OR

- Approximatley 30' x 10' Rocked Ford with 18"- 6" base rock at foundation and 2-4" surface rock





4" surface rock over culvert

OR

- Approximately 20' x 10' Rocked Ford with 18"- 6" base rock at foundation and 2-4" surface rock

- Placement of a 24"-30' HDPE Culvert
- Rip rap headwall of inlet and outlet
- Placement of 18"-6' energy dissipater at the outlet
- Application of 2-



Road Point #23-Stream Crossing #9 -GPS 335

- Existing Class III seasonal stream crossing
- No existing crossing in place
- Downcutting of road prism and gully formation on outlet occurring



- Placement of a 24"-30' HDPE Culvert
- Rip rap headwall of inlet and outlet
- Placement of 18"-6' energy dissipater at the outlet
- Application of 2-4" surface rock over culvert

OR

- Approximately 20' x 10' Rocked Ford with 18"- 6" base rock at foundation and 2-4" surface rock

** All stream crossings are sized for the 100 year storm event using the rationale method.*

** All rock sizing based on Lanes Method*

3. Riparian and Wetland Protection and Management

For Tier 1 Dischargers, cultivation areas or associated facilities shall not be located within 200 feet of surface waters. While 200 foot buffers are preferred for Tier 2 sites, at a minimum, cultivation areas and associated facilities shall not be located or occur within 100 feet of any Class I or II watercourse or within 50 feet of any Class III watercourse or wetlands. The Regional Water Board for Tier 1 Dischargers, cultivation areas or associated facilities shall not be located within 200 feet of surface waters. While 200 foot buffers are preferred for Tier 2 sites, at minimum, cultivation areas and associated facilities shall not be located or occur within 100 feet of any Class I or II watercourse or within 50 feet of any Class III watercourse or wetlands. The Regional Water Board or its or its Executive Officer may apply additional or alternative⁴ conditions on enrollment, including site-specific riparian buffers and other BMPs beyond those identified in water resource protection plans to ensure water quality protection.

Buffers shall be maintained at natural slope with native vegetation.

Buffers shall be of sufficient width to filter wastes from runoff discharging from production lands and associated facilities to all wetlands, streams, drainage ditches, or other conveyances. Riparian and wetland areas shall be protected in a manner that maintains their essential functions, including temperature and microclimate control, filtration of sediment and other pollutants, nutrient cycling, woody debris recruitment, groundwater recharge, streambank stabilization, and flood peak attenuation and flood water storage.

- **Cultivation sites are located at the required distances from watercourses**
- **Standard condition is being met at this time**

⁴ Alternative site-specific riparian buffers that are equally protective of water quality may be necessary to accommodate existing permanent structures or other types of structures that cannot be relocated.

4. Spoils Management

Spoils⁵ shall not be stored or placed in or where they can enter any surface water.

Spoils shall be adequately contained or stabilized to prevent sediment delivery to surface waters.

Spoils generated through development or maintenance of roads, driveways, earthen fill pads, or other cleared or filled areas shall not be sidecast in any location where they can enter or be transported to surface waters.

- **Spoils are utilized on segments of road away from watercourses**
- **Standard condition is being met at this time**

5. Water Storage and Use

Size and scope of an operation shall be such that the amount of water used shall not adversely impact water quality and/or beneficial uses, including and in consideration with other water use by operations, instream flow requirements and/or needs in the watershed, defined at the scale of a HUC-12⁶ watershed or at a smaller hydrologic watershed as determined necessary by the Regional Water Board Executive Officer.

Water conservation measures shall be implemented. Examples include use of rainwater catchment systems or watering plants with a drip irrigation system rather than with a hose or sprinkler system.

For Tier 2 Dischargers, if possible, develop off-stream storage facilities to minimize surface water diversion during low flow periods.

Water is applied using no more than agronomic rates.⁷

Diversion and/or storage of water from a stream should be conducted pursuant to a valid water right and in compliance with reporting requirements under Water Code section 5101.

Water storage features, such as ponds, tanks, and other vessels shall be selected, sited, designed, and maintained so as to insure integrity and to prevent release into waters of the state in the event of a containment failure.

⁵ Spoils are waste earthen or organic materials generated through grading or excavation, or waste plant growth media or soil amendments. Spoils include but are not limited to soils, slash, bark, sawdust, potting soils, rock, and fertilizers.

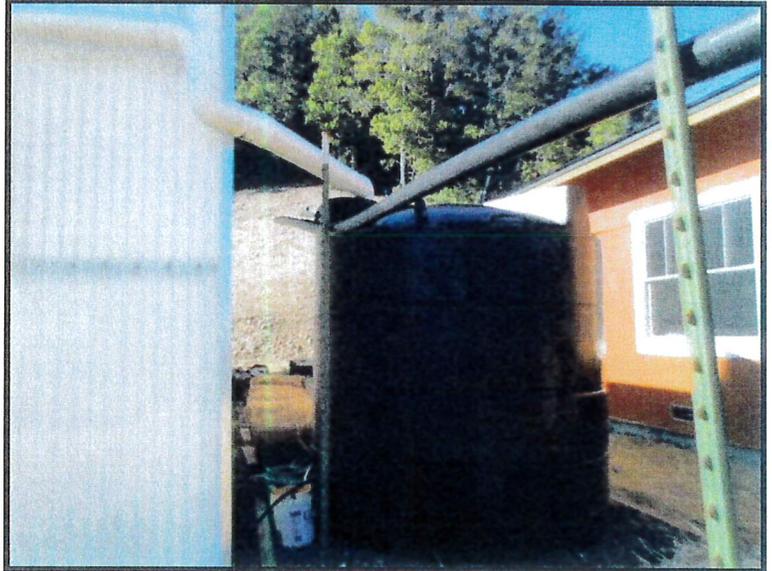
⁶ See definition and link to maps at: <http://water.usgs.gov/GIS/huc.html>

⁷ "Agronomic rates" is defined as the rates of fertilizer and irrigation water that a plant needs to enhance soil productivity and provide the crop or forage growth with needed nutrients for optimum health and growth, without having any excess water or nutrient percolate beyond the root zone.

Irrigation is obtained from two (2) sources

1. Roof Rain Harvesting System

- Connected to Greenhouse #1
- Approximately 72' x 30 square footage of collection surface- See calculation below
- Delivers to a 2500 gallon storage tank
- Overflows into nearby terraced vegetable garden
- Future plans include harvesting from residence structure adjacent to storage tank



Water Conservation measures:

Rain Water Harvest Calculation:

Existing rain catchment system from Green house #1

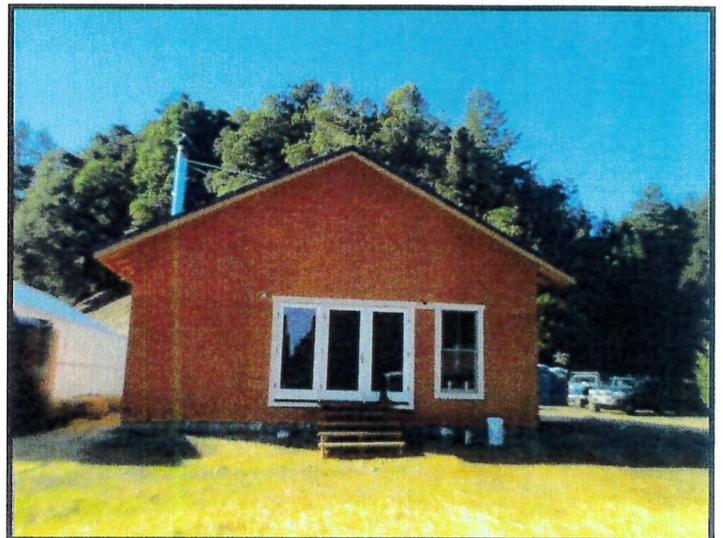
72" x 30' structure=2160 sqft

2160 square feet x 50" precipitation x .95 (metal roof) x .623 (standard number)= 63,920 gallons/annual

For every 1" of rain and 1,000 square feet of impermeable surface approximately 620 gallons are generated. Meaning, you can capture about .623 gallons per sq ft.

Future rain catchment from residence

60' x 40' structure=2400 sqft



2400 square feet x 50" precipitation x .95 (metal roof) x .623 (standard number)= 71,022 gallons/annual

2. Agricultural Well

- Approximately 220' deep
- Provides 20 gallons per minute
- Water meter is needed
- Solar powered
- Pumps to storage and mixing tanks at higher elevation
- Delivered by a 2" Polyvinyl Chloride (PVC) pipe

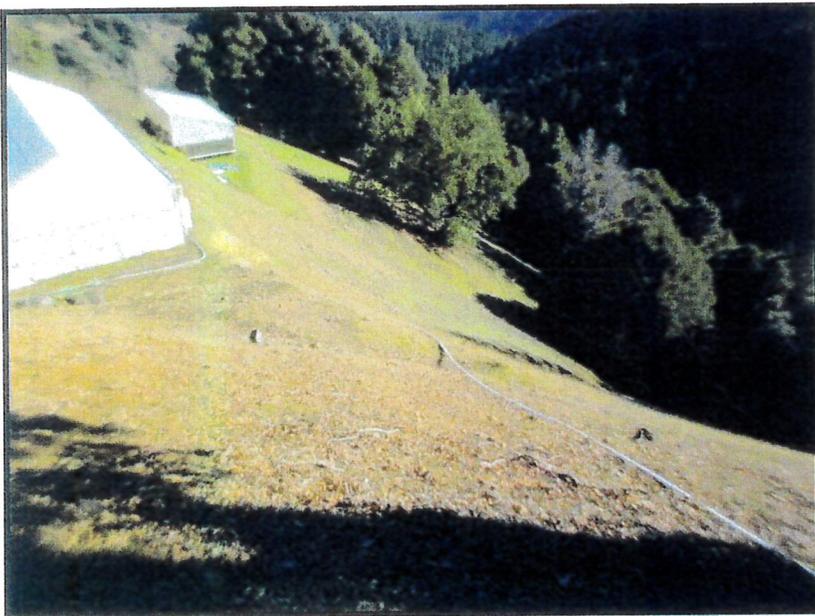


- PVC pipe tees toward mixing tank prior to entering storage tanks
- 550 gallon mixing tank (GPS 80)
- Mixing tank has two (2) lines that supply the green houses and in-ground sites



- Well pumps up to one (1) 5000 gallon storage tanks (GPS 83)
 - Float assembly within storage tank
 - Manually fills an adjacent 1500 gallon storage tank

- Delivered from storage tanks to Greenhouse #1 with 2" Polyvinyl Chloride (PVC)



Greenhouse #1: (GPS 49-51)

- 72" x 30' structure=2160 sqft
- Forty two (42) 100 gallon smart pots
- Future goal is to transition into raised beds
- Approximately 40% slope on the south side of ridge

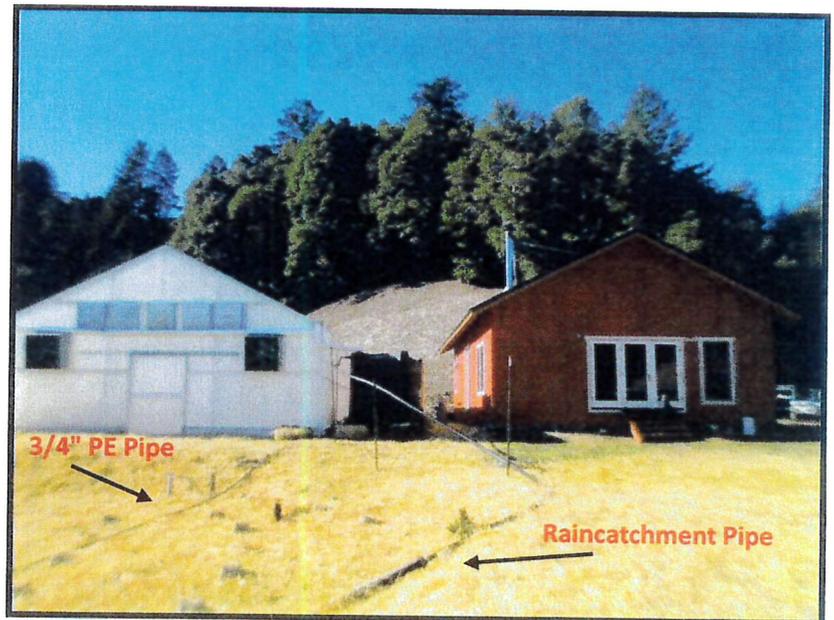


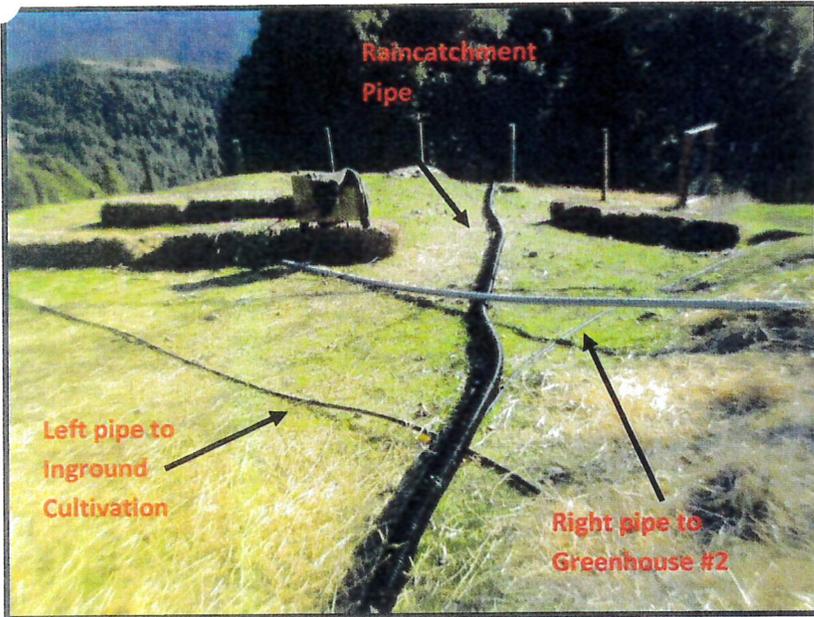


Outdoor Smart Pot Cultivation Site (GPS 52,55)

- In between Greenhouse #1 and Residence
- Approximately twenty eight (28) 100 gallon smart pots
- 40' x 20'=800 sqft

- At Greenhouse #1, pipe transitions to a 3/4" Polyethylene (PE)

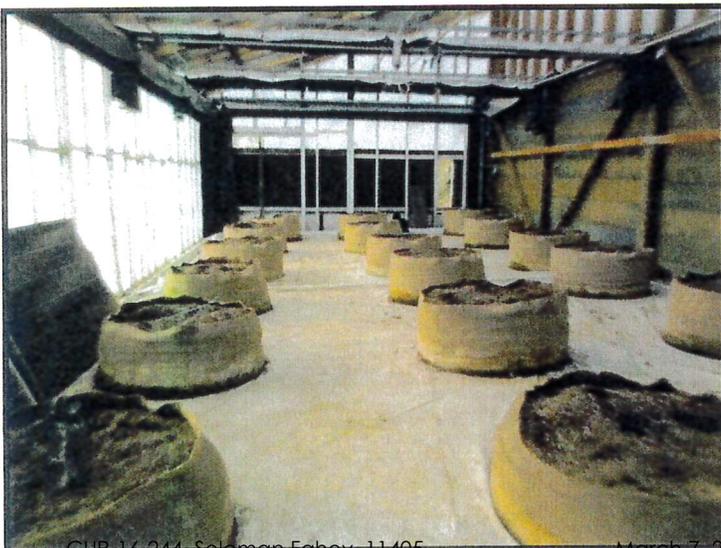




- 3/4" pipeline tees (GPS 56)
- Left pipe runs to the vegetable garden and in-ground cultivation sites
- Right pipe runs to Green House #2

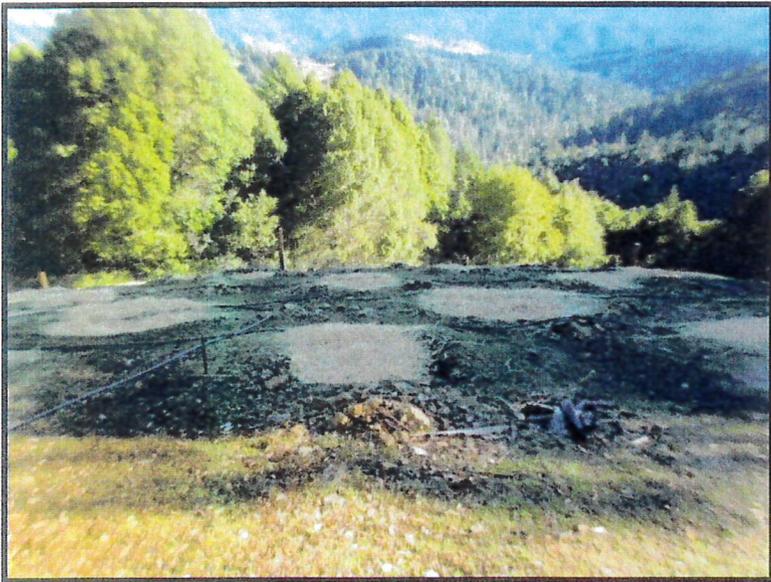
Greenhouse #2: (GPS 65-68)

- 40' x 20' structure=800 sqft
- Eighteen (18) 100 gallon smart pots
- Future goal is to transition into raised beds
- Approximately 40% slope on the south side of ridge



Vegetable Garden

- Left pipe runs to the vegetable garden and inground cultivation sites
- Raincatchment outlet delivers to vegetable garden



Inground Cultivation Site (GPS 58-64)

- Forty three (43) inground plants
- 141' x 101' = 14,241 sqft
- 35% at the top of ridge, becoming 45% at the bottom of cultivation site
- All on a timed drip irrigation system



- Timers controls six (6) lines that provide the in-ground plants with drip irrigation

Available/Utilized Water

Greenhouse #1 = 2160 square feet

- Plants are watered @ 1.7 gallons per 10 sqft

2160 sqft/10 sqft=216 x 1.7= 367 per watering

367 gallons x 15 days of watering/month = 5505 gallons

367 gallons x 30 days of watering/month = 11,010 gallons

5505 gallons/month x 6 months= 33,030 gallons

11,010 gallons/month x 6 months= 66,060 gallons

Greenhouse #2 = 800 square feet

- Plants are watered @ 1.7 gallons per 10 sqft

800 sqft/10 sqft=80 x 1.7=136 per watering

136 gallons x 15 days of watering/month = 2040 gallons

136 gallons x 30 days of watering/month = 4080 gallons

2040 gallons/month x 6 months= 12,240 gallons

4080 gallons/month x 6 months= 24,480 gallons

Outdoor Smart Pot Cultivation Site

Watering per plant

- 5 gallons per watering
- Approximately 28 plants- 100 gallon smart pots

5 gallons x 15 days= 75 gallons per month/per plant

5 gallons x 30 days= 150 gallons per month/per plant

28 plants x 75 gallons/month= 2100 gallons per month

28 plants x 150 gallons/month= 4200 gallons per month

2100 gallons x 6 months= 12,600 gallons per season

4200 gallons x 6 months= 25,200 gallons per season

In-ground Cultivation Site

- Plants are watered @ 1.5 gallons per 10 sqft
- 43 inground plants

1625 sqft/10 sqft=162.5 x 1.5=243.75 per watering

243.75 gallons x 15 days of watering/month = 3,656 gallons

243.75 gallons x 30 days of watering/month = 7,313 gallons

3656 gallons/month x 6 months= 21,936 gallons

7313 gallons/month x 6 months= 43,878 gallons

Total Water Used in 15 days per month= 13,301 gallons

Total Water Used in 30 days per month= 26,603 gallons

Total Water Used every 15 days for 6 Months=79,806 gallons

Total Water Used every 30 days for 6 Months= 159,618 gallons

- **Water meter needs to be installed at well/storage tanks**
- **PVC pipe needs to be buried for longevity and water conservation measures**
- **Irrigation schedule will be documented and reported in 2017**

Standard condition is not being met at this time

6. Irrigation Runoff

Implementing water conservation measures, irrigating at agronomic rates, applying fertilizers at agronomic rates and applying chemicals according to the label specifications, and maintaining stable soil and growth media should serve to minimize the amount of runoff and the concentration of chemicals in that water. In the event that irrigation runoff occurs, measures shall be in place to treat/control/contain the runoff to minimize the pollutant loads in the discharge. Irrigation runoff shall be managed so that any entrained constituents, such as fertilizers, fine sediment and suspended organic particles, and other oxygen consuming materials are not discharged to nearby watercourses. Management practices include, but are not limited to, modifications to irrigation systems that reuse tailwater by constructing off-stream retention basins, and active (pumping) and

or passive (gravity) tailwater recapture/redistribution systems. Care shall be taken to ensure that irrigation tailwater is not discharged towards or impounded over unstable features or landslides.

- **The irrigation system for all cultivation sites are on drip irrigation.**
- **Due to the distance between the greenhouses and watercourses there should be no hydrological connectivity between irrigation and watercourse.**
- **Refer to irrigation schedule. Additional monitoring and reporting to take place in 2017.**

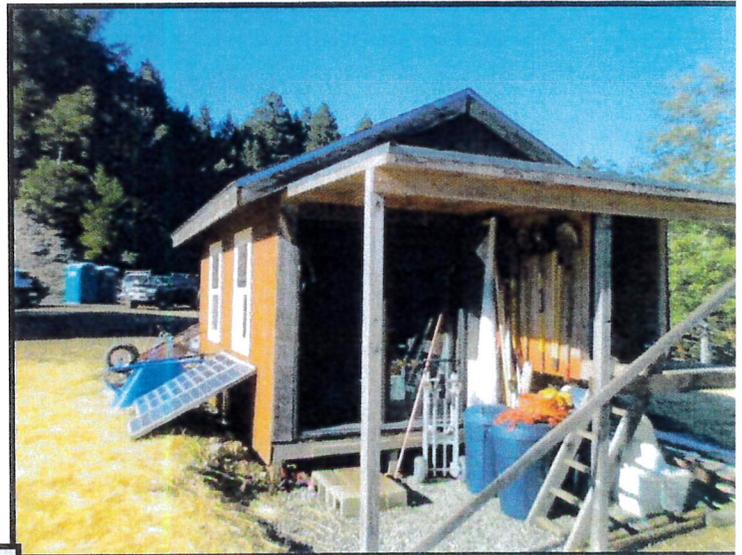
7. Fertilizers and Soil Amendments

Fertilizers, potting soils, compost, and other soils and soil amendments shall be stored in locations and in a manner in which they cannot enter or be transported into surface waters and such that nutrients or other pollutants cannot be leached into groundwater.

Fertilizers and soil amendments shall be applied and used per packaging instructions and/or at proper agronomic rates.

Cultivation areas shall be maintained so as to prevent nutrients from leaving the site during the growing season and post-harvest.

- Storage Facility (GPS 43-46) stores all organic fertilizers and soil amendments.
- Fertilizers stored in 5 gallon buckets



Soil Mix

1) Recycled soil with dry amendments added

Liquid Organic Fertilizers-Mixing Tank



1) Pure Blend Tea

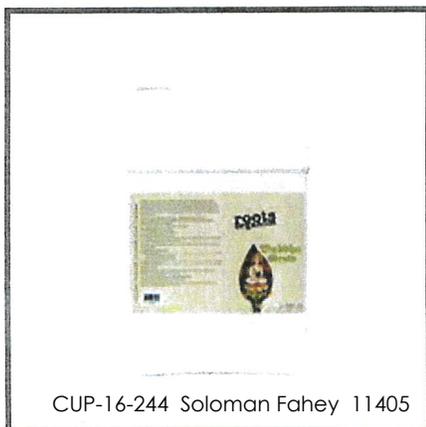
N 0.5% – P 0.5% – K 1.00%

Seabird guano, Earthworm castings, Fish Meal and Kelp

Roots Organics HPK

- N 0.00% – P 4.00% – K 3.00%
- Liquid bloom booster features a combination of bat guano
- Langbeinite, a natural source of potassium that is carefully mined from ancient sea beds in the deserts of the American Southwest.

- Flower finisher



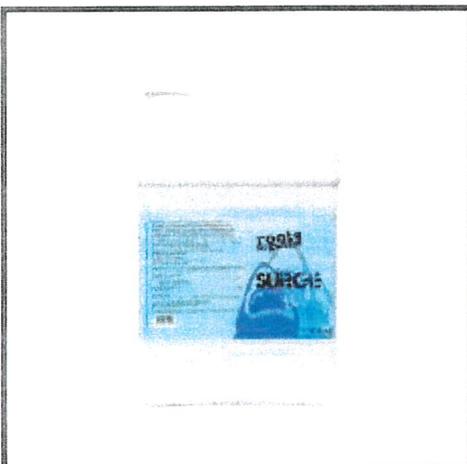
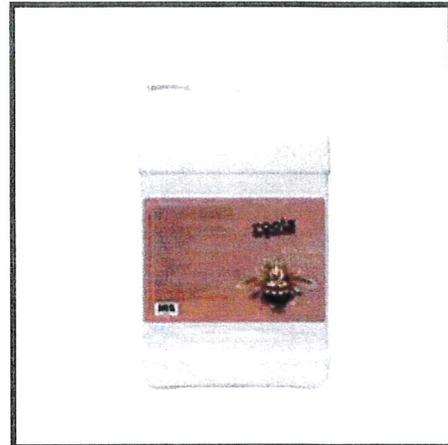
Roots Organics Buddha Grow

- N 2.00% – P 0.25% – K 2.00%

- Derived from Bat Guano, Kelp Extract (*Ascophyllum nodosum*), Soy Extract, Molasses, Worm Castings, Yucca Extract
- Promote vigor, substantially increase yields and enhance the quality of production and flavor in soil-grown plants during their growth and bloom stages.

Roots Organics Buddha Bloom

- N 0.50% – P 2.00% – K 1.00%
- Derived from Bat Guano, Molasses, Worm Castings, Yucca Extract, Kelp Extract (*Ascophyllum nodosum*), Soy Extract
- Promote vigor, substantially increase yields and enhance the quality of production and flavor in soil-grown plants during their growth and bloom stages.

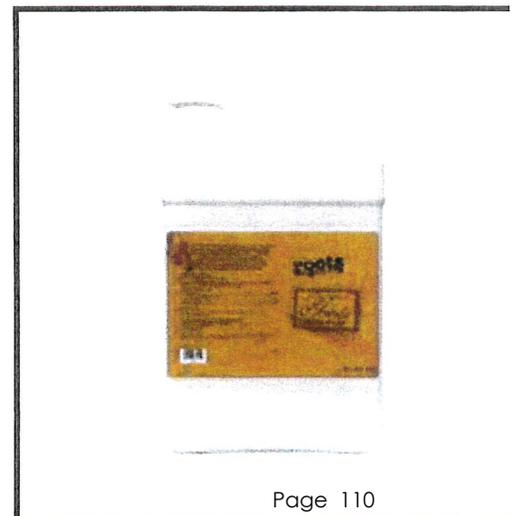


Roots Organics Surge

- N 2.00% – P 2.00% – K 0.50%
- Derived from hydrolyzed fish stabilized with phosphoric acid, Kelp (*Ecklonia maxima*), Molasses and Langbeinite
- Enzymatically processed ocean fishery bycatch plus kelp and humic acid.
- Faster growth, heavier yields, and lush plants rich with essential oils

Roots Organics Trinity

- N 0.25% – P 0.10% – K 1.00%
- Derived from Kelp Extract (*Ascophyllum nodosum*), Yucca Extract, Soy Protein Hydrolysate, Aloe Extract.



Also Contains Molasses Carbohydrates and Non Plant Food Ingredients: Quillaja, Humic Acid

- Plant and rhizosphere growth enhancemen



Vital Earth Liquid Grow

- N 4.0% – P 3.0% – K 4.00%
- Extracted from seabird guano, fish solubles & potassium sulfate.
- 100% organic.

Vital Earth O.G. Seabird Guano Liquid Bloom

- N 2.0% – P 5.0% – K 0.00%
- Extracted from seabird guano and fish bone meal to give phosphorous and other essential nutrients to your fruiting and flowering plants



Dry Soil Amendments



1) Roots Organic Super Nitrogen Guano

N 15.5% – P 1.00% – K 1.00%

100% Natural Bat Guano



2) Glacial Mineral Dust

Calcium(Ca)1.4%
Magnesium(Mg)0.562%
Cobalt(CO)0.00234%
Iron(Fe).0.95%
Sodium (Na) 1.25%

Natural mineral product, which is produced over many thousands of years by piedmont glacial action.

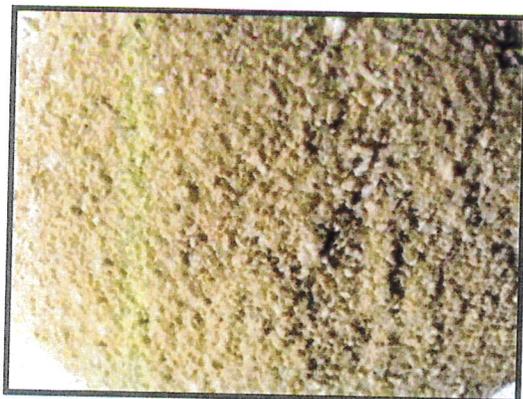
High in natural silica and provides an excellent source of calcium, iron, magnesium and potassium, and trace elements and micronutrients.

3) Crabshell Meal

N 4.00% – P 3.00% – K 0.00%

Derived from Dungeness crab meal

Organic nutrients, including nitrogen, phosphorous and calcium



4) Fish Bone Meal

N 3.00% – P 16.00% – K 0.00%

Fish meal fertilizer is as a source of Phosphorus and Calcium

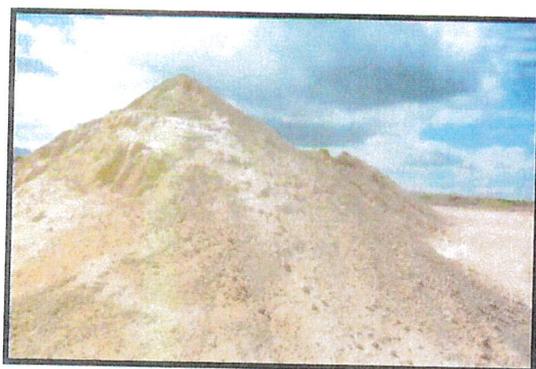
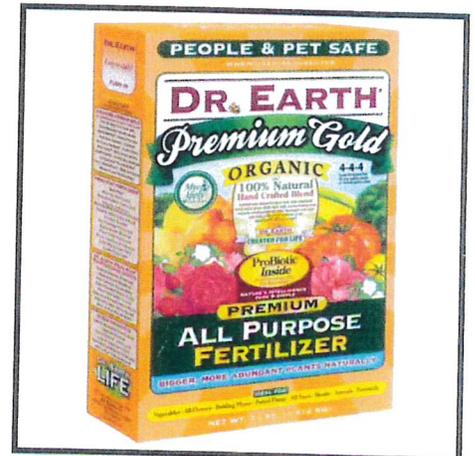


5) Archipelago Bat Guano
N 0.00% – P 7.00% – K 0.00%

Phosphate, calcium, and micronutrient fertilizer

6) Dr. Earth All Purpose Fertilizer
N 4.00% – P 4.00% – K 4.00%

Pro-biotic, strains of beneficial soil microbes plus
ecto and endo mycorrhizae



7) Azomite
Trace Minerals

Natural material, mined in Central Utah-Rhyolitic tuff brecca

Listed by the Organic Materials Review Institute (OMRI)
for use in certified organic production

8) Oyster Shell
96% calcium carbonate and micro-nutrients



Top Dressing

Vegetative State

1) Roots Organic Super Nitrogen Guano

N 15.5% – P 1.00% – K 1.00%

100% Natural Bat Guano



2) Stutzman Sup'R Green Chicken Manure

N 3.0% – P 2.00% – K 2.00%

Compliant with the USDA's National Organic Program (NOP)

Flower State

1) Fish Bone

N 6.0% – P 15.00% – K 0.00%

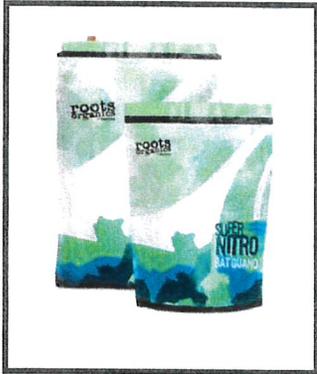
All-natural phosphorous and calcium additive derived from cooked fish bones



2) Roots Organic Super Nitrogen Guano

N 15.5% – P 1.00% – K 1.00%

100% Natural Bat Guano

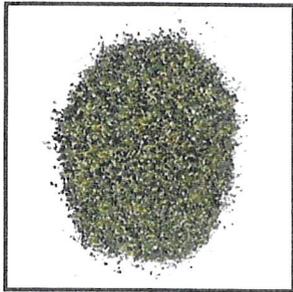


3) Dry Kelp Meal

N 1.0% – P 0.00% – K 2.00%

Dried and ground *Ascophyllum nodosum* seaweed

OMRI Listed for use in organic production



4) Worm Castings

Improves germination rate, plant growth rate even with just 10% worm castings mixed with soil.



Compost Tea



1) Molasses

2) Kelp

**3) Earth humic acid
Derived from leonardite shale**

The ability to chelate positively charged multivalent ions (Mg, Ca, Fe and other "trace minerals" of value to plants)

8. Pesticides/Herbicides

At the present time, there are no pesticides or herbicides registered specifically for use directly on cannabis and the use of pesticides on cannabis plants has not been reviewed for safety, human health effects, or environmental impacts. Under California law, the only pesticide products not illegal to use on cannabis are those that contain an active ingredient that is exempt from residue tolerance requirements and either registered and labeled for a broad enough use to include use on cannabis or exempt from registration requirements as a minimum risk pesticide under FIFRA section 25(b) and California Code of Regulations, title 3, section 6147. For the purpose of compliance with conditions of this Order, any uses of pesticide products shall be consistent with product labeling and any products on the site shall be placed, used, and stored in a manner that ensures that they will not enter or be released into surface or ground waters.

- Applied as needed up to flowering

1) Neem Oil

- Effective as an insecticide, a fungicide and as a bactericide.
- As an insecticide Neem kills small soft-bodied insects and mites directly.
- Functions as a hormone disruptor in the insect's body which in turn regulates the development of the insect

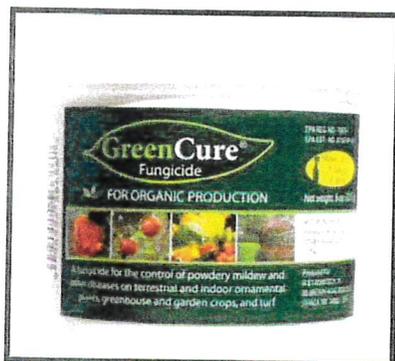
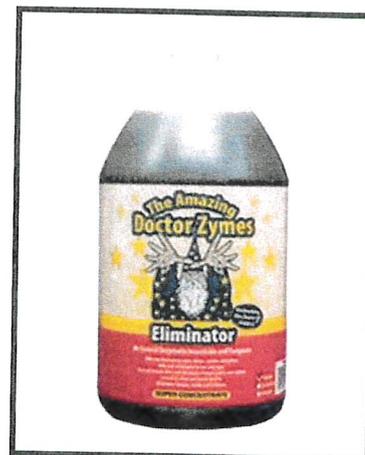


2) Azamax

- Broad spectrum insect and spider mite control
- OMRI Listed for use in organic production

3) The Amazing Doctor Zymes Enzymatic Plant Wash

- All natural and organic enzyme that's 100% environmentally friendly.
- Multi-purpose root drench and foliar spray eliminates an extremely wide range of insects as well as molds/mildew.
- Eliminates and kills: mites, thrips, aphids, whiteflies, larvae, eggs, fungus gnats, root aphids, and other media born insects.
- Eliminates and kills molds, fungus, and powdery mildew.



4) GreenCure fungicide

- Not a toxic chemical. Its active ingredient, potassium bicarbonate, is commonly used in food products.
- Kills powdery mildew and other diseases on contact and provides up to 2 weeks of residual protection
- GreenCure fungicide for organic gardening. Fulfills USDA's National Organic Program (NOP) requirements, and is OMRI listed and may be used in certified organic production according to the NOP Rule.

5) Serenade Biofungicide

- Protects against many plant diseases, including bacterial spot, powdery mildew, rust, gray mold, leaf blight and scab
- Contains a unique, patented strain (QST 713) of *Bacillus subtilis*
- OMRI Listed



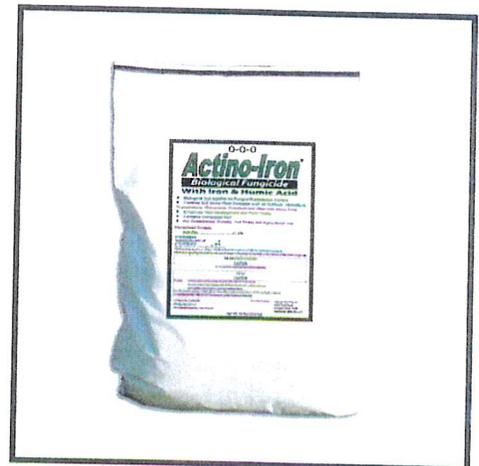


6) J & M's Stylet-Oil

- Fungicide for powdery mildew, as an insecticide to control mites, whitefly and leafminer, as well as aphid-transmitted virus diseases
- Year-round spray oil is OMRI listed and EPA registered

7) Actino-Iron

- Biological fungicide that contains iron and humic acid
- Preventative suppression/control of root rot and damping off fungi such as *Pythium*, *Rhizoctonia*, *Pythophthora*, *Fusarium*
- The active ingredient in Actino-Iron is *Streptomyces lydicus* strain WYEC 108, a naturally occurring beneficial soil bacterium
- **Standard condition is being met at this time.**



9. Petroleum products and other chemicals

Petroleum products and other liquid chemicals, including but not limited to diesel, biodiesel, gasoline, and oils shall be stored so as to prevent their spillage, discharge, or seepage into receiving waters. Storage tanks and containers must be of suitable material and construction to be compatible with the substance(s) stored and conditions of storage such as pressure and temperature.

Above ground storage tanks and containers shall be provided with a secondary means of containment for the entire capacity of the largest single container and sufficient freeboard to contain precipitation.

Dischargers shall ensure that diked areas are sufficiently impervious to contain discharged chemicals.

Discharger(s) shall implement spill prevention, control, and countermeasures (SPCC) and have appropriate cleanup materials available onsite.

Underground storage tanks 110 gallons and larger shall be registered with the appropriate County Health Department and comply with State and local requirements for leak detection, spill overflow, corrosion protection, and insurance coverage.

- **Two (2) Honda 3000 Generators**



- **Gas tanks and generators are stored in secondary storage shed**
- **Provide spill trays for all generators and gas containers to prevent petroleum products from leaching into surface soil and potential water quality issues**

10. Cultivation-related wastes

Cultivation-related wastes including, but not limited to, empty soil/soil amendment/ fertilizer/pesticide bags and containers, empty plant pots or containers, dead or harvested plant waste, and spent growth medium shall, for as long as they remain on the site, be stored⁸ at locations where they will not enter or be blown into surface waters, and in a manner that ensures that residues and pollutants within those materials do not migrate or leach into surface water or groundwater.

⁸ Plant waste may also be composted, subject to the same restrictions cited above for cultivation-related waste storage.

- **Cultivation wastes are either composted or burned and buried away from watercourses**
- **Standard condition is being met at this time**

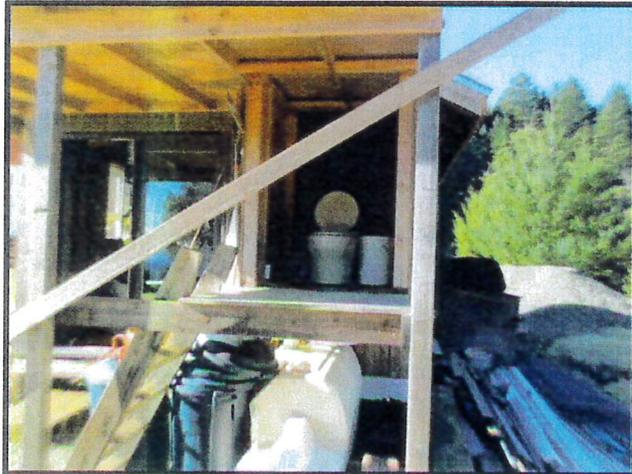
11. Refuse and human waste

Disposal of domestic sewage shall meet applicable County health standards, local agency management plans and ordinances, and/or the Regional Water Board's Onsite Wastewater Treatment System (OWTS) policy, and shall not represent a threat to surface water or groundwater.

Refuse and garbage shall be stored in a location and manner that prevents its discharge to receiving waters and prevents any leachate or contact water from entering or percolating to receiving waters.

Garbage and refuse shall be disposed of at an appropriate waste disposal location.

- **Bathroom facility consists of two (2) port a potties and one (1) compost toilet**



- **In order to meet standards, waste disposal system will either need to be permitted or an engineer will need to document that it can be permitted.**
- **Garbage and refuse is regularly hauled to Redway Waste Transfer Station**
- **Standard condition is not being met at this time**

12. Remediation/Cleanup/Restoration

Remediation/cleanup/restoration activities may include, but are not limited to, removal of fill from watercourses, stream restoration, riparian vegetation planting and maintenance, soil

stabilization, erosion control, upgrading stream crossings, road outsloping and rolling dip installation where safe and suitable, installing ditch relief culverts and overside drains, removing berms, stabilizing unstable areas, reshaping cutbanks, and rocking native-surfaced roads. Restoration and cleanup conditions and provisions generally apply to Tier 3

sites, however owners/operators of Tier 1 or 2 sites may identify or propose water resource improvement or enhancement projects such as stream restoration or riparian planting with native vegetation and, for such projects, these conditions apply similarly. Appendix B accompanying this Order includes environmental protection and mitigation measures that apply to cleanup activities such as: temporal limitations on construction; limitations on earthmoving and construction equipment; guidelines for removal of plants and revegetation; conditions for erosion control, limitations on work in streams, riparian and wetland areas; and other measures.

- **Mitigation measures are listed in the Water Resource Protection Plan and also noted above in the Remediation table.**

1. Bromus carinatus, Ca Brome	12 lbs.
2. Festuca idahoensis, Idaho Fescue	8 lbs
3. Nassella pulchra, Purple Needlegrass	5 lbs.
4. Danthonia californica, Ca Oatgrass	5 lbs.
5. Poa secunda, Pine Bluegrass	3 lbs.
Total	36 lbs/acre

Recommended Seed Mix

Because of the slow germination rates associated with native perennial grasses, it is necessary to apply a nurse crop in order to protect the soil surface and compete with introduced species. Quick germinating species such as Regreen is recommended.

6. Triticum aestivum, Regreen -Wheat x wheatgrass hybrid	10 lb. per acre
--	-----------------

FIGURE 28. Well built, outsloped road displaying minimum cut, smooth free draining surface, and no outside berm. The road contours the topography and its rolling grade and rolling dips disperse surface runoff.



HANDBOOK FOR FOREST RANCH AND RURAL ROADS

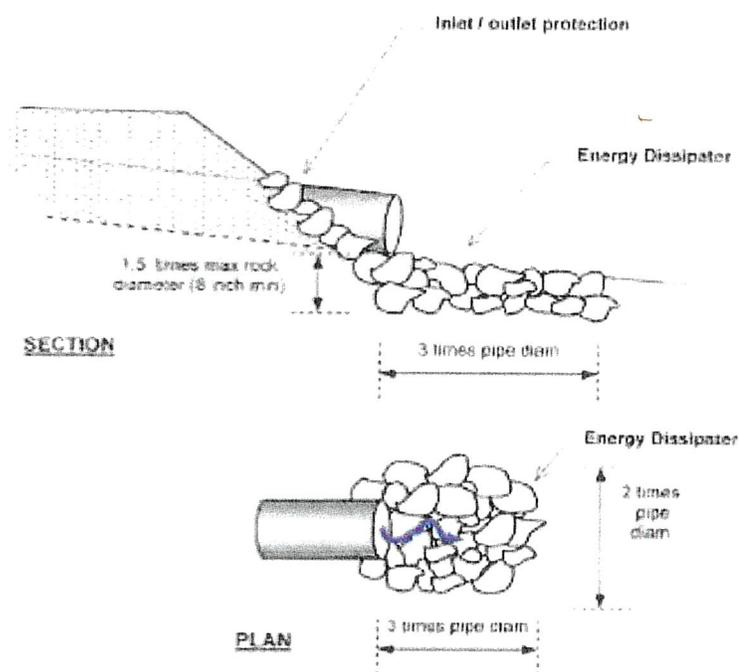
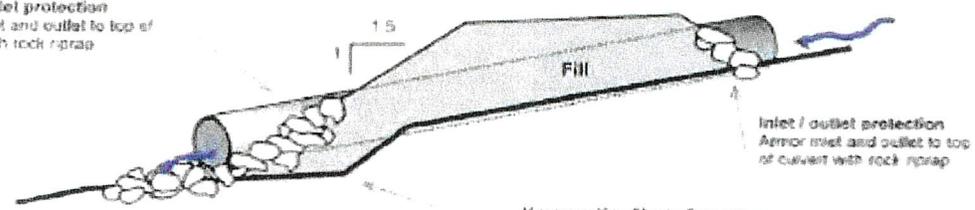


FIGURE 78.
Riprap as outlet energy dissipation (Best, 2013).

Inlet / outlet protection
Armor inlet and outlet to top of culvert with rock riprap



Inlet / outlet protection
Armor inlet and outlet to top of culvert with rock riprap

Keyway: Key fit into firm native soils as shown on plans or specified

Energy Dissipater
- Install rock energy dissipater per standard specifications or as shown on plans

FIGURE 79.
Riprap as inlet protection and outlet energy dissipation (Modified from: Best, 2013).

FORD: A large dip is graded into the road at the axis of the stream channel. The outside fill face is dished out to form a spillway with large rock. On large watercourses, rock is keyed several feet into firm native soils. The road surface is rocked with 6" of minus rock .

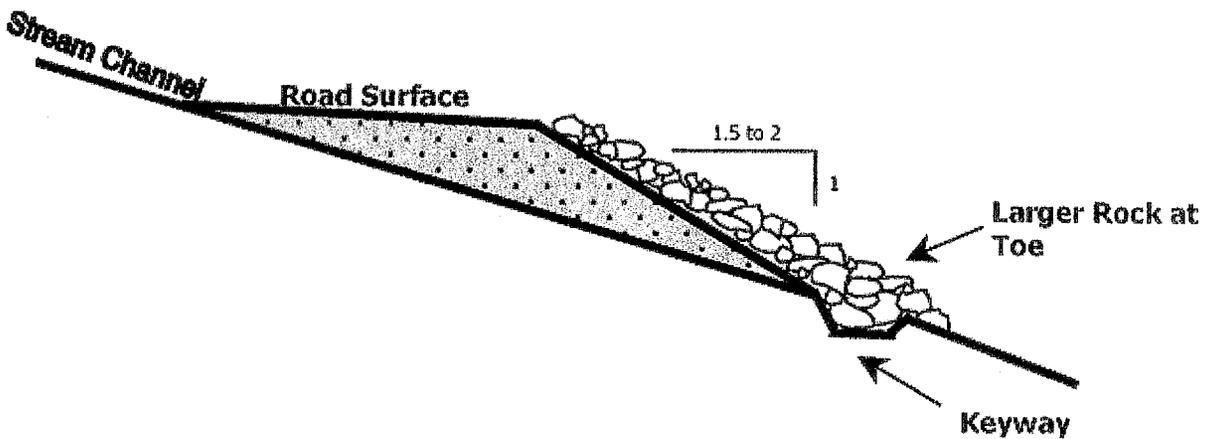
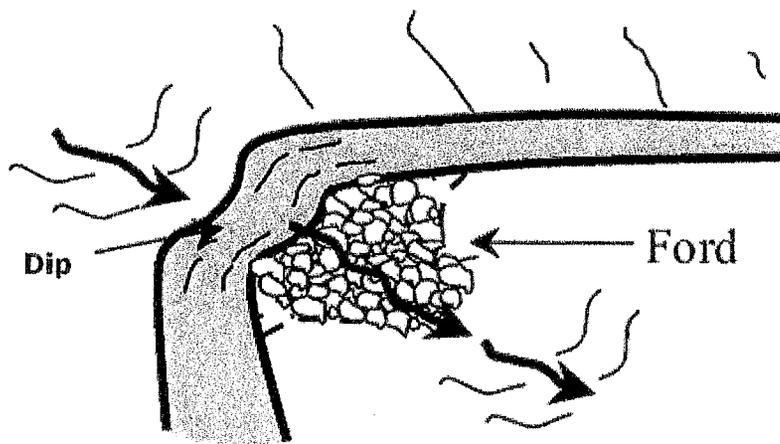




FIGURE 121D. Well graded rock armor is then backfilled into the structure and spread across the breadth of the U-shaped stream crossing, and about one-third the way up the roadbed, so that streamflow will only flow over or come in contact with resistant armor material. The armor must be spread and compacted across the design width of the expected flood flow channel width so peak flows will not flank the armored structure.

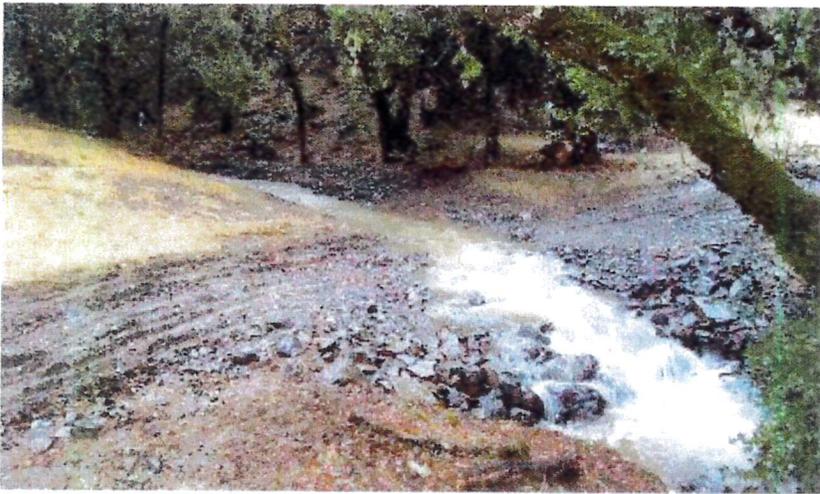


FIGURE 121E. Two weeks after this armored fill was constructed, a storm flow event occurred and the structure maintained its function and integrity. The road approaches had not yet been compacted or surfaced with road rock.

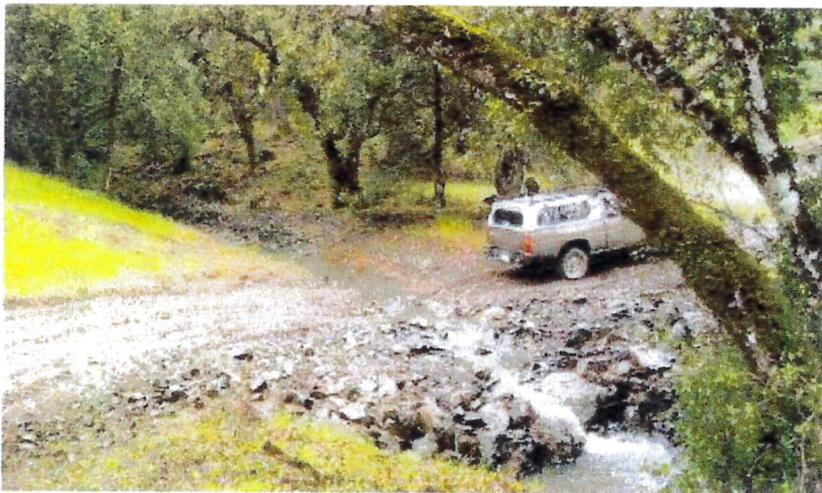


FIGURE 121F. The same armored fill as it appeared after the first winter flood flows. No maintenance was required to reopen the road. It is also clear that no stream diversion is possible at this stream crossing site, and the volume of fill within the crossing has been reduced to the minimum amount needed to maintain a relatively smooth driving surface on this low volume road.

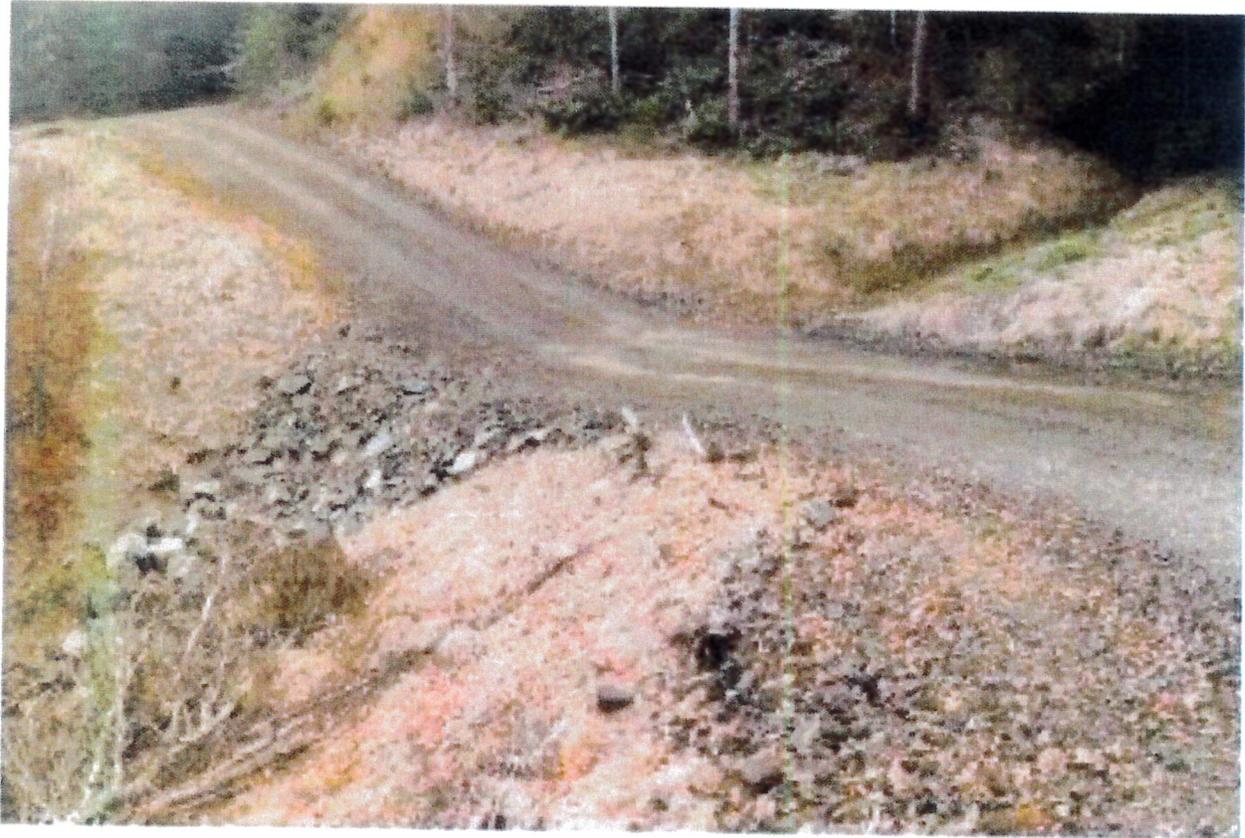


FIGURE 120. *This armored fill crossing of a steep, ephemeral stream was constructed to provide a low maintenance crossing. The crossing has been deeply dipped to reduce the volume of road fill and to eliminate the potential for stream diversion. The fill slope has been heavily armored through the axis of the crossing to contain flood flows and prevent down-cutting. Armored fills cannot be used on fish bearing streams.*

HANDBOOK FOR FOREST, RANCH AND RURAL ROADS

FILE COPY

**STATEMENT OF CONTINGENT AND LIMITING CONDITIONS CONCERNING
THE PREPARATION AND USE OF WATER RESOURCE PROTECTION PLAN**

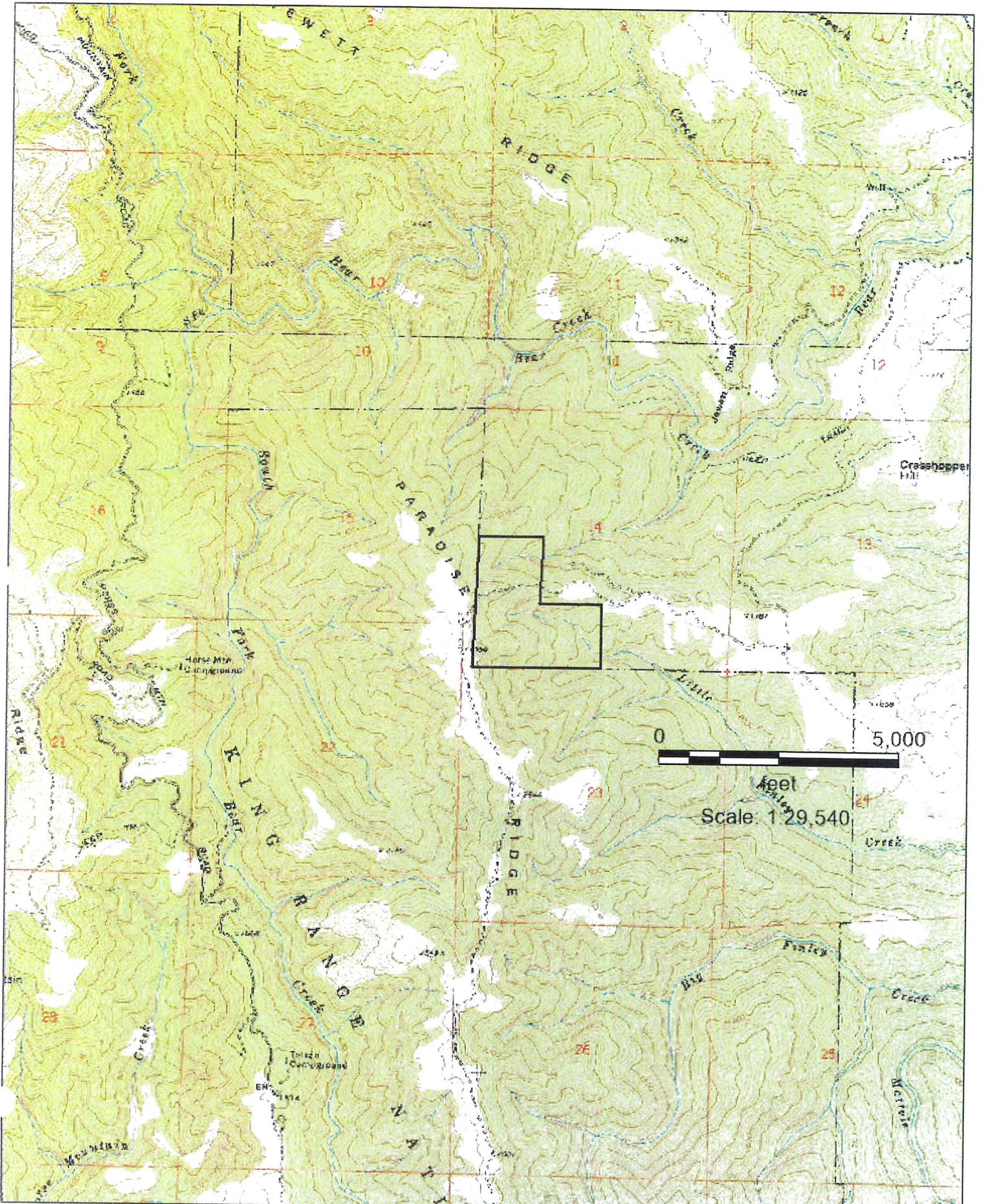
Prepared by Timberland Resource Consultants

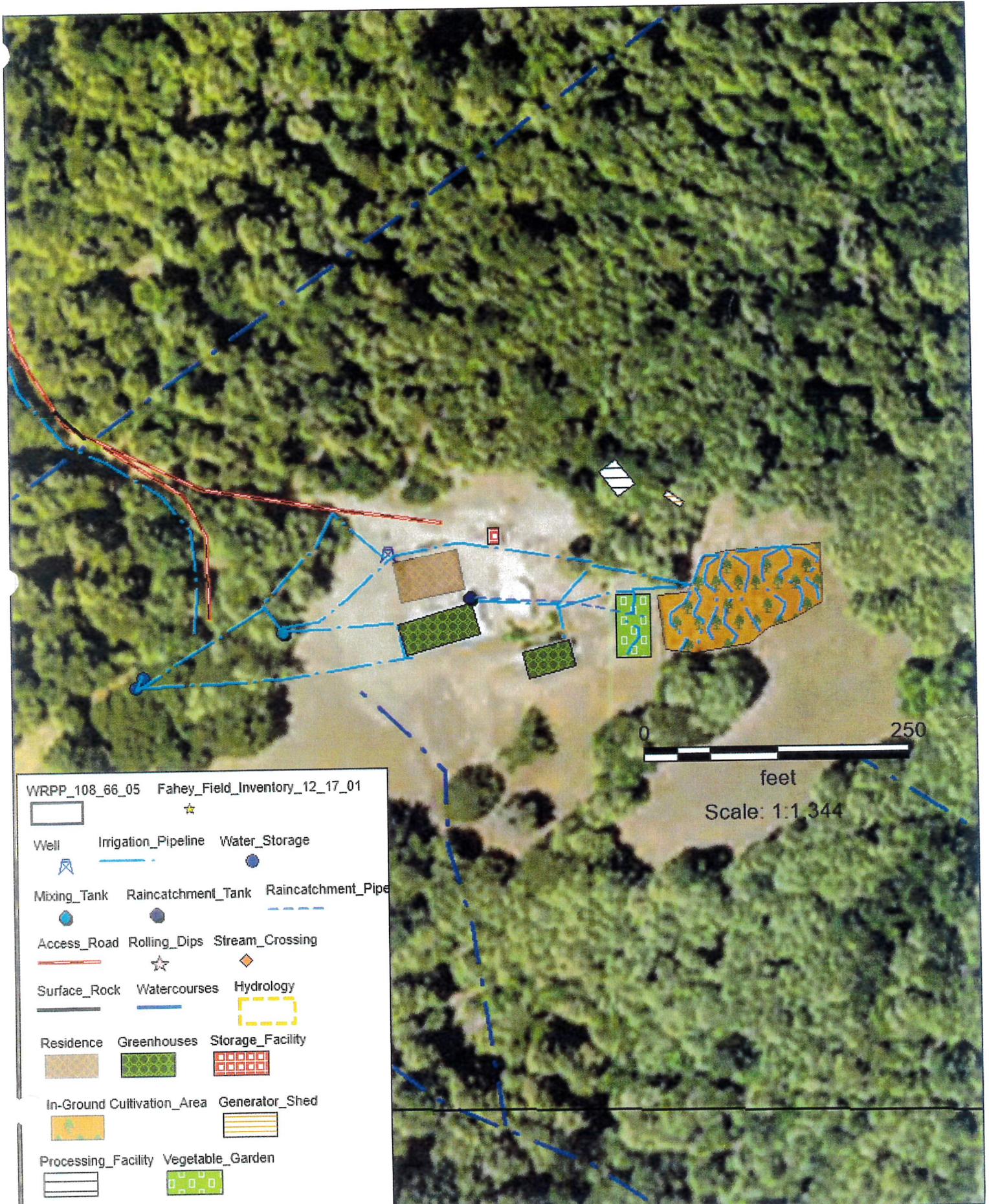
1. This Water Resource Protection Plan has been prepared for the property within APN **108-066-05** at the request of the Client.
2. Timberland Resource Consultants does not assume any liability for the use or misuse of the information in this Water Resource Protection Plan.
3. The information is based upon conditions apparent to Timberland Resource Consultants at the time the inspection was conducted. Changes due to land use activities or environmental factors occurring after this inspection, have not been considered in this Water Resource Protection Plan.
4. Maps, photos, and any other graphical information presented in this report are for illustrative purposes. Their scales are approximate, and they are not to be used for locating and establishing boundary lines.
5. The conditions presented in this Water Resource Protection Plan may differ from those made by others or from changes on the property occurring after the inspection was conducted. Timberland Resource Consultants does not guarantee this work against such differences.
6. Timberland Resource Consultants did not conduct an investigation on a legal survey of the property.
7. Persons using this Water Resource Protection Plan are advised to contact Timberland Resource Consultants prior to such use.
8. Timberland Resource Consultants will not discuss this report or reproduce it for anyone other than the Client named in this report without authorization from the Client.



Todd Golder
Timberland Resource Consultants



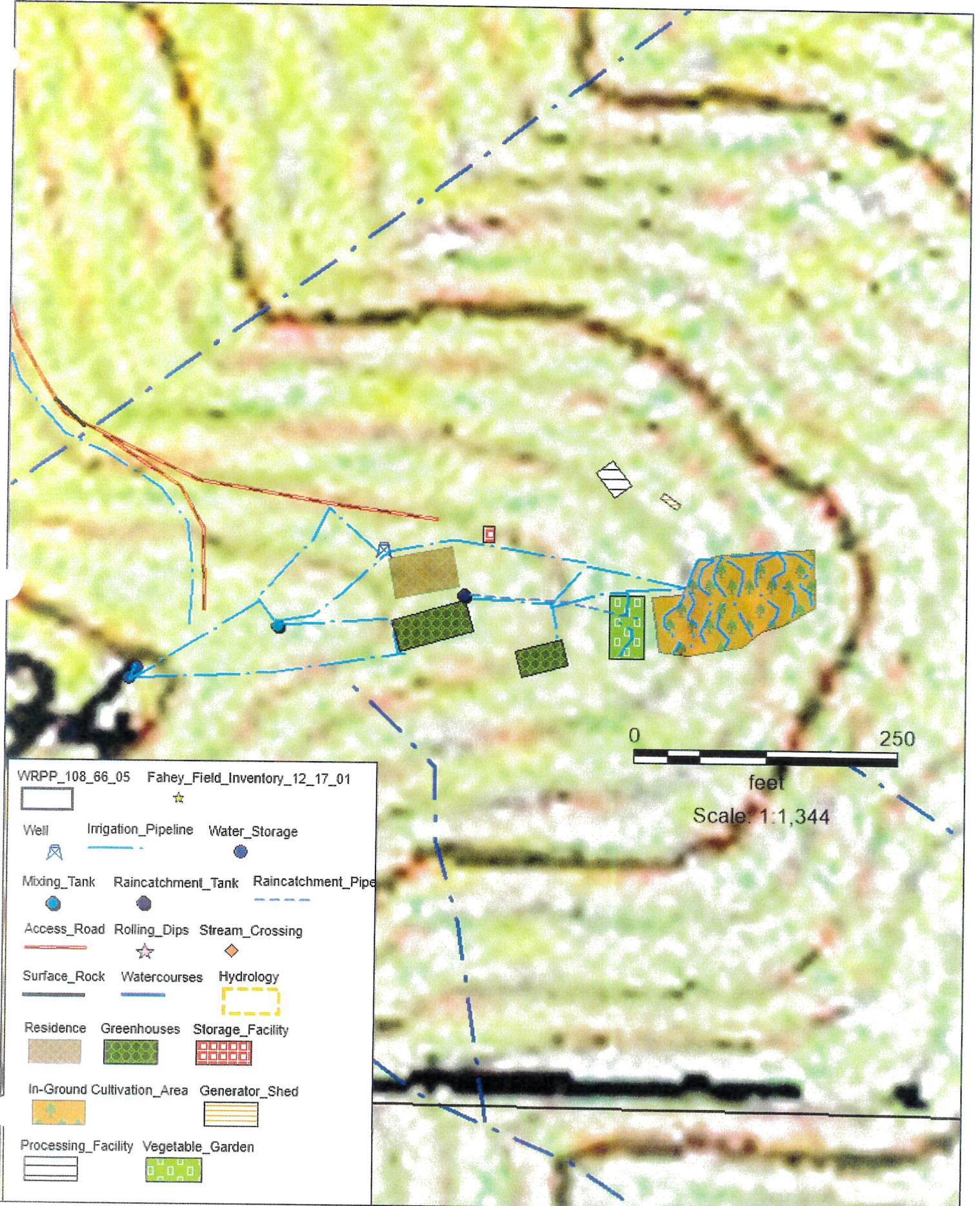




WRPP_108_66_05 Fahey_Field_Inventory_12_17_01

	Well		Irrigation_Pipeline		Water_Storage
	Mixing_Tank		Raincatchment_Tank		Raincatchment_Pipe
	Access_Road		Rolling_Dips		Stream_Crossing
	Surface_Rock		Watercourses		Hydrology
	Residence		Greenhouses		Storage_Facility
	In-Ground_Cultivation_Area		Generator_Shed		Processing_Facility
	Vegetable_Garden				

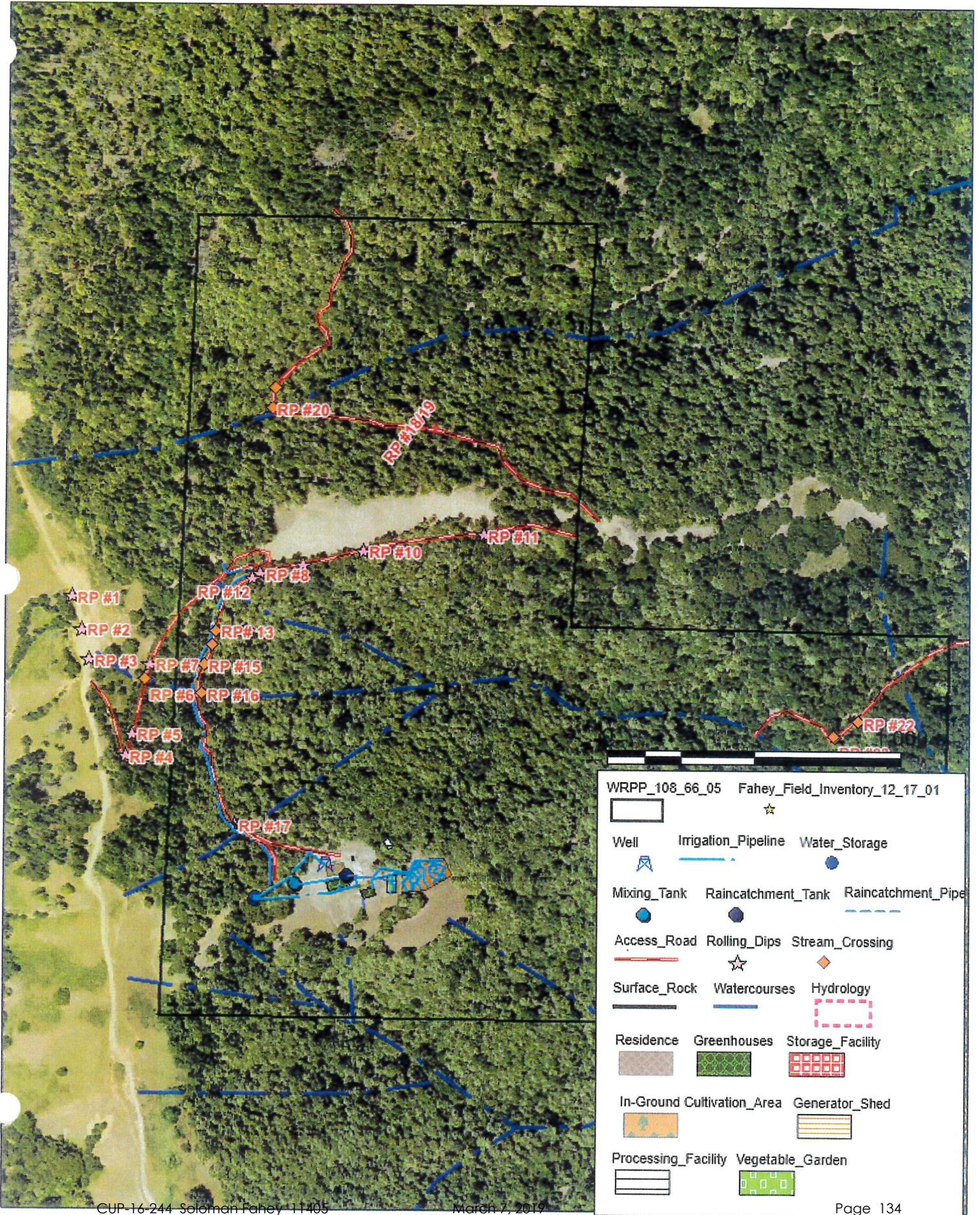
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feet
Scale: 1:1,344



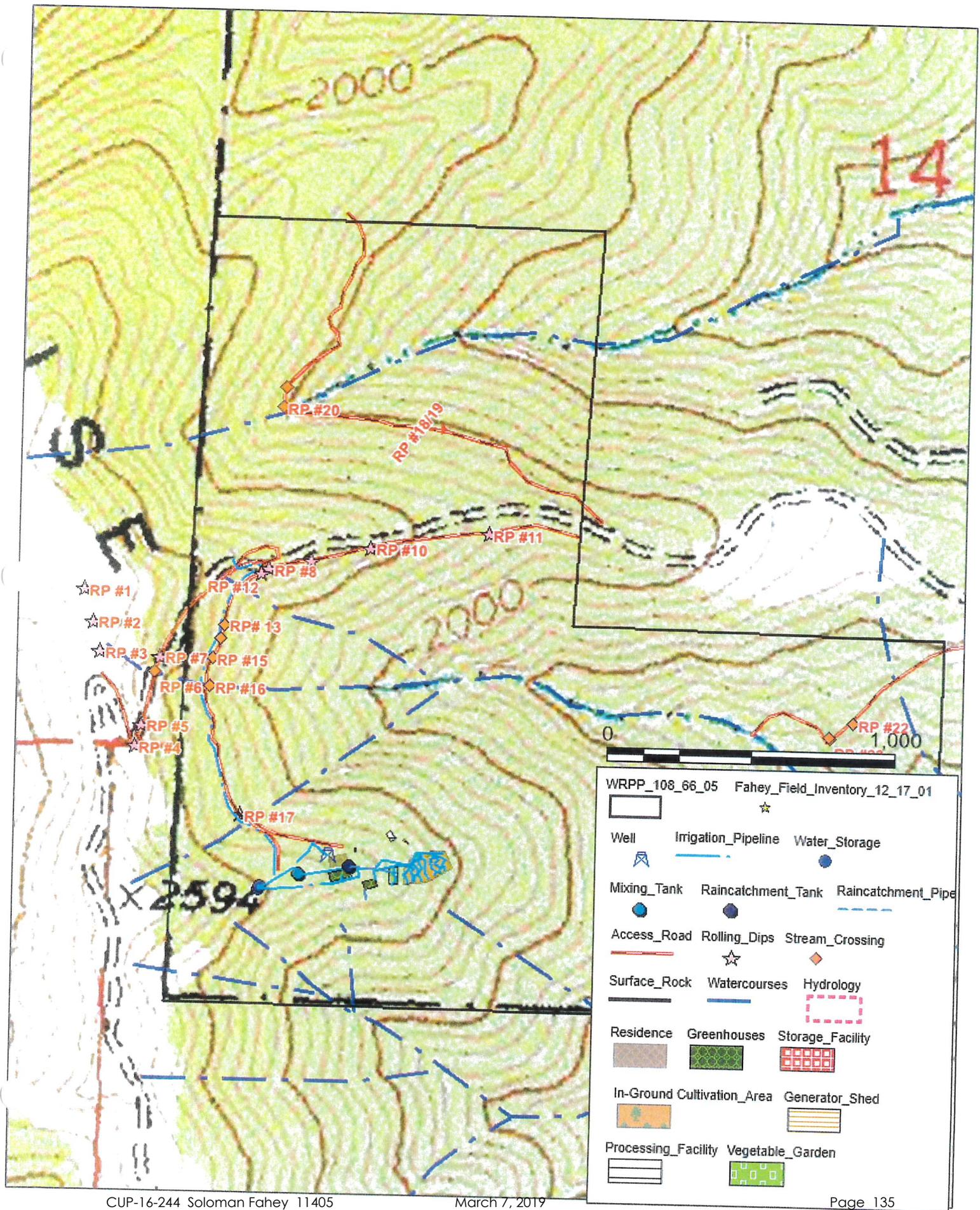
WRPP_108_66_05	Fahey_Field_Inventory_12_17_01	
Well	Irrigation_Pipeline	Water_Storage
Mixing_Tank	Raincatchment_Tank	Raincatchment_Pipe
Access_Road	Rolling_Dips	Stream_Crossing
Surface_Rock	Watercourses	Hydrology
Residence	Greenhouses	Storage_Facility
In-Ground_Cultivation_Area	Generator_Shed	
Processing_Facility	Vegetable_Garden	

0 250
feet
Scale: 1:1,344

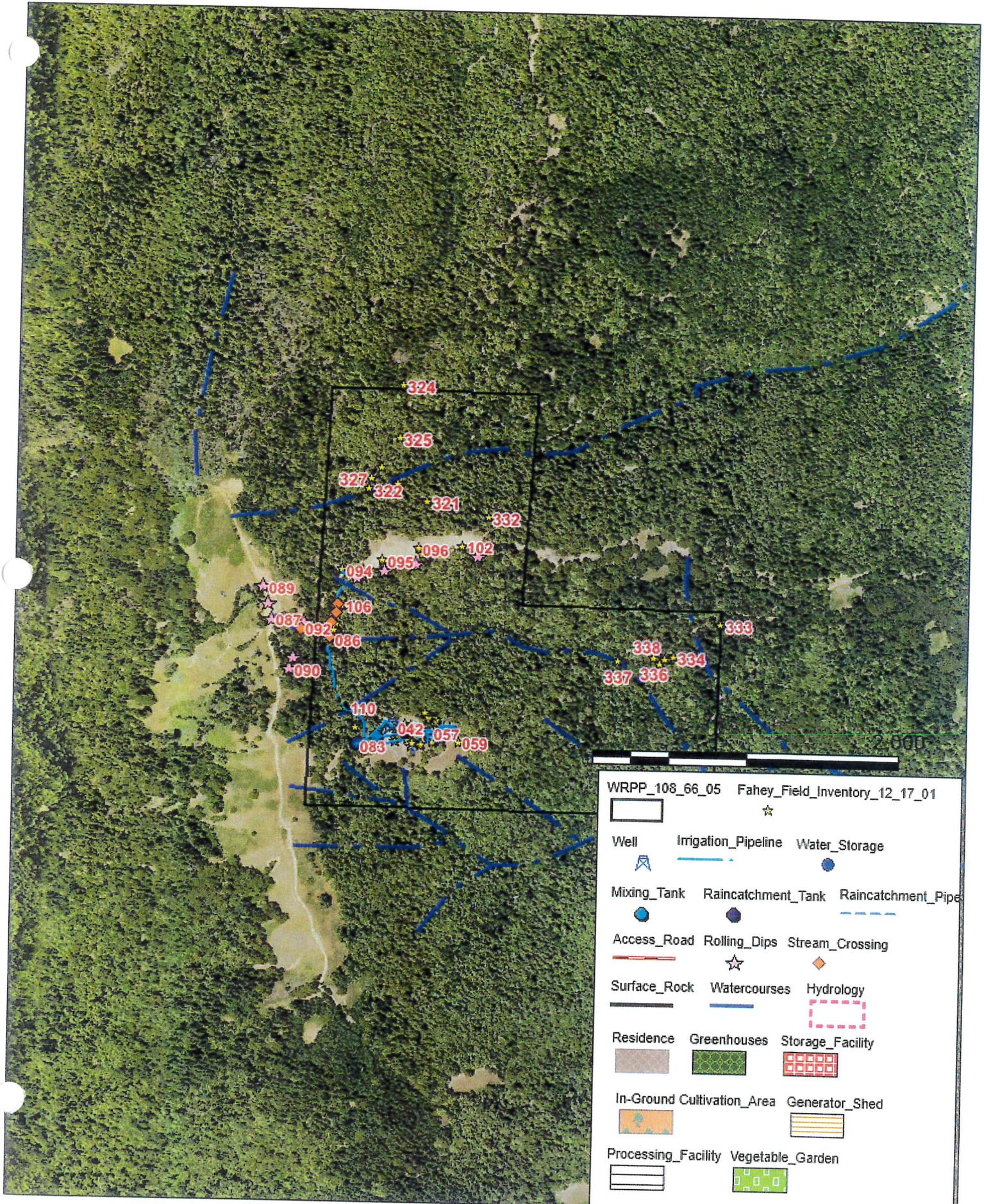
WRPP_108-066-05 -Road Point Map



WRPP 108-066-05 -Road Point Map

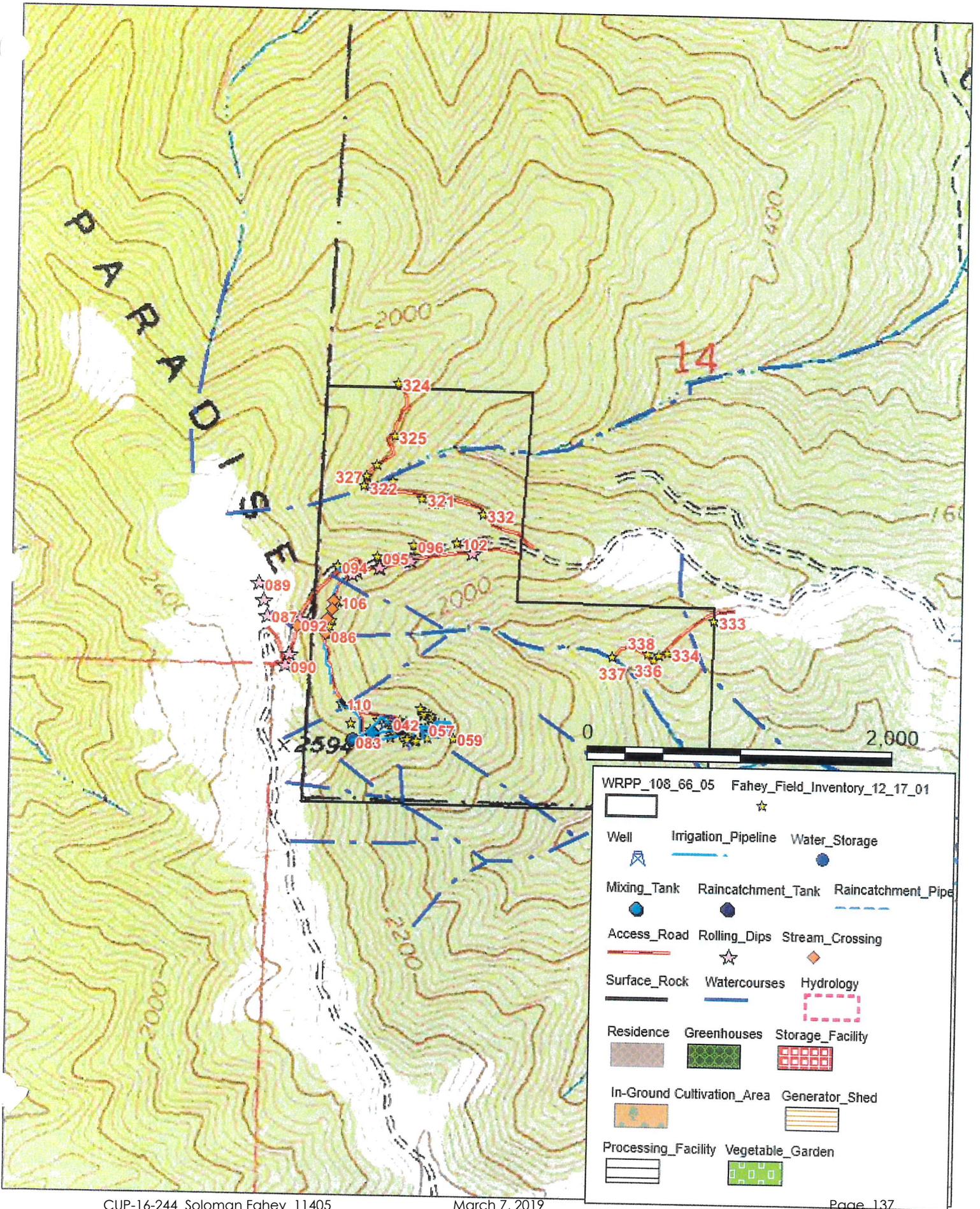


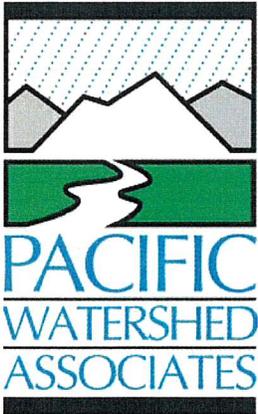
WRPP 108-066-05



WRPP_108_66_05 Fahey_Field_Inventory_12_17_01

	Well		Water_Storage
	Irrigation_Pipeline		
	Mixing_Tank		Raincatchment_Pipe
	Raincatchment_Tank		
	Access_Road		Rolling_Dips
	Stream_Crossing		
	Surface_Rock		Hydrology
	Watercourses		
	Residence		Storage_Facility
	Greenhouses		
	In-Ground_Cultivation_Area		Generator_Shed
	Processing_Facility		
	Vegetable_Garden		





Date: April 17, 2018

To: Solomon Fahey
PO Box 1412
Redway, California 95560

From: Brad Job, CA Registered Civil Engineer # C55699
Pacific Watershed Associates Inc.
PO Box 4433
Arcata CA, 95518-4433
bradj@pacificwatershed.com / 707-839-5130



Subject: Engineering and Geologic Review of Well Log, 7000 Paradise Ridge Road, Whitethorne, California, Humboldt County APN 108-066-005.

Dear Mr. Fahey,

At your request we have reviewed the well log prepared by Bushnell Enterprises for the subject property dated May 17, 2016, to assess the likelihood of a direct hydrologic connection between the well, as completed, and adjacent surface waters. The evidence leads us to the conclusion that there is no ascertainable connection between the well bore and any surface water body. We evaluated the well logs for the following specific evidence of a potential surface water connection:

1. The presence of a stratum of alluvium within the screened interval(s). The presence of rounded rocks or gravels is a strong indicator that the driller intersected an area that was formerly a stream channel. While not conclusive proof that an individual well is hydrologically connected to surface water, alluvium is a strong indicator that such a connection could exist. Lenses or stringers of coarse sand, gravel, and cobbles provide a preferential pathway for groundwater to discharge to surface water or for surface water to be depleted by pumping from a well. No alluvium was encountered by the driller at this site.
2. Positive pore pressures not present in a borehole when it was drilled. If the depth to the first encountered water is greater than the depth to the static water level after the well has been completed, developed, and pumped, this shows positive pore pressure in the aquifer and is a determinative indicator that the well has been completed in a confined aquifer. The presence of observable positive pore pressure in an aquifer precludes a direct connection to surface water. If a direct connection did exist, pore pressures would be in equilibrium with the ambient atmospheric pressure. Positive pore pressures were present in the aquifer at this site.
3. A confining layer is not present. In the geologic log, the screened interval for the well lies below a substantial aquitard. In order for a confined aquifer to exist, there must be an aquitard that allows some level of positive pore pressure to develop in an aquifer. A confining layer was encountered by the driller at this site.
4. Screened well interval(s) intersect shallow water tables or geologic units with very high

hydraulic conductivity or porosity. The geology of north western California does not have extensive bedrock units that have high hydraulic conductivity and effective porosity (such as karst). The colluvial soils derived from bedrock in this area tend to be relatively fine-grained, do not yield significant groundwater, and tend to form competent aquitards. The screened interval does not intersect a shallow water table or highly permeable bedrock at this site.

Thus, the subject well is not hydrologically connected because of the geology and well construction details. Approximately 20 feet of soil and 70 feet of “brown rock” (aquitard) overlies a “blue sandstone with quartz” bedrock unit, which is the primary water bearing stratum. The depth to the first observed water was 160 feet below the ground surface (bgs) and the static water level after the well was completed and developed was 150 feet bgs, meaning that this well is screened in a confined aquifer and the well exhibits positive pore pressure. Finally, the screened intervals extend from 140 to 160 and 200 to 220 feet bgs, meaning that shallow groundwater cannot be produced by this well.

Should you have any questions, please do not hesitate to contact me at (707)-839-5130 or bradj@pacificwatershed.com.

Sincerely,



Leonard (Brad) Job, P.E.
Senior Civil Engineer, Pacific Watershed Associates, Inc.



cc:

HUMBOLDT COUNTY DEPARTMENT OF PUBLIC WORKS
ROAD EVALUATION REPORT

PART A: Part A may be completed by the applicant

Applicant Name: Solomon Fahey APN: 108-066-005-000

Planning & Building Department Case/File No.: 11405 / 45306

Road Name: Paradise Ridge Road (complete a separate form for each road)

From Road (Cross street): Shelter Cove Road

To Road (Cross street): Efter Ranch Road

Length of road segment: 6 miles Date Inspected: February 20, 2018

B.L.M. / currently entering a Right Of Way agreement with B.L.M.

Road is maintained by: County Other to maintain the road. Will pave 50' encroachment from Shelter Cove Rd
(State, Forest Service, National Park, State Park, BLM, Private, Tribal, etc)

Check one of the following:

Box 1 The entire road segment is developed to Category 4 road standards (20 feet wide) or better. If checked, then the road is adequate for the proposed use without further review by the applicant.

Box 2 The entire road segment is developed to the equivalent of a road category 4 standard. If checked, then the road is adequate for the proposed use without further review by the applicant.

An equivalent road category 4 standard is defined as a roadway that is generally 20 feet in width, but has pinch points which narrow the road. Pinch points include, but are not limited to, one-lane bridges, trees, large rock outcroppings, culverts, etc. Pinch points must provide visibility where a driver can see oncoming vehicles through the pinch point which allows the oncoming vehicle to stop and wait in a 20 foot wide section of the road for the other vehicle to pass.

Box 3 The entire road segment is not developed to the equivalent of road category 4 or better. The road may or may not be able to accommodate the proposed use and further evaluation is necessary. Part B is to be completed by a Civil Engineer licensed by the State of California.

The statements in PART A are true and correct and have been made by me after personally inspecting and measuring the road.


Signature

3-8-18
Date

Solomon Fahey
Name Printed

Important: Read the instructions before using this form. If you have questions, please call the Dept. of Public Works Land Use Division at 707-438-7205.

Jim Glomb

Geotechnical and Environmental Consulting, Inc.

152 Weeks Way, Sebastopol, CA 95472 • Phone 707/237-2703, Fax 707/978-3257
jim@jimglomb.com

June 15, 2017
Project 1547

Solomon Fahey
c/o Amadeus Fahey
POB 1082
Pt. Arena, CA 95468

RE: **Geotechnical Investigation**
Residence and Agricultural Terracing
Paradise Ridge Road
Humboldt County
APN: 108-066-005



Dear Mr. Fahey:

We are pleased to submit our geotechnical investigation report for the residence and agricultural terracing at the subject property in Humboldt County, California. A Vicinity Map is included in this report as Figure 1.

The purposes of our work have been to investigate the general soil and geologic conditions of the existing residence and terraced areas, to confirm geotechnical conditions for the existing residence foundations and to provide geotechnical recommendations and grading criteria for the proposed regrading of the terraces to support greenhouses. The existing home was constructed on the site a few years ago without a foundation investigation or footing excavation observations during construction. The agricultural terraces were also rough-graded a few years ago without grading permits.

SCOPE

The scope of our work consisted of:

1. Review of soil and geologic data pertaining to the site and vicinity;
2. Geologic field reconnaissance and mapping of the site and vicinity;
3. Exploration of subsurface conditions by logging 9 test pits;
4. Field classification and description of soil and bedrock encountered at the site;
5. Geotechnical analyses of field data; and
6. Preparation of this report with our findings, conclusions and recommendations.

The scope of our work was limited to the envelopes immediately surrounding the existing residence and the site of the agricultural terraces. Our scope did not include an evaluation of the existing residential structure, except as discussed below.

PROPOSED PROJECT

A one-story, wood-frame residence with raised-wood floors exists on a level graded pad in the southwest portion of the 120-acre Fahey property, as shown on the Overall Site Plan, Plate 1. Our

investigation at the existing home site was performed to determine the adequacy of the foundation supporting earth materials.

In addition, 13 near level, regraded pads are planned for supporting 13, approximately ± 25 by 50-foot greenhouses in the middle-west portion of the site. The rough-graded pads currently exist, as shown on Plate 1, and consist of cut and unengineered fill.

SITE CONDITIONS

Residence

The existing home site is located on a broad, east-descending topographic nose. A steep cutslope ascends upslope to the west. The toe of the cut is situated about 20 feet west of the existing residence. Nearly level to gently sloping yard areas exist to the north, east and south of the residence. An unpaved driveway leads to the home site from the northwest. The existing home site conditions are shown on the Overall Site Plan, Plate 1. We observed no cracks or indications of differential settlement or distress in the outer faces of the concrete foundations.

Agricultural Terraces

The site of the planned agricultural terracing consists of 13 rough-graded pads on a narrow, steep-sided, east-descending topographic nose. The existing terrace conditions are depicted on the Agricultural Terracing Site Plan, Plate 2 and the Cross Sections, Plates 3 through 7.

SOIL AND GEOLOGIC CONDITIONS

Residence

Two test pits, designated T-1 and T-1a, excavated at the site of the existing residence encountered colluvial soil and weathered bedrock. The colluvial soil consists of about 1 foot of moist, medium dense very sandy gravel. Underlying the colluvial soil is very weathered, very fractured, poorly bedded, competent sandstone bedrock. Test pit T-1, excavated next to the existing northeast corner house footing, encountered 14 to 16 inches of sandy gravel overlying bedrock. The footing at that location was about 14 inches deep.

Agricultural Terraces

Seven test pits excavated in the existing agricultural terraces exposed fill soils that varied in depths from a few feet to about 10 feet. The approximate fill depths in each test pit are shown on the Site Plan and on the Cross Sections. Fill soils consisted of loose sandy gravel with no evidence of keys or benches at the fill bottoms. Underlying the fill was weathered, fractured, poorly bedded, competent sandstone and greenstone bedrock.

No evidence of faulting was observed on the building or terrace sites or in the test pits.

GROUNDWATER

No free ground water or shallow groundwater table was observed within the exploratory test pits at the time of the explorations. Water levels must be expected to vary due to seasonal changes and physical changes to the site.

FAULTING AND SEISMICITY

The project site is not within a current Earthquake Fault Zone as designated by the State of California. The closest active fault is the San Andreas Fault 4 miles west of the site. Like most of California, the

site will be subject to future strong ground shaking from an earthquake. The intensity of future earthquake shaking will depend on the distance from the site to the earthquake focus, magnitude, and the response of the structures to the underlying soil and/or rock.

The subject site was observed to be underlain by sandstone and greenstone bedrock. Field data, and our experience in the site vicinity, indicate that the site and proximity can be assigned a Site Class C based on average rock properties in the top 100 feet.

The project designers should determine the appropriate Occupancy Category and Seismic Design Category per the 2016 CBC. If requested, we would provide additional seismic design criteria.

Conformance to the above criteria for seismic design does not constitute any kind of guarantee or provide any specific assurance that significant structural damage or ground failure will not occur during a significant seismic event. The primary goal of seismic design is to protect life, and not to avoid all damage, since such design may be economically prohibitive. Following a major earthquake, a building may be damaged beyond repair, yet not collapse.

LANDSLIDING OR SLOPE STABILITY

We observed no indications of slope movement or instability at the time of our site investigation. The cutslope west of the residence did not display signs of geologic instability in the form of out-of-slope dipping beds, erosion or major sloughing. No other geologic hazards are known to exist in the immediate vicinity. Some potential instability may be present at the bottom of the undocumented fill on original native slopes due to the absence of benches or keyways.

LIQUEFACTION POTENTIAL AND OTHER SEISMIC HAZARDS

We did not observe materials or conditions, such as loose, saturated sands, that would be considered to be susceptible to liquefaction within the limited depths explored for this study. Therefore, we judge that the potential for liquefaction is negligible for the subject building area.

In general, we observed no indications of other seismic hazards that would preclude the proposed development of this site as planned.

EXPANSION POTENTIAL

Based on our site observations of the physical characteristics of the soil and bedrock encountered, we conclude that the soil and bedrock at the site have a very low to negligible expansion potential.

CONCLUSIONS

Based on our field work, literature review and analyses, we conclude that the homesite is suitable for support of the residence without mitigation. The site of the agricultural terraces is suitable for support of engineered fill and lightweight greenhouses subject to the mitigation of certain geotechnical issues. The primary geotechnical concern is the existing loose, unengineered fill soils in the terrace area.

Discussion of this concern is incorporated into our recommendations presented below.

RECOMMENDATIONS

The following recommendations should be incorporated into the final design and construction phases of the project.

Site Preparation and Grading

The existing unengineered fill soils should be removed and replaced as engineered fill that is properly compacted and supported on keys and benches embedded in competent bedrock. The following recommendations would apply.

General

Grading is most economically performed during the summer months when soils are driest. Delays and comparatively expensive construction procedures should be anticipated for site grading performed during the rainy season due to excessive soil moisture and potential problems caused by erosion. In addition, the test pits were loosely backfilled and are not suitable for support of improvements without recompaction.

Clearing and Stripping

Areas to be graded or receive improvements should be cleared of roots and organic materials. We anticipate that the required depth of stripping will generally be about 6 to 12 inches. Deeper stripping may be required to remove localized concentrations of organic matter, such as roots or debris. The cleared organic materials should be removed from the site; strippings may be stockpiled for reuse as topsoil in landscaping areas.

Overexcavation

Old fill soils, loose/soft surface soils, expansive native soils and expansive bedrock should be overexcavated as appropriate for the proposed project. The final depths of overexcavation will depend on the final project design requirements and the condition of materials encountered during construction, as determined by the geotechnical consultant. Difficulty in achieving the recommended minimum degree of compaction described below should be used as a field criterion by the geotechnical consultant to identify areas of unstable soils that should be removed and replaced with non-expansive, properly moisture conditioned and compacted fill.

Subgrade Preparation

Exposed soils designated to support improvements or receive engineered fill should be scarified to a minimum depth of 8 inches, moisture conditioned to within approximately 2 percent of optimum moisture and compacted to at least 90 percent relative compaction in accordance with ASTM test designation D1557. Improvements and fill may be placed directly on exposed competent bedrock, or engineered compacted fill.

General Engineered Fill

Approved soils should be free of rocks or lumps greater than 4 inches in largest dimension and organic materials. Fill material should be approved by the geotechnical consultant prior to use.

General engineered fill should be placed in level lifts not exceeding 8 inches in loose thickness. Each lift should be properly moisture conditioned to within approximately 2 percent of optimum moisture and compacted to at least 90 percent relative compaction in accordance with ASTM test designation D 1557, except that the upper 6 inches of subgrade fill to be under pavement and aggregate base (CalTrans Class 2) should be compacted to at least 95 percent relative compaction. Fill moisture content and density should be verified by the geotechnical consultant.

Fill Slopes

Fill slopes, if any, up to 10 feet in height using on-site materials should be constructed at an inclination not exceeding 2:1. These fill slope recommendations are subject to modification, depending on final grading plans.

All fill placed on slopes steeper than 5:1 should be placed on level keys and benches cut into dense/stiff colluvium or bedrock. The keyways should be excavated into competent soil or bedrock a minimum depth of 2 feet and 10 feet wide. Keyways should have a minimum 5 percent downward slope into the back of the keyway towards the subdrain. Horizontal benches should be excavated at maximum vertical intervals of 5 feet. Fill slopes should be overbuilt and trimmed back to expose firm surfaces.

Internal subdrainage will be required to reduce the buildup of hydrostatic pressure behind the fills. At a minimum, subdrains will be required at the backs of keyways and benches at vertical intervals of approximately 10 to 15 feet. In general, the subdrains should consist of a perforated PVC drain pipe or equivalent on approximately 3 inches of drain rock bedding and covered with a minimum of 12 to 24 inches of drain rock. We recommend CalTrans Class 2 Permeable drain rock or, as an alternative, 3/4 to 1 1/2-inch clean drain rock wrapped with a geofabric filter such as Mirafi 140N or equivalent. Clean-outs should be provided for each subdrain. The geotechnical consultant will provide additional recommendations after grading plans are completed and/or in the field during grading for drainage behind fills. Typical fill construction grading details are shown on Plates 3 through 7.

In the case where fill slopes steeper than 2:1 are required, the following recommendations would apply. Fill slopes of up to 15 feet may be constructed at an inclination not exceeding 1.5:1 provided that the fill is constructed as reinforced earth using geogrid reinforcement.

For reinforcement, we recommend a geogrid such as Mirafi 5XT or equal, with the primary grid direction perpendicular to the surface of the slope. Installation must be in accordance with the manufacturer's recommendations. Preliminarily, we recommend geogrid reinforcement at intervals of 18 inches. We recommend that the geogrids extend into the fill the full width of the fill, with a minimum of 10 feet extending to not more than 15 feet from the face. We recommend the soil layers be placed and compacted as engineered fill with maximum 6 inches of compacted lift thickness to a minimum of 90 percent relative compaction (ASTM 1557) and within 2 percent of optimum moisture content. Compaction tests are recommended for each lift.

Final determination of geogrid spacing and confirmation of fill configuration and stability would be determined at the time of grading, depending on the materials encountered. Additional laboratory testing and analyses may be recommended to confirm stability of slopes, depending on the materials encountered.

Cut Slopes

In general, cut slopes in bedrock and soil, if any, should be constructed at an inclination not exceeding 2H:1V. It is possible that localized areas of colluvial soil over the bedrock will require an inclination of 3:1 or flatter and areas of hard, dense bedrock could be left steeper than 2:1, subject to the observations by the geotechnical consultant at the time of grading. The tops of cut slopes should be rounded and compacted to reduce the risk of erosion. Existing cut slopes will be evaluated at the time of grading to confirm stability or determine remedial measures, such as cutting back the slope or installing slough walls.

Temporary Slopes

Temporary slopes should be laid back or shored in conformance with OSHA standards. All temporary slopes and shoring design are the responsibility of the contractor.

Finished Slopes

The tops of cut slopes should be rounded and compacted to reduce the risk of erosion. Fill and cut slopes should be planted with vegetation to resist erosion and protected from erosion by other measures as discussed below under Erosion Protection, upon completion of grading. Surface water

runoff should be intercepted and diverted away from the tops and toes of cut and fill slopes by using berms or ditches. Routine maintenance of slopes should be anticipated.

Rippability

In general, excavations at the site should be excavatable with standard heavy equipment. However, localized very hard bedrock conditions or large boulders may be encountered. These conditions may require extra heavy duty ripping with specialized equipment or blasting

Erosion Protection

We recommend that the erosion control measures be designed by an experienced civil engineer or erosion control engineer. All cut and fill slope faces should be equipped with erosion protection in the form of synthetic erosion mat such as Tensar TM3000 or equivalent, or as specified by the erosion control engineer. The erosion mat should be installed to the manufacturer's specifications. It is also recommended that all slopes be hydroseeded or planted with vegetation appropriate for erosion protection.

Foundations

Based on our field exploration and testing, we judge that the bearing capacity of the bedrock supporting the existing residence foundation is adequate for the intended purpose. It is possible that minor localized areas of sloughed soil/rock existed in the footing excavations prior to pouring of concrete. Such an occurrence could cause minor differential settlements as described in the next section.

Differential Settlements

The design of the structures, including framing and structural connections, must consider the potential for differential settlement across the width or length of the structure on the order of about ½-inch with a total settlement of up to about 1-inch. No significant additional differential movement due to potential seismic activity should be anticipated due to subsurface conditions.

Surface Drainage

We do not provide site drainage design as part of the scope of this study. However, we submit these general recommendations as guidelines. More specific recommendations may be provided at the time of foundation plan review and during construction

Surface waters must not be allowed to pond or saturate soil adjacent to the foundation. Irrigation of planting next to the foundation must be kept to the minimum necessary for maintaining landscaping. Hardscape, such as planter boxes or walkways, must be drained away from the structural foundations. Excessive irrigation of landscaping anywhere near the foundations must be prevented.

Drainage swales, drop inlets and storm drain systems should be provided to remove surface water from the perimeter of the building, as determined by the project civil engineer, architect or others responsible for drainage design. The 2016 CBC requires a minimum slope gradient downward away from the structure of 6 inches in 10 feet, or into a drainage swale. We recommend that a positive slope gradient of ten percent down and away from the building perimeter be applied to the finished grade (inclusive of topsoil) for a distance of at least 10 feet or to a perimeter drainage swale at least 5 feet from the building perimeter, if feasible. The perimeter drainage swale flow line should be below the building pad grade at least 6 inches or as much as practicable given site topography.

Roofs should be provided with gutters and downspouts that discharge into closed conduits that are directed away from the structural foundations within non-perforated, solid (non-corrugated flexible)

drain pipes to appropriate discharge points, preferably to a storm drain system or swale as far from the structural foundations as feasible.

Energy dissipators, such as riprapped stilling basins, may be required to reduce erosion where subdrains or culverts discharge into natural, unlined drainage ways. Surface drainage systems should not be connected to subsurface drainage systems.

The potential for erosion or slope instability can be significantly reduced by proper collection and disposal of surface water runoff. Adequate, accessible clean-outs should be provided for monitoring and maintenance of the surface drainage system.

Maintenance

Periodic land maintenance will be required. Drains should be checked frequently, and cleaned and maintained as necessary. If signs of surficial soil instability occur, they should be promptly evaluated by the geotechnical consultant.

Construction Observations

We recommend that a representative of this firm be present during any grading to observe the work performed and to perform whatever testing is necessary to properly evaluate the quality of the materials and their relative compaction. We recommend that the installation of all drainage features, including subdrains, be observed at the time of construction to confirm that the geotechnical drainage recommendations are followed. Typically, the geotechnical consultant is asked to confirm, in writing, at the completion of construction, that the drainage features are in accordance with the approved construction documents and the recommendations of the geotechnical consultant. We will be unable to issue such a document if we have not observed the construction of the pertinent components of the drainage features.

To allow proper scheduling so that our personnel are present at the jobsite when needed, we require that you notify us at least 4 working days before work requiring our presence will be performed.

Supplemental Services

Jim Glomb Consulting, Inc. recommends that we be retained to review the project plans and specifications to determine if they are consistent with our recommendations. In addition, we should be retained to observe geotechnical construction, particularly site preparation and excavation of foundations, as well as to perform appropriate field observations as required. If, during construction, subsurface conditions different from those described in this report are observed, or appear to be present beneath excavations, we should be advised at once so that these conditions may be reviewed and our recommendations reconsidered. The recommendations made in this report are contingent upon our notification and review of the changed conditions. If more than 18 months have elapsed between the submission of this report and the start of work at the site, or if conditions have changed because of natural causes or construction operations at or adjacent to the site, the recommendations of this report may no longer be valid or appropriate. In such case, we recommend that we review this report to determine the applicability of the conclusions and recommendations considering the time elapsed or changed conditions. The recommendations made in this report are contingent upon such a review. These services are performed on an as-requested basis and are in addition to this geotechnical investigation. We cannot accept responsibility for conditions, situations or stages of construction that we are not notified to observe.

LIMITATIONS

This report has been prepared for the exclusive use of Mr. Fahey and his consultants for the proposed project described in this report. Our services consist of professional opinions and conclusions developed by a certified engineering geologist and a geotechnical engineer in accordance with generally-accepted engineering geologic and geotechnical engineering principles and practices. We provide no other warranty, either expressed or implied. Our conclusions and recommendations are based upon the information provided us regarding the proposed construction and professional judgment.

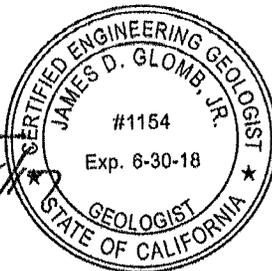
Verification of our conclusions and recommendations is subject to our review of the project plans and specifications, and our observation of construction. Site conditions and cultural features described in the text of this report are those existing at the time of our field work and may not necessarily be the same or comparable at other times.

The scope of our services did not include an environmental assessment or an investigation of the presence or absence of hazardous, toxic or corrosive materials in the soil, surface water, groundwater or air, on or below, or around the site, nor did it include an evaluation or investigation of the presence or absence of wetlands.

We trust this provides the information you require at this time. If you have questions or wish to discuss this further, please call.

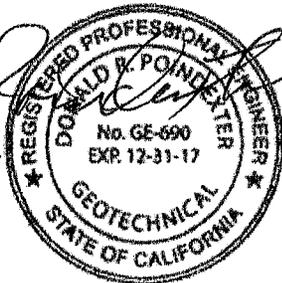
Very truly yours,
Jim Glomb Consulting, Inc.

Jim Glomb
6/15/17



Jim Glomb
Engineering Geologist, C.E.G. 1154

Don Poindexter
6/15/2017



Don Poindexter
Geotechnical Engineer, G.E. 690

- Attachments: References
Vicinity Map, Figure 1
Overall Site Plan, Plate 1
Agricultural Terracing Site Plan, Plate 2
Cross Sections, Plates 3 through 7

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California Division of Mines and Geology, 1986, State of California Special Studies Zones Fault Maps, Scale 1:24,000.

Jennings, C.W., 1975, Fault Map of California with Locations of Volcanoes, Thermal Springs and Thermal Wells: California Division of Mines and Geology, Geologic Data Map No. 1, Scale 1:750,000.

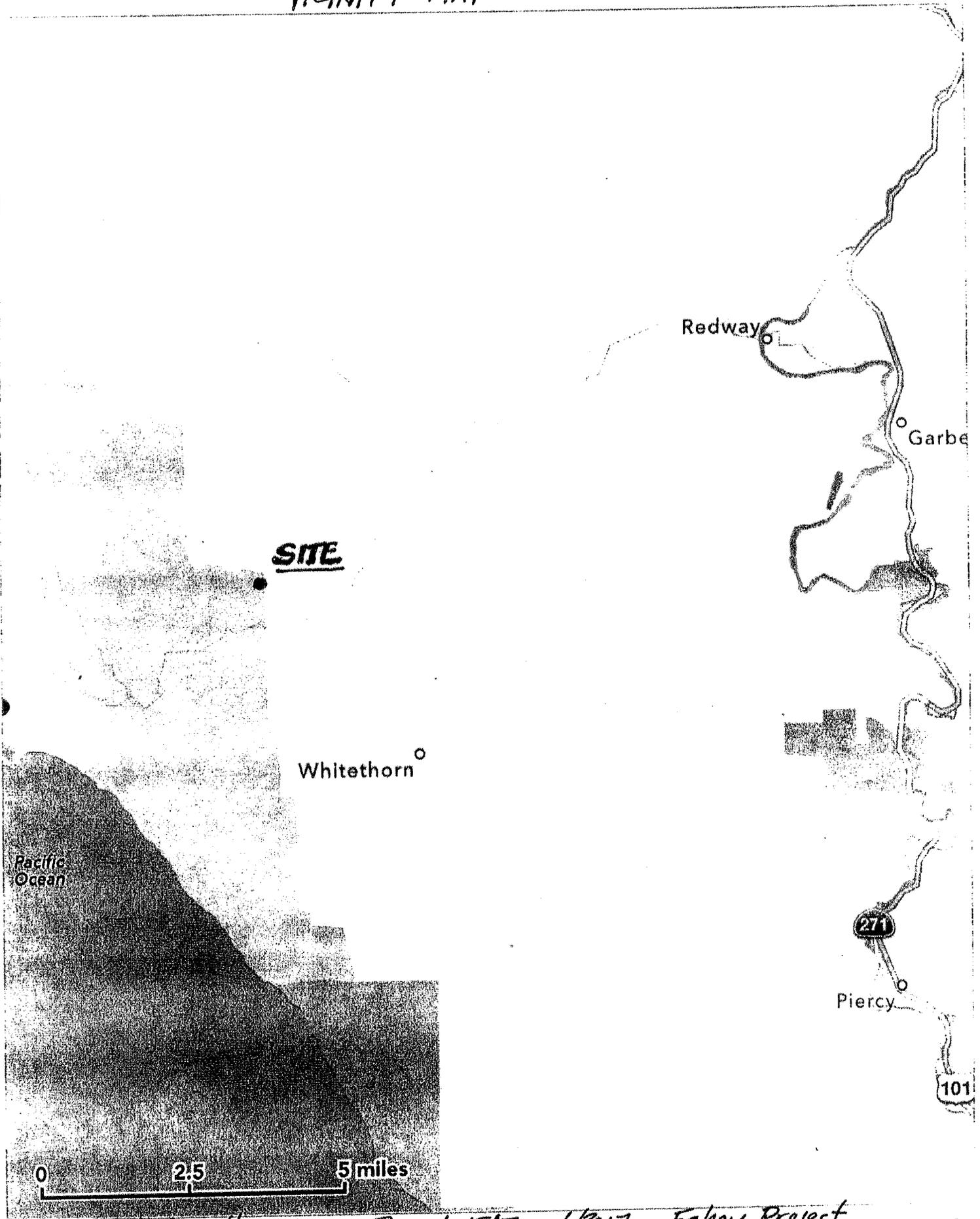
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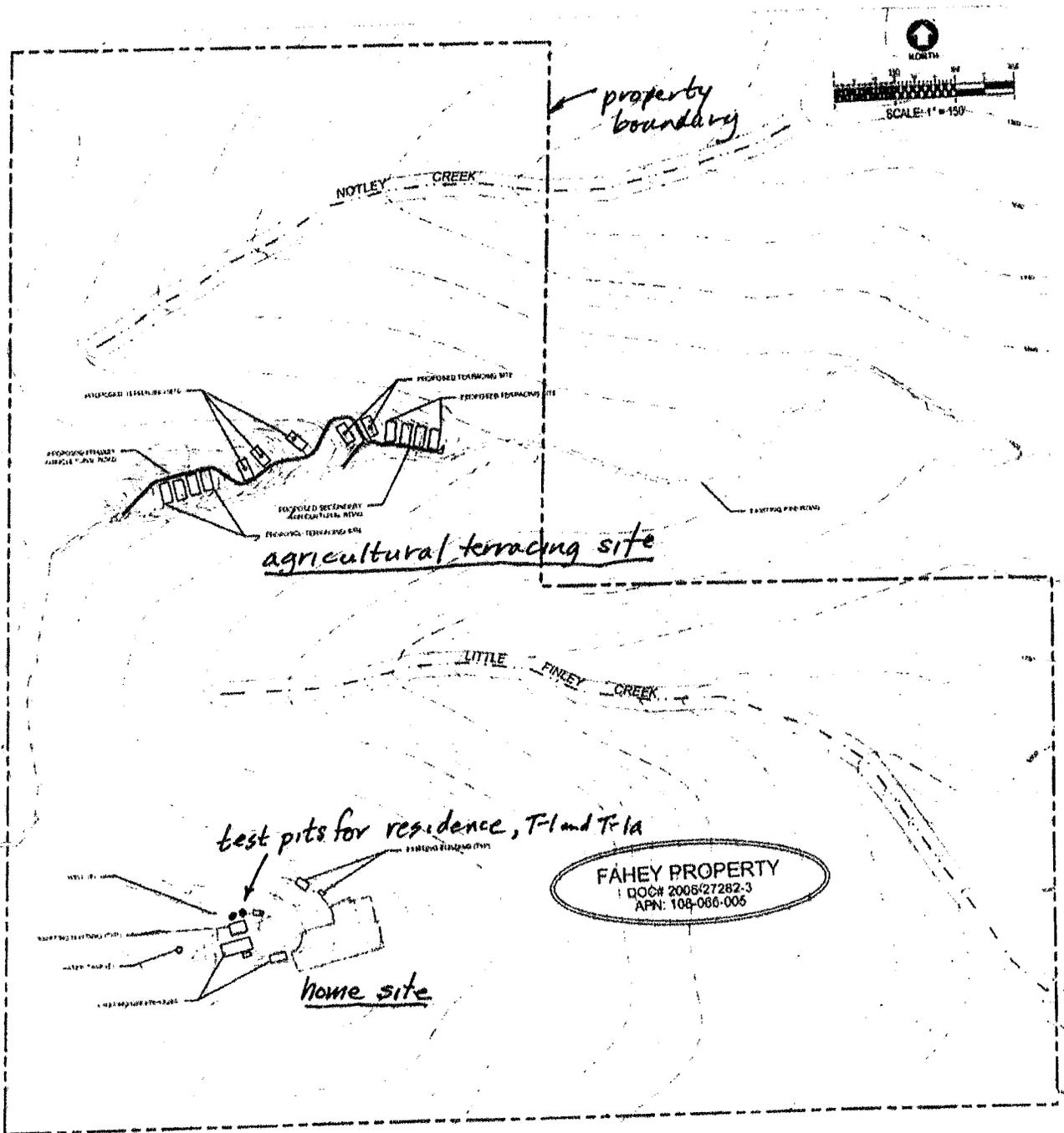
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VICINITY MAP

near California — United States



OVERALL SITE PLAN



Jim Glomb Consulting, Inc.

152 Weeks Way, Sebastopol, CA 95472 • Phone 707/237-2703

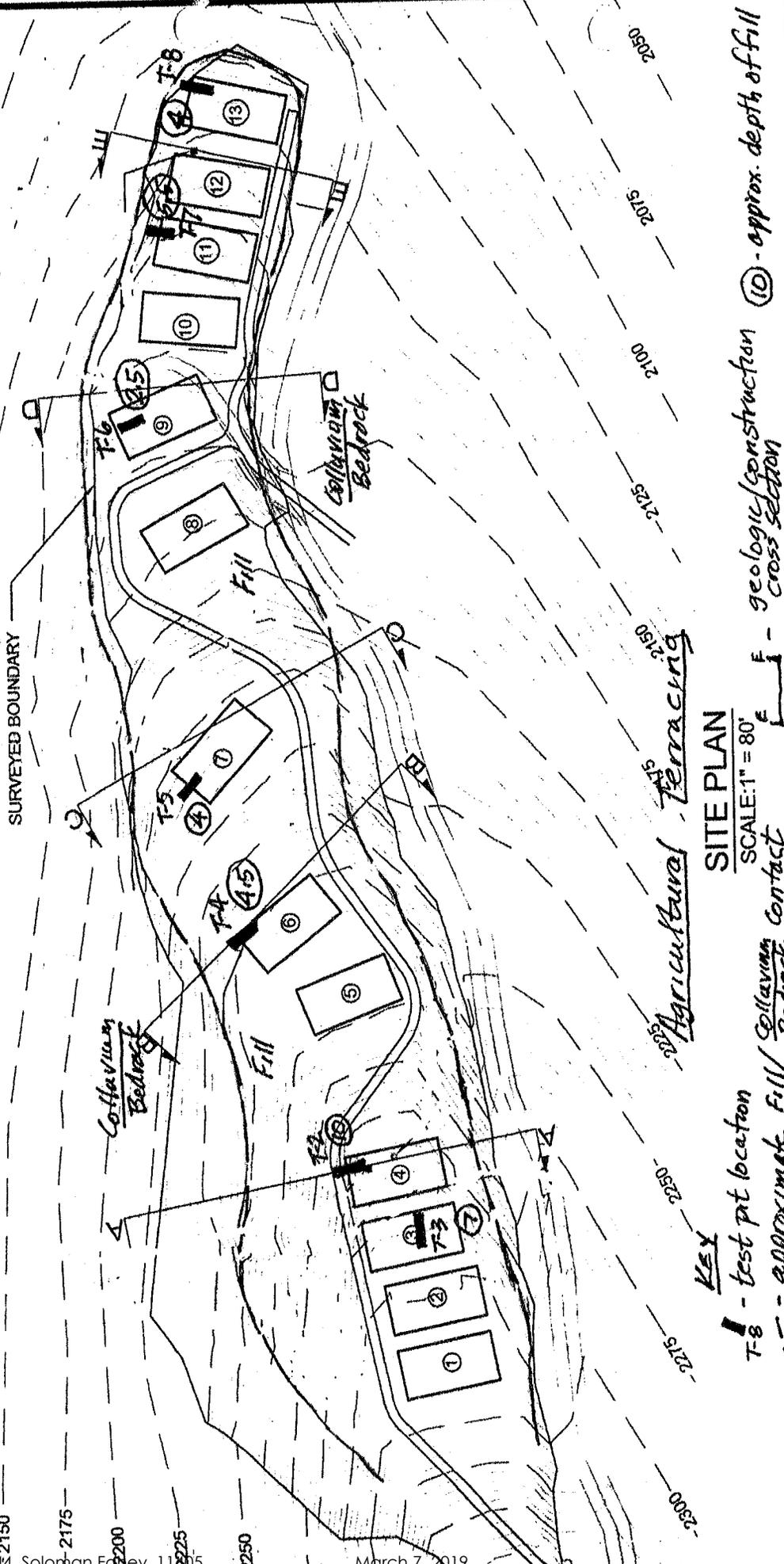
**Fahey Residence and
Agricultural Terraces**

Project 1547

6/2017

Plate

1



SITE PLAN

SCALE: 1" = 80'

- ! - test pit location
- - - approximate Fill / Colluvium Contact
- F - geologic construction
- ⓐ - approx. depth of fill cross section

SHEET TITLE:

FAHEY PROPERTY
 HUMBOLDT COUNTY
 A.P.N. 108-066-005

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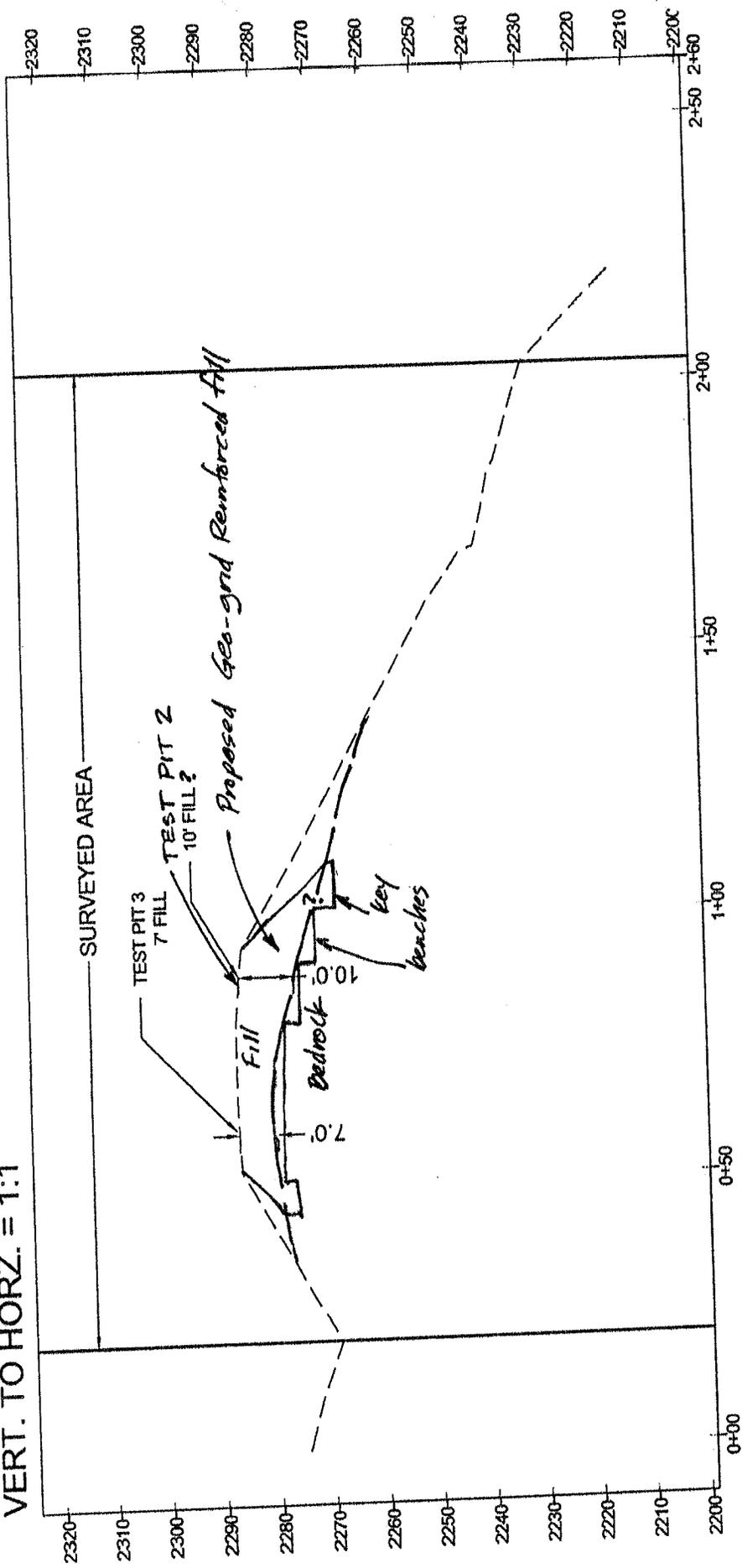
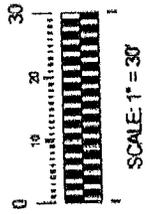
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SITE MAP

June 2017 1 OF 7 SHEETS **Plate 2**
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 PLOTTED BY: SEAN CROWLEY

PAD A

SITE A ALIGNMENT PROFILE
VERT. TO HORZ. = 1:1



SECTION A
SCALE: 1" = 30'

JOB #1237 DATE 06/01/2017

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CROSS SECTION A

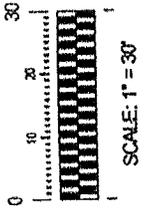
Plate 3

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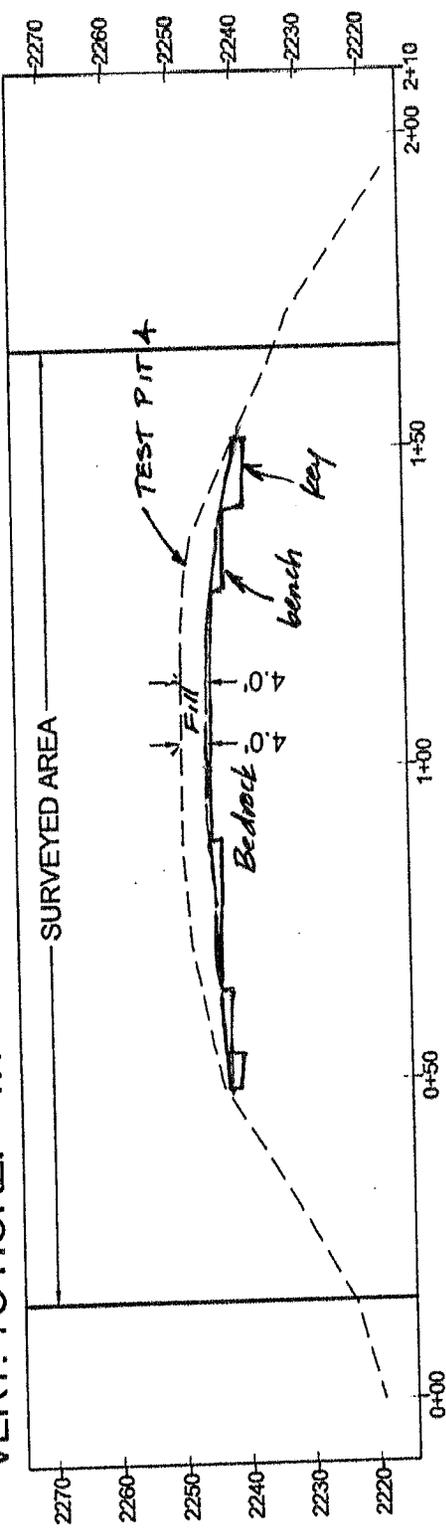
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PAD 6

SITTE · B ALIGNMENT PROFILE
 VERT. TO HORIZ. = 1:1



SECTION · B
 SCALE: 1" = 30'

JOB #1237 DATE 06/01/2017

SHEET TITLE:

CROSS SECTION B

Plat 4

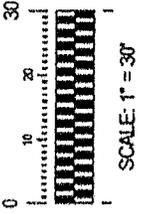
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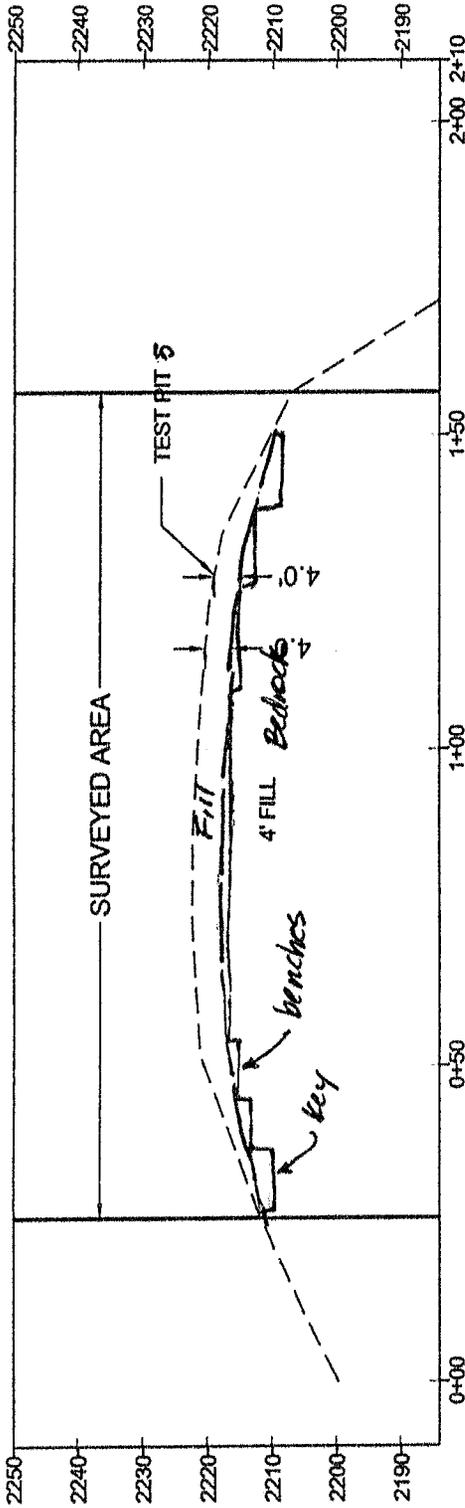
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PAD 7

**SITE C ALIGNMENT PROFILE
VERT. TO HORIZ. = 1:1**



**SECTION C
SCALE: 1" = 30'**

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SHEET TITLE

CROSS SECTION C

Plate 5

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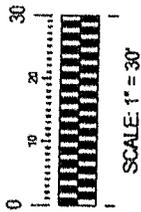
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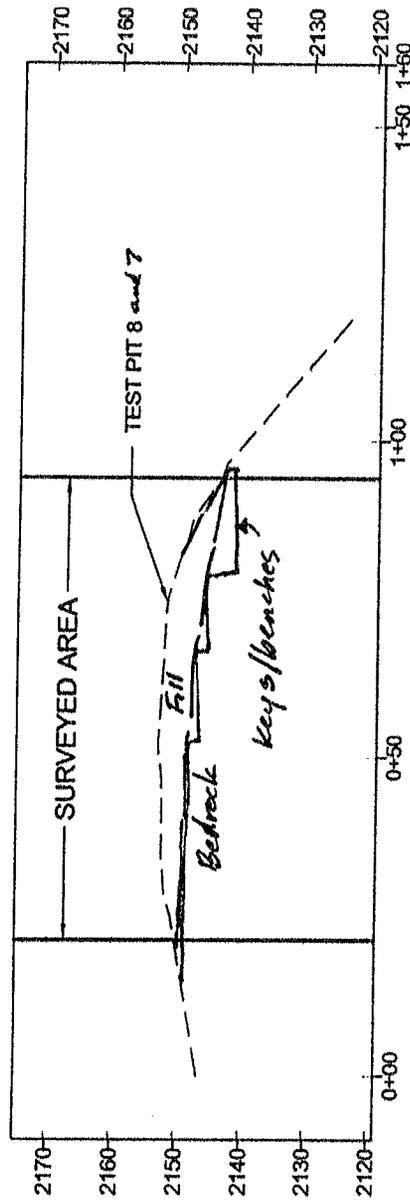
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PADS 12 and 13

**SITE E ALIGNMENT PROFILE
VERT. TO HORIZ. = 1:1**



SECTION E
SCALE: 1" = 30'

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CROSS SECTION E

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Plate 7

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UNIFIED SOIL CLASSIFICATION CHART

<i>MAJOR DIVISIONS</i>			<i>TYPICAL NAMES</i>		
COARSE GRAINED SOILS More than Half > #200 sieve	GRAVELS More than half coarse fraction is larger than No. 4 sieve	Clean gravels with little or no fines	GW	Well graded gravels, gravel-sand mixtures	
		Gravels with over 12% fines	GP	Poorly graded gravels, gravel-sand mixtures	
		SANDS More than half coarse fraction is smaller than No. 4 sieve	Clean sands with little or no fines	GM	Silty gravels, poorly graded gravel-sand silt mixtures
			Sands with over 12% fines	GC	Clayey gravels, poorly graded gravel-sand-clay mixtures
	FINE GRAINED SOILS More than Half < #200 sieve	SILTS AND CLAYS Liquid limit less than 50	Clean sands with little or no fines	SW	Well graded sands, gravelly sands
			Sands with over 12% fines	SP	Poorly graded sands, gravelly sands
			Silty sands, poorly graded sand-silt mixtures	SM	Silty sands, poorly graded sand-silt mixtures
			Clayey sands, poorly graded sand-clay mixtures	SC	Clayey sands, poorly graded sand-clay mixtures
SILTS AND CLAYS Liquid limit greater than 50	Inorganic silts and very fine sands, rock flour, silty or clayey fine sands, or clayey silts with slight plasticity		ML	Inorganic silts and very fine sands, rock flour, silty or clayey fine sands, or clayey silts with slight plasticity	
	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays		CL	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays	
	Organic clays and organic silty clays of low plasticity	OL	Organic clays and organic silty clays of low plasticity		
SILTS AND CLAYS Liquid limit greater than 50	Inorganic silts, micaceous or diatomaceous fine sandy or silty soils, elastic silts	MH	Inorganic silts, micaceous or diatomaceous fine sandy or silty soils, elastic silts		
	Inorganic clays of high plasticity, fat clays	CH	Inorganic clays of high plasticity, fat clays		
	Organic clays of medium to high plasticity, organic silts	OH	Organic clays of medium to high plasticity, organic silts		
HIGHLY ORGANIC SOILS			PT	Peat and other highly organic soils	

<p>Jim Glomb Geotechnical and Environmental Consulting, Inc.</p> <hr/> <p>152 Weeks Way, Sebastopol, CA 95472 • Phone 707/237-2703, Fax 707/978-3257 email: jim@jimglomb.com</p>	<p style="font-size: 24pt;">Figure</p> <p style="font-size: 36pt;">1</p>
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R. E. B. ENGINEERING, INC.

CIVIL AND STRUCTURAL ENGINEERING

SURVEYING AND LAND PLANNING

January 7, 2019

Solomon Fahey
P.O. Box 1412
Redway, CA 95560

Subject: Paradise Ridge Ranch - Apps # 11405
Humboldt County A.P.N. 108-066-005
Section 14, T4S, R1E, HB&M

Dear Mr. Fahey

As discussed earlier today, I believe that the "Less Than 3.0 Acre Timber Conversion Area" (**relocation site**), is much better suited for your current Agricultural (**Ag**) facilities, and it will be more environmentally favorable for your ongoing agricultural use. I list the following reasons to substantiate our findings:

- The current site of the **Ag** facilities is on steep land with a 50% ± slope, while the proposed **relocation site** is comprised of more level terrain in the range of 10% to 25% .
- The current site of the **Ag** facilities is more prone to disturbing the environment, and has a greater erosion potential, due to the steep terrain in the area. While the **relocation site** has already been converted to an **Ag** use during the timber conversion process. Planed driving paths and drainage at the relocation site will create a sustainable **Ag** use for the site.
- The current site of the **Ag** facilities is further away from vehicle access than the proposed **relocation site**, and the open meadow area around existing plant areas is impacted by **Ag** operations. While the **relocation site** is next to an existing road that is already developed.
- The current **Ag** facilities are surrounded by natural forest land, and the open meadow where the plantings occur can be restored to native grasses when fencing is removed, and facilities are moved. This will allow for better foraging of animals, and mitigate impacts of the proposed **Ag** use. The **relocation site** is comprised of rocky soils, and rocky outcrops which provide reduced erosion potential, since it is also on a more gentle slope. And due to the thin soils, there is limited habitat potential for animals at the **relocation site**. The **relocation site** is better suited for green house & **Ag** development, since it has an already converted **Ag** use.

Please call me if you should need additional information about this project, or the environmental benefits associated with moving your **Ag** use, and restoring the existing planting area.

Sincerely,

Randal E. Bryant, P.E., P.L.S.
REB Engineering Inc.



PHONE: 707.963.8638 FAX: 707.963.2346
P.O. BOX 113
SAINT HELENA, CALIFORNIA, 94574



165 South Fortuna Boulevard, Fortuna, CA 95540
707-725-1897 • fax 707-725-0972
trc@timberlandresource.com

April 25, 2018

Paradise Ridge Ranch
Attention: Solomon Fahey
P.O. Box 1412
Redway, Ca 95560

Dear Soloman,

Re: APN 108-066-005

As your Third Party representative to the Water Board, Timberland Resource Consultants recommends relocating your existing outdoor cultivation site (12,643 ft² in size) presently located within the SW ¼ of SW ¼ of Section 14, T4S, R1E, HB&M (see attached map). Cannabis cultivation should be moved to an existing site located within the NW ¼ of SW ¼ of Section 14, T4S, R1E, HB&M (see attached map). This site was developed in association with Conversion Exemption 1-13EX-281 HUM. The site was constructed in 2014 and signed off as "Complete" by Cal Fire in 2015. The original intention of the conversion exemption project was to develop and construct an agricultural grow site.

The conversion exemption site is superior to the existing outdoor cultivation site for the following reasons detailed below;

1. The existing cultivation site does not comply with Water Board Order No. 2015-0023, Standard Condition (I)(A)(3)(a), which states that "200-foot buffers are preferred". The existing site is located within 200 feet of a Class III watercourse on moderately-steep slopes that lead without flattening to a watercourse. In contrast, the conversion exemption area site is located on a trending ridge with no watercourses located within 200+ feet.
2. The outdoor cultivation site is located on 35-45% slopes than appear to be underlain by shallow soils derived from weathered Franciscan mélange. Franciscan mélange is often associated with earthflows and other unstable features, and prone to surface erosion from concentrated storm water runoff. The cultivation buffer zone for the downstream watercourse may not be adequate per Standard Condition (I)(A)(3)(c), which states:

Buffers shall be of sufficient width to filter wastes from runoff discharging from production lands and associated facilities to all wetlands, streams, drainage ditches, or other conveyances.

In contrast, the conversion exemption site is located on a trending ridge with slopes that do not lead without flattening to a watercourse. The underlying geology is Franciscan sandstone, specifically "broken

sandstone and argillite" per *Geologic map of the Cape Mendocino, Eureka, Garberville, and southwestern part of the Hayfork 30 X 60 Quadrangles and Adjacent Offshore Area, Northern California*. The conversion exemption site is much rockier in nature and therefore less prone to surface erosion from storm-water runoff. Furthermore, the watercourses are farther away from the cultivation site relative to the existing outdoor site.

3. Beginning July 2019, the Cultivator will no longer be covered under Water Board Order No. 2015-0023 and will be subject to State-wide Order WQ 2017-0023-DWQ. The Cannabis Policy provides criteria to evaluate the threat to water quality based on site conditions. The threat is risk-based based upon:
 - a. Disturbed area
 - b. Slope of disturbed area
 - c. Proximity to a surface water body

The existing outdoor cultivation site is located on slopes greater than 30% and therefore is characterized as a "Moderate Risk" to water quality. Movement of the outdoor cultivation site to the conversion exemption area, which is located on flat terraced slopes less than 30%, will lower risk relative to the baseline. Increased slopes may be associated with decreased soil stability, especially when associated with vegetation removal. Storm water and excess irrigation water are more likely to runoff and discharge off-site from sloped surfaces, and in this case may reach downstream watercourses. The flat slopes and rocky nature of the conversion exemption site will lower potential for discharge.

Prior to July 2019, the Cultivator wishes to obtain "Tier 1 Status" (Dischargers cultivate cannabis commercially outdoors and have a disturbed area equal to or greater than 2,000 square feet and less than 1 acre\43,560 square feet) with a "Low Risk" designation with regards to State-wide Order WQ 2017-0023-DWQ. Sites that pose a higher threat to water quality (e.g., disturb a larger area, located on a steeper slope, or located close to a surface water body) require a greater level of regulatory oversight, which translates to higher costs to achieve water quality protection. Minimizing risk by moving the site not only results in environmental superiority, but also saves time, money and resources from preparing additional technical reports and review by the Water Board.

Restoration: Remove all cultivation related materials and infrastructure from the outdoor garden consisting of but not limited to irrigation line, drip emitters, fencing, garden cloche wire, and stakes. This site is an "in-ground" garden consisting of scattered holes in a natural grassland opening and therefore no grading occurred. Consequently, site decommissioning involves no grading or earthwork. TRC has consulted with Todd Golder (Rangeland Management Specialist) at the NRCS and he developed a unique seed mix for applying to the outdoor garden. All bare mineral soil located within the footprint of the cultivation site shall be re-seeded with the seed mix shown on page of 56 of the Water Resource Protection Plan.

Sincerely,



Chris Carroll, RPF #2628
Timberland Resource Consultants

ATTACHMENT 5

REFERRAL AGENCY COMMENTS AND RECOMMENDATIONS

The project was referred to the following referral agencies for review and comment. Those agencies that provided written comments are checked off.

Referral Agency	Response	Recommendation	Location
Building Inspection Division	✓	Conditional Approval	Attached
Public Works Land Use Division	✓	Conditional Approval	Attached
Health and Human Services Environmental Health Division	✓	Conditional Approval	Attached
CALFIRE	✓	Conditional Approval	Attached
NWIC	✓	Requested Cultural Resources Investigation	On file with Planning
Bear River Band Rohnerville Rancheria	✓	Conditional Approval	On file with Planning
Intertribal Sinkyone Wilderness Council		No Response	
Department of Fish & Wildlife	✓	Conditional Approval	Attached
Humboldt County Agricultural Commissioner		No response	
Humboldt County District Attorney		No response	
North Coast Unified Air Quality Management District		No response	
Regional Water Quality Control Board		No Response	
BLM		No Response	
California Water Resources Control Board, Division of Water Rights		No Response	
Humboldt County Sheriff		No response	
Southern Humboldt Joint Unified School District		No response	
Telegraph Ridge Fire Protection District	✓	Conditional Approval	Attached



HUMBOLDT COUNTY
 PLANNING AND BUILDING DEPARTMENT
 CURRENT PLANNING DIVISION
 3015 H STREET, EUREKA, CA 95501 ~ PHONE (707) 445-7541



8/15/2017

PROJECT REFERRAL TO: Building Inspection Division

Project Referred To The Following Agencies:

Building Inspection Division, Public Works Land Use Division, Health and Human Services Environmental Health Division, County Counsel, CalFire, California Department of Fish And Wildlife, Northwest Information Center, Bear River Band Rohnerville Rancheria, California Department of Transportation District #1, Regional Water Quality Control Board, North Coast Unified Air Quality Management District, Humboldt County District Attorney, Humboldt County Agriculture Commissioner, Intertribal Sinkyone Wilderness Council, Telegraph Ridge Fire Protection District, Sheriff's Department, California Water Resources Control Board, Division of Water Rights, Southern Humboldt Joint Unified School District

108-066-005

Applicant Name Paradise Ridge Ranch **Key Parcel Number** 108-066-005-000
Application (APPS#) 11405 **Assigned Planner** Cannabis Planner (CPOD) (707) 445-7541 **Case Number(s)** CUP16-244

Please review the above project and provide comments with any recommended conditions of approval. To help us log your response accurately, please include a copy of this form with your correspondence.

Questions concerning this project may be directed to the assigned planner for this project between 8:30am and 5:30pm Monday through Friday.

County Zoning Ordinance allows up to 15 calendar days for a response. If no response or extension request is received by the response date, processing will proceed as proposed.

If this box is checked, please return large format maps with your response.

Return Response No Later Than 8/30/2017 Planning Commission Clerk
 County of Humboldt Planning and Building Department
 3015 H Street
 Eureka, CA 95501
E-mail: PlanningClerk@co.humboldt.ca.us **Fax:** (707) 268-3792

We have reviewed the above application and recommend the following (please check one):

- Recommend Approval. The Department has no comment at this time.
- Recommend Conditional Approval. Suggested Conditions Attached.
- Applicant needs to submit additional information. List of items attached.
- Recommend Denial. Attach reasons for recommended denial.

Other Comments: SEE ATTACHED COMMENTS.

DATE: 1/19/18

PRINT NAME: MARK PHIPPEAN w/RUDY



COUNTY OF HUMBOLDT
PLANNING AND BUILDING DEPARTMENT
BUILDING DIVISION

3015 H STREET EUREKA CA 95501
PHONE: (707) 445-7245 FAX: (707) 445-7446

Building Division's Referral Comments for Cannabis Operations:

Application No.: 45306 / 11405
Parcel No.: 108-066-005
Case No.: CUP16-244

The following comments apply to the proposed project, (check all that apply).

- Site/plot plan appears to be accurate.
- Submit revised site/plot plan showing all of the following items: all grading including ponds and roads, location of any water course including springs, all structure including size and use and all setbacks from the above stated to each other and property lines.
- Existing operation appears to have expanded, see comments: _____

- Existing structures used in the cannabis operation shall not to be used/occupied until all required permits have been obtained.
- Proposed new operation has already started.
- Recommend approval based on the condition that all required grading, building, plumbing electrical and mechanical permits and or Agricultural Exemption are obtained.
- Other Comments: PHOTOS ATTACHED TO CASE FILE IN AP#.

Name: MARC PHIPPEN + RUDY

Date: 1/19/18

Note: Remember to take photographs and then save them to the Planning's case number. File location J, Current Planning, Projects,(CUP, SP, ZCC) Case number.



DEPARTMENT OF PUBLIC WORKS
COUNTY OF HUMBOLDT



MAILING ADDRESS: 1106 SECOND STREET, EUREKA, CA 95501-0579
AREA CODE 707

ARCATA-EUREKA AIRPORT TERMINAL
MCKINLEYVILLE
FAX 839-3596

PUBLIC WORKS BUILDING
SECOND & L ST., EUREKA
FAX 445-7409

CLARK COMPLEX
HARRIS & H ST., EUREKA
FAX 445-7388

AVIATION	839-5401	ADMINISTRATION	445-7491	NATURAL RESOURCES	445-7741	LAND USE	445-7205
		BUSINESS	445-7652	NATURAL RESOURCES PLANNING	267-9540		
		ENGINEERING	445-7377	PARKS	445-7651		
		FACILITY MAINTENANCE	445-7493	ROADS & EQUIPMENT MAINTENANCE	445-7421		

LAND USE DIVISION INTEROFFICE MEMORANDUM

TO: Cannabis Planner, Planning & Building Department

FROM: Ken Freed, Assistant Engineer *KF*

DATE: 8-31-2017

RE: **NOTICE OF INCOMPLETE SUBMITTAL FOR PUBLIC WORKS REVIEW**
APPLICATION No. 11405; APN 108-066-005

The Department has received a greater number of projects than can be processed in the time frame provided. The Department is providing the following abbreviated review of the project. **Once the requested information has been provided, please re-refer the project to the Department.**

All boxes that are checked apply.

- (1) Prior to the project being presented to the Planning Commission or the Zoning Administrator, it is recommended that the project should be referred to:
 - Caltrans; Bureau of Land Mgmt.; US Forest Service; City of _____

Prior to the project being presented to the Planning Commission of the Zoning Administrator, the following must be done:

- (2) Applicant shall submit a completed Public Works Road Evaluation Report form for each road that is used to access the subject property. The applicant shall provide a "google earth" type map showing the locations of the road being evaluated that is indexed to each Road Evaluation Form. Road evaluations are needed for all roads that access off of WILDER RIDGE RD.
 - Including _____

A Road Evaluation Report form is available from the Land Use Division. The Department recommends that the applicant make an appointment with staff to go over the road evaluation process.

- The submitted Road Evaluation Form(s) is(are) inadequate. See attached road evaluation report response for comments.
- (3) Applicant shall submit Airspace Clearance Form. The subject property is located within the area covered by County Code section 333-1 et seq., the applicant shall submit evidence that the project complies or will comply with County Code.
 - The submitted Airspace Clearance Form is inadequate. See below for comments.
- (4) The subject property has deferred subdivision improvements that must be completed. Prior to the project being presented to the Planning Commission or the Zoning Administrator for approval or prior to the issuance of any building permits, whichever occurs first.



HUMBOLDT COUNTY
 PLANNING AND BUILDING DEPARTMENT
 CURRENT PLANNING DIVISION
 3015 H STREET, EUREKA, CA 95501 ~ PHONE (707) 445-7541



DEH received
 8-15-17

17/18-0354

PROJECT REFERRAL TO: Health and Human Services Environmental Health Division

Project Referred To The Following Agencies:

Building Inspection Division, Public Works Land Use Division, Health and Human Services Environmental Health Division, County Counsel, CalFire, California Department of Fish And Wildlife, Northwest Information Center, Bear River Band Rohnerville Rancheria, California Department of Transportation District #1, Regional Water Quality Control Board, North Coast Unified Air Quality Management District, Humboldt County District Attorney, Humboldt County Agriculture Commissioner, Intertribal Sinkyone Wilderness Council, Telegraph Ridge Fire Protection District, Sheriff's Department, California Water Resources Control Board, Division of Water Rights, Southern Humboldt Joint Unified School District

Applicant Name Paradise Ridge Ranch **Key Parcel Number** 108-066-005-000

Application (APPS#) 11405 **Assigned Planner** Cannabis Planner (CPOD) (707) 445-7541 **Case Number(s)** CUP16-244

Please review the above project and provide comments with any recommended conditions of approval. To help us log your response accurately, please include a copy of this form with your correspondence.

Questions concerning this project may be directed to the assigned planner for this project between 8:30am and 5:30pm Monday through Friday.

County Zoning Ordinance allows up to 15 calendar days for a response. If no response or extension request is received by the response date, processing will proceed as proposed.

If this box is checked, please return large format maps with your response.

Return Response No Later Than Planning Commission Clerk
 County of Humboldt Planning and Building Department
 3015 H Street
 Eureka, CA 95501
E-mail: PlanningClerk@co.humboldt.ca.us **Fax:** (707) 268-3792

We have reviewed the above application and recommend the following:

Conditional Approval

DISTRIBUTED
1-23-18

Comments:

Prior to renewal of permit the operator is required to submit to DEH receipts, or copy of contract confirming sufficient use of portable toilets to serve staff for duration of first year or provide written assessment from a qualified septic consultant confirming a Tier 0 status for the existing onsite waste treatment system serving the dwelling.

*This review and recommendation is for the Land Use aspects of the planning project and does not include or imply compliance with all DEH programs. Although DEH recommends the approval of the Planning project, Solid Waste and HazMat Program requirements need to be addressed directly with staff from those programs.

2746

DEPARTMENT OF FORESTRY AND FIRE PROTECTION

Humboldt – Del Norte Unit
 118 Fortuna Blvd.
 Fortuna, CA 95540
 Website: www.fire.ca.gov
 (707) 726-1272



Ref: 7100 Planning
 Date: August 17, 2017

John Ford, Director
 Humboldt County Planning and Building Department – Planning Division
 3015 H Street
 Eureka, CA 95501

Attention: Cannabis Planner (CPOD)
Applicant: Paradise Ridge Ranch
APN: 108-066-005-000
Area: Shelter Cove
Case Numbers: CUP16-244

Humboldt County Application #: 11405
Type of Application: Conditional Use Permit
Date Received: 8/16/2017
Due Date: 8/30/2017

Project Description: A Conditional Use Permit for an existing outdoor and mixed-light commercial cannabis cultivation operation of 18,410 square feet, of which 16,250 square feet is outdoor and 2,160 square feet is mixed-light. The Applicant proposes on-site relocation to an area of a previously permitted three (3)-acre conversion with 16,250 square feet of outdoor and 2,160 square feet of mixed-light. All cultivation will occur in greenhouses. Irrigation water is provided by an existing permitted on-site well, and water storage consists of 6,500 gallons in tanks. Estimated water usage is 540,000 gallons per 150 day growing season. Cultivated cannabis is dried and processed on-site, the Applicants propose building an ADA compliant processing room upon permit approval. At peak operation, up to seven (7) employees will be needed for processing. Toilet and hand washing is available in the existing residence with well water and an on-site wastewater system. Power for greenhouse fans will be provided by solar, property is outside Pacific Gas & Electric service area. Carpooling to the site will be used, when possible, and on-site housing is available in the residence.

Mr. Ford,

The California Department of Forestry and Fire Protection (CALFIRE) provides these standard project review comments on the above noted project for the following subject matter:

- Fire Safe
- Resource Management
- Cannabis

The following pages address these concerns directly.

If CALFIRE staff develops additional comment on this project, it will be forwarded in an additional response letter.

By: Planning Battalion
 CALFIRE Humboldt – Del Norte Unit

For **Hugh Scanlon**, Unit Chief

FIRE SAFE

General:

CALFIRE has responsibility for enforcement of Fire Safe Standards as required by Public Resources Code (PRC) 4290 and 4291. However CALFIRE is not the lead agency in planning development and project permitting. CALFIRE provides input as a contributing agency, generally limited to plan review, and is not the approving agency for these projects.

Local Responsibility Areas:

Should this project include Local Responsibility Area (LRA) lands, CALFIRE has no direct fire safe input on those parcels. However, in those areas with LRA parcels adjacent to State Responsibility Area (SRA) land, CALFIRE recommends that local standards be applied that are consistent with those CALFIRE makes for SRA lands.

State Responsibility Areas:

Should this project include State Responsibility Area (SRA) lands, the following are CALFIRE's Fire Safe minimum input and recommendation for any and all development.

1. In Humboldt County, developments must meet minimum fire safe standards by constructing the project in conformance with County Fire Safe Ordinance 1952, which the California Board of Forestry and Fire Protection has accepted as functionally equivalent to PRC 4290. The County Fire Safe Ordinance provides specific standards for roads providing ingress and egress, signing of streets and buildings, minimum water supply requirements, and setback distances for maintaining defensible space.
2. New buildings located in any Fire Hazard Severity Zone within State Responsibility Areas shall comply with the 2007 California Building Code (CBC) Section 701A.3.2. This requires roofing assemblies, attic and eave ventilation, exterior siding, decking and deck enclosure, windows and exterior doors, and exposed under floor areas that are approved "ignition resistive" in design.
3. All development, especially commercial or industrial development, should be designed to comply with the most current versions of the following standards:
 - a) California Fire Code (CFC) — for overall design standards
 - b) Public Utilities Commission (PUC) General Order 103 — for design of water systems
 - c) National Fire Protection Association Standards (NFPA) for fire flow minimums and other design questions not specifically covered by CFC and PUC
 - d) Housing and Community Development Codes and Standards —for mobile home parks and recreational camps
4. For Department of Real Estate reporting purposes, fire protection coverage in SRA is generally described as follows:

During the declared fire season (usually June through October) CALFIRE responds to all types of fires and emergencies in SRA.

During the remainder of the year (winter period), CALFIRE responds to emergency requests with the closest available fire engine, if a response can reasonably be expected to arrive in time to be effective. A fire engine is usually available somewhere in the Unit, but may have an extended response time.

There are many hazards confronting fire protection agencies in most subdivisions on SRA lands. Steep terrain and heavy wildland fuels contribute to fire intensity and spread. The distances from fire stations and road grades encountered usually create an excessive response time for effective structure fire suppression purposes.

Subdivisions increase fire risks from additional people and increase probable dollar losses in the event of fire due to added structures and improvements.
5. If the project expects to produce densities consistent with a major subdivision, the impacts on all infrastructures should be mitigated. Local government more appropriately provides the responsibility for high-density area protection and services. Annexation or inclusion into Local Responsibility Area should be studied as well.

6. CALFIRE does not support development in areas where there is no local agency fire service for structure fires and emergency medical response. Fire services should be extended into service gap areas as a condition of development. New development can adversely impact existing fire services. Careful consideration must be given where development may overload the local fire service's ability to respond.

RESOURCE MANAGEMENT

CALFIRE has enforcement responsibility for requirements of the Z'berg—Nejedly Forest Practice Act of 1973. CALFIRE is also the lead agency for those parts of projects involving the scope of the Forest Practice Act. The following basic input will cover the majority of projects. Each project will be reviewed with additional input sent at a later date, if needed.

The following comments reflect the basic Resource Management policies of the Board of Forestry and Fire Protection and CALFIRE on CEQA review requests. These policies apply to both Local and State Responsibility Areas.

1. If this project reduces the amount of timberland, by policy, the Board of Forestry and CALFIRE cannot support any project that will reduce the timberland base of California. "Timberland" means land which is available for, and capable of, growing a crop of trees of any commercial species used to produce lumber and other forest products, including Christmas trees regardless of current zoning (PRC 4526). However, if the zoning and intended use are consistent with the county's general plan; and if no land other than timberland can be identified to site the project; then CALFIRE may choose not to oppose the project.
2. If **any** commercial timber operations are involved with a project, the timber operations cannot be conducted without a CAL FIRE permit. Commercial timber operations include the cutting or removal of trees offered for sale, barter, exchange, or trade or the conversion of timberlands to land uses other than the growing of timber (PRC 4527). Contact your nearest CAL FIRE Resource Management office for guidance on obtaining the necessary permits.
3. If **any** timberlands are being converted to a non-timber growing use by this project, the conversion operations cannot be conducted without a CAL FIRE permit (PRC 4621). Conversion of timberland takes place when trees are removed and the land use changes, even without the sale, barter, exchange, or trade of the trees. Contact your nearest CAL FIRE Resource Management office for guidance on obtaining the necessary permits.
4. If timberland is in the viewshed of a project, the current and future owners should be overtly notified that changes will occur to their views due to timber management activities. Further, no project should be allowed to negatively affect access to timberland for timber management purposes; neither on the project parcel(s) nor any other timberland parcels.
5. If timber harvesting has occurred and post-harvest restocking and prescribed erosion control maintenance obligations have not been met on a parcel, future owners should be overtly notified (14 CCR 1042). The current owner of a parcel is responsible for restocking requirements and maintenance of roads whether or not they were involved in the actual harvest plan.
6. If the project involves the development of parcels zoned as Timber Production Zone (TPZ), CALFIRE cannot support the project. Dividing TPZ land into parcels of less than 160 acres requires a Joint Timber Management plan prepared by a Registered Professional Forester (RPF), recorded as a deed restriction for a minimum of 10-years on all affected parcels, and approved by a four – fifths vote of the full board (Govt. Code 51119.5). TPZ may be rezoned using a "Ten Year Phase Out," which precludes the need for a Timberland Conversion Permit. CALFIRE opposes immediate rezoning of TPZ land.

Cannabis

General:

CALFIRE has responsibility for enforcement of Fire Safe Standards as required by Public Resources Code (PRC) 4290 and 4291. CALFIRE is not the lead agency in planning development and project permitting. However, CALFIRE provides comment as an emergency response expert agency, generally limited to plan review, and is not the approving agency for these projects.

Local Responsibility Areas:

Should this project include Local Responsibility Area (LRA) lands, CALFIRE has no direct fire safe input on those parcels. However, in those areas with LRA parcels adjacent to State Responsibility Area (SRA) land, CALFIRE recommends that local standards be applied that are consistent with those CALFIRE makes for SRA lands. Also CAL FIRE is the primary command and control dispatch, for most local agency fire districts and departments.

State Responsibility Areas:

Should this project include State Responsibility Area (SRA) lands, the following are CALFIRE's minimum input.

1. Agricultural cannabis growing operations medicinal or commercial shall have an easily accessible material safety data sheet (MSDS) or safety data sheet (SDS) for all chemicals and hazardous materials on site. Posted (NFPA 704) Placard clearly visible to emergency responders
2. California code of regulations Health and Safety (CCR 11362.769.) Indoor and outdoor medical marijuana cultivation shall be conducted in accordance with state and local laws related to land conversion, grading, electricity usage, water usage, water quality, woodland and riparian habitat protection, agricultural discharges, and similar matters. State agencies, including, but not limited to, the State Board of Forestry and Fire Protection, the Department of fish and Wildlife, the State Water Resources Control Board, the California regional water quality control boards, and traditional state law enforcement agencies shall address environmental impacts of medical marijuana cultivation and shall coordinate, when appropriate, with cities and counties and their law enforcement agencies in enforcement efforts.
3. International Fire Code (N101.1 Scope) Marijuana growing and extraction shall be in accordance with this chapter, of the International Building Code, and the International Mechanical Code. Cryogenic fluids shall comply with Chapter 55. Compressed gases shall comply with Chapter 53. Flammable and combustible liquids shall comply with Chapter 57. Hazardous materials shall comply with Chapter 50. LP-gas shall comply with Chapter 61 and the International Fuel Gas Code. All applicable California State Fire Marshal standards and regulations for the designated occupancy must be met.
4. Growing marijuana and the extracting of oils
Extraction of marijuana oils; All materials hazardous and non-hazardous associated with the extraction process shall be utilized in conformance of the law and fire safe codes.



**California Department of Fish and Wildlife
CEQA Referral Checklist**

Applicant: Fahey Paradise Ridge Ranch		Date: 6-22-18	
APPS No.: 11405	APN: 108-066-005	CDFW CEQA: 2017-0464	Case No.: CUP 16-244
<input type="checkbox"/> New	<input checked="" type="checkbox"/> Existing	<input checked="" type="checkbox"/> Mixed-light (SF): 2160	<input checked="" type="checkbox"/> Outdoor (SF): 16,250 <input type="checkbox"/> Indoor <input type="checkbox"/> RRR

Thank you for referring this application to the California Department of Fish and Wildlife (CDFW) for review and comment.

CDFW offers the following comments on the Project in our role as a Trustee and Responsible Agency pursuant to the California Environmental Quality Act (CEQA; California Public Resource Code Section 21000 *et seq.*). These comments are intended to assist the Lead Agency in making informed decisions early in the planning process.

- Recommend Approval. The Department has no comment at this time.
- Recommend Conditional Approval. Suggested conditions below.
- Applicant needs to submit additional information. Please see the list of items below.
- Recommend Denial. See comments below.

Water for this project is sourced from a groundwater well. It is estimated that water use may be as high as 540,000 gallons per year. CDFW requests that the groundwater well be inspected annually to evaluate drawdown, and the potential for the well to go dry. This evaluation should include a standard pump test to be conducted during the dry season. Evaluation of the pump test results should be conducted by a licensed professional with expertise. Since the County is the lead agency on land use and associated groundwater well use and management, planning staff should evaluate the location and water use of other proximal wells to this project and require storage as necessary to avoid excessive aquifer drawdown. CDFW recommends additional water storage at this site in the event that the well does not produce in perpetuity.

Please provide the following information prior to Project Approval: *(All supplemental information requested shall be provided to the Department concurrently)*

- If the applicant has submitted a Notification of Lake or Streambed Alteration (LSA) to CDFW, include the LSA project number (e.g. 1600-2017-XXXX-R1) or a copy of the Notification.
- Provide additional information on the water source(s) for the parcel(s) including both domestic use and irrigation.
 - a. If the source is surface water (spring, stream, or hydrologically connected pond or well) CDFW recommends that the applicant notify our Department, pursuant to Fish and Game Code Section 1602, of all unpermitted points of diversion located on the parcel or provide a copy of the non-jurisdictional letter issued by CDFW.
- Identify all energy sources for project.

- a. If generator, identify the size and location of the generator and describe measures that will be incorporated to avoid or minimize impacts to fish and wildlife, such as secondary containment.
- b. If micro hydropower, provide detailed information regarding the existing or proposed system. CDFW requires that the applicant notify CDFW, pursuant to Fish and Game Code Section 1602, of all micro hydropower systems located on the parcel.

Please note the following information:

- No Lake or Streambed Alteration Agreement has been issued for this parcel.
- The project is located in/near Northern Spotted Owl (*Strix occidentalis caurina*, a State- and Federally-Threatened species) potential habitat. CDFW requests, prior to Project approval, protocol level surveys (two-year) by an experienced wildlife biologist, to determine whether the area has NSO presence.
- Prohibition on use of synthetic netting. To minimize the risk of wildlife entrapment, Permittee shall not use any erosion control materials that contain synthetic (e.g., plastic or nylon) netting, including photo- or biodegradable plastic netting. Geotextiles, fiber rolls, and other erosion control measures shall be made of loose-weave mesh, such as jute, hemp, coconut (coir) fiber, or other products without welded weaves.
- Leave wildlife unharmed. If any wildlife is encountered during the Authorized Activity, Permittee shall not disturb the wildlife and shall allow wildlife to leave the work site unharmed.
- The environmental impacts of improper waste disposal are significant and well documented. CDFW requests, as a condition of Project approval, that all refuse be contained in wildlife proof storage containers, at all times, and disposed of at an authorized waste management facility.
- Human induced noise pollution may adversely affect wildlife species in several ways including abandonment of territory, loss of reproduction, auditory masking (inability to hear important cues and signals in the environment), hindrance to navigation, and physiological impacts such as stress, increased blood pressure, and respiration. To avoid disturbance, CDFW requests, as a condition of project approval, the construction of noise containment structures for all generators and fans on the parcel; noise released shall be no more than 50 decibels measured from 100ft.
- This project has the potential to affect sensitive fish and wildlife resources such as Pacific Giant Salamander (*Dicamptodon tenebrosus*), Southern Torrent Salamander (*Rhyacotriton variegatus*), Northern Red-legged Frog (*Rana aurora*), Tailed Frog (*Ascaphus truei*), Western Pond Turtle (*Actinemys marmorata marmorata*), and amphibians, reptiles, aquatic invertebrates, mammals, birds, and other aquatic and riparian species.

Thank you for the opportunity to comment on this Project. Please send all inquiries regarding these comments to david.manthorne@wildlife.ca.gov .

Please confirm that you have received this email.

Sincerely,

David Manthorne
California Department of Fish and Wildlife
619 2nd Street
Eureka, CA 95503



**HUMBOLDT COUNTY
PLANNING AND BUILDING DEPARTMENT
CURRENT PLANNING DIVISION
3015 H STREET, EUREKA, CA 95501 ~ PHONE (707) 445-7541**



8/15/2017

PROJECT REFERRAL TO: Telegraph Ridge Fire Protection District

Project Referred To The Following Agencies:

Building Inspection Division, Public Works Land Use Division, Health and Human Services Environmental Health Division, County Counsel, CalFire, California Department of Fish And Wildlife, Northwest Information Center, Bear River Band Rohnerville Rancheria, California Department of Transportation District #1, Regional Water Quality Control Board, North Coast Unified Air Quality Management District, Humboldt County District Attorney, Humboldt County Agriculture Commissioner, Intertribal Sinkyone Wilderness Council, Telegraph Ridge Fire Protection District, Sheriff's Department, California Water Resources Control Board, Division of Water Rights, Southern Humboldt Joint Unified School District

Applicant Name Paradise Ridge Ranch **Key Parcel Number** 108-066-005-000

Application (APPS#) 11405 **Assigned Planner** Cannabis Planner (CPOD) (707) 445-7541 **Case Number(s)** CUP16-244

Please review the above project and provide comments with any recommended conditions of approval. To help us log your response accurately, please include a copy of this form with your correspondence.

Questions concerning this project may be directed to the assigned planner for this project between 8:30am and 5:30pm Monday through Friday.

County Zoning Ordinance allows up to 15 calendar days for a response. If no response or extension request is received by the response date, processing will proceed as proposed.

If this box is checked, please return large format maps with your response.

Return Response No Later Than 8/30/2017 Planning Commission Clerk
County of Humboldt Planning and Building Department
3015 H Street
Eureka, CA 95501
E-mail: PlanningClerk@co.humboldt.ca.us **Fax:** (707) 268-3792

We have reviewed the above application and recommend the following (please check one):

Recommend Approval. The Department has no comment at this time.

Recommend Conditional Approval. Suggested Conditions Attached.

Applicant needs to submit additional information. List of items attached.

Recommend Denial. Attach reasons for recommended denial.

Other Comments: Water storage grossly insufficient;
All employees should receive Fire Safety Trainings;
* FIRE STAND PIPE

DATE: _____

PRINT NAME: _____



DEPARTMENT OF PUBLIC WORKS
COUNTY OF HUMBOLDT

MAILING ADDRESS: 1106 SECOND STREET, EUREKA, CA 95501-0579
AREA CODE 707

ARCATA-EUREKA AIRPORT TERMINAL
McKINLEYVILLE
FAX 839-3596

PUBLIC WORKS BUILDING
SECOND & L ST., EUREKA
FAX 445-7409

CLARK COMPLEX
HARRIS & H ST., EUREKA
FAX 445-7389

AVIATION 839-5401

ADMINISTRATION 445-7491
BUSINESS 445-7652
ENGINEERING 445-7377
FACILITY MAINTENANCE 445-7493

NATURAL RESOURCES 445-7741
NATURAL RESOURCES PLANNING 267-9540
PARKS 445-7651
ROADS & EQUIPMENT MAINTENANCE 445-7421

LAND USE 445-7205

LAND USE DIVISION INTEROFFICE MEMORANDUM

TO: Cliff Johnson, Supervising Planner, Planning & Building Department

FROM: Kenneth M. Freed, Assistant Engineer

DATE: 9/14/2018

RE:

Applicant Name	Paradise Ridge Ranch
APN	108-066-005
APPS#	11405
CASE#	CUP16-244

The Department has reviewed the above project and has the following comments:

- The Department's recommended conditions of approval are attached as **Exhibit "A"**.
- Additional information identified on **Exhibit "B"** is required before the Department can review the project. **Please re-refer the project to the Department when all of the requested information has been provided.**
- Additional review is required by Planning & Building staff for the items on **Exhibit "C"**. **No re-refer is required.**
- Road Evaluation Reports(s)** are required; See **Exhibit "D"**. **No re-refer is required.**

*Note: Exhibits are attached as necessary.

Additional comments/notes:

// END //

Exhibit "A"

Public Works Recommended Conditions of Approval

APPS # 11405

(All checked boxes apply)

COUNTY ROADS- FENCES & ENCROACHMENTS:

All fences and gates shall be relocated out of the County right of way. All gates shall be setback sufficiently from the County road so that vehicles will not block traffic when staging to open/close the gate. In addition, no materials shall be stored or placed in the County right of way.

This condition shall be completed to the satisfaction of the Department of Public Works prior to commencing operations, final sign-off for a building permit, or Public Works approval for a business license.

COUNTY ROADS- DRIVEWAY (PART 1):

The submitted site plan is unclear and/or shows improvements that are inconsistent with County Code and/or Department of Public Works policies. The applicant is advised that these discrepancies will be addressed at the time that the applicant applies to the Department of Public Works for an Encroachment Permit. If the applicant wishes to resolve these issues prior to approval of the Planning & Building permit for this project, the applicant should contact the Department to discuss how to modify the site plan for conformance with County Code and/or Department of Public Works policies. Notes:

COUNTY ROADS- DRIVEWAY (PART 2):

Any existing or proposed driveways that will serve as access for the proposed project that connect to a county maintained road shall be improved to current standards for a commercial driveway. An encroachment permit shall be issued by the Department of Public Works prior to commencement of any work in the County maintained right of way. This also includes installing or replacing driveway culverts; minimum size is typically 18 inches.

- If the County road has a paved surface at the location of the driveway, the driveway apron shall be paved for a minimum width of 18 feet and a length of 50 feet.
- If the County road has a gravel surface at the location of the driveway, the driveway apron shall be rocked for a minimum width of 18 feet and a length of 50 feet.
- If the County road is an urban road, frontage improvements (curb, gutter, and sidewalk) shall also be constructed to the satisfaction of the Department. Any existing curb, gutter or sidewalk that is damaged shall be replaced.

The exact location and quantity of driveways shall be approved by the Department at the time the applicant applies to the Department of Public Works for an Encroachment Permit.

This condition shall be completed to the satisfaction of the Department of Public Works prior to commencing operations, final sign-off for a building permit, or Public Works approval for a business license.

COUNTY ROADS- DRIVEWAY (PART 3):

The existing driveway will require substantial modification in order to comply with County Code. The applicant may wish to consider relocating the driveway apron if a more suitable location is available.

COUNTY ROADS-PARKING LOT- STORM WATER RUNOFF:

Surfaced parking lots shall have an oil-water filtration system prior to discharge into any County maintained facility.

This condition shall be completed to the satisfaction of the Department of Public Works prior to commencing operations, final sign-off for a building permit, or Public Works approval for a business license.

COUNTY ROADS- DRIVEWAY & PRIVATE ROAD INTERSECTION VISIBILITY:

All driveways and private road intersections onto the County Road shall be maintained in accordance with County Code Section 341-1 (Sight Visibility Ordinance).

This condition shall be completed to the satisfaction of the Department of Public Works prior to commencing operations, final sign-off for a building permit, or Public Works approval for a business license.

COUNTY ROADS- PRIVATE ROAD INTERSECTION:

Any existing or proposed non-county maintained access roads that will serve as access for the proposed project that connect to a county maintained road shall be improved to current standards for a commercial driveway. An encroachment permit shall be issued by the Department of Public Works prior to commencement of any work in the County maintained right of way.

- If the County road has a paved surface at the location of the access road, the access road shall be paved for a minimum width of 20 feet and a length of 50 feet where it intersects the County road.
- If the County road has a gravel surface at the location of the access road, the access road shall be rocked for a minimum width of 20 feet and a length of 50 feet where it intersects the County road.

This condition shall be completed to the satisfaction of the Department of Public Works prior to commencing operations, final sign-off for a building permit, or Public Works approval for a business license.

COUNTY ROADS- ROAD EVALUATION REPORT(S):

All recommendations in the *Road Evaluation Report(s)* for County maintained road(s) shall be constructed/implemented to the satisfaction of the Public Works Department prior to commencing operations, final sign-off for a building permit, or approval for a business license. An encroachment permit shall be issued by the Department of Public Works prior to commencement of any work in the County maintained right of way.

// END //

Exhibit "D"

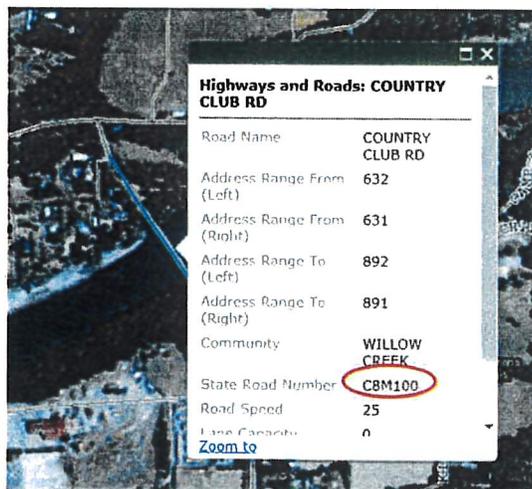
Road Evaluation Reports

1. **ROADS – Road Evaluation Reports.** **Planning and Building Department staff shall request that the applicant provide Road Evaluation Reports for the project.** The particular roads that require a *Road Evaluation Report* is to be determined by following the guidance shown below.

The Department has developed a *Road Evaluation Report* form so that an applicant can address the adequacy of the various roads used by their project. Most projects will require that a *Road Evaluation Report* form be completed.

When viewing the project site on google earth, if the County maintained road (or other publicly maintained road) has a centerline stripe, the road is adequate. If there is no centerline stripe, then the roads leading from the nearest publicly maintained road with a paved centerline stripe (or a known category 4 road) must be evaluated. A separate *Road Evaluation Report* form is needed for each road. This applies to all roads regardless if they are publicly or privately maintained. The Department has prepared a "approved list" of known County maintained roads that are category 4 (or are equivalent to category 4) standards for cannabis projects. The Department has also prepared a list of roads that are known to not meet road category 4 of equivalent. Both of these lists will be updated as the County information regarding the County maintained roads becomes available.

The *Road Evaluation Report* form needs to be provided to applicants to complete. It is important that Planning and Building Department staff provide the applicant with a map that has the roads to be evaluated highlighted. This will most likely include a combination of County maintained roads and non-County maintained roads. This will give the applicant clear direction on which roads need to be evaluated.



Above: screenshot from the WebGIS showing County Road Number circled in **RED**.

A County maintained road will have a 5 or 6 character identifier. The general format is **ABCDDD** where:

- A** is an optional identifier for the functionality of the road (A=Arterial, C=Collector, F=Federal Aid)
- B** is a grid identifier number for the X-axis of a "battleship" style grid that was drawn on a county map to divide the county into a series of squares.
- C** is a grid identifier letter for the Y-axis for the grid.
- DDD** is a three digit road identification number within a particular grid. Each grid can have up to 999 roads in them

Examples:

ABCDDD
A 3 M 0 2 0 Murray Road
F 6 B 1 6 5 Alderpoint Road
6 C 0 4 0 Thomas Road

Exhibit "D"

Road Evaluation Reports

The Department is working towards identifying which County maintained roads meet (or are equivalent to) Road Category 4 standards for cannabis projects. Two lists are being prepared: the first list with the **green** heading shows which roads (or portions thereof) meet or are equivalent to Road Category 4 standard (AKA "Approved List"); and the second list with the **red** heading shows which roads (or portions thereof) that do not meet or are not equivalent to Road Category 4 standards. These lists will be updated as information becomes available. **This list will be updated frequently. Make sure you are using the most up to date list.**

On occasion there may be more than one road that has the same name; in these instances check the road number to ensure that you are referencing the correct road. Until such time as the GIS roads layer has been proofed by the Department, the GIS is not to be used for this task. Use the paper road maps to check road numbers.

If the subject property takes direct access from a road on the "approved list", no further road evaluation needs to be done.

Note: As stated above, County maintained roads with a painted centerline stripe are roads considered meeting or exceeding Road Category 4 standards, and are not necessarily listed below.

"APPROVED LIST"		
List of County Maintained Roads that meet (or are equivalent to) Road Category 4 standards for Cannabis Projects		
Road Name	Road Number	Range meeting (or equivalent to) Road Category 4 standard
Alderpoint Road	F6B165	All
Bair Road	C6L300	All
Bair Road	6L300	All
Bald Hills Road	F4R300	All
Benbow Drive	6B180	Oakcrest Drive to State Hwy 101
Blue Slide Road	F2G100	All [Grizzley Bluff Rd to City limits of Rio Dell]
Brannon Mountain Road	7M100	State Hwy 96 to Creekside Lane
Briceland Thorne Road	F5A010	All
Burrell Road	3D030	From Mattole Rod to P.M. 067
Cathey Road	6D050	State Park to P.M. 0.87 [End of County maintained]
Chemise Mountain Road	C4A030	Shelter Cove Road to P.M. 3.0
Dean Creek Road	6B198	State Hwy 101 to P.M. 0.48 [End of County maintained]
Eel Rock Road	7D010	All
Eighth Avenue	4N080	All
Ettersburg- Honeydew Road	F5A010	All
Fickle Hill Road	C5J040	PM 1.55 [end of centerline stripe] to P.M. 8.00
Fieldbrook Road	C4L760	All
Freshwater Road	F6F060	All
Friday Ridge Road	8L100	State Hwy 299 to PM 3.37[End of County maintained] then becomes USFS Road
Greenwood Heights Drive	C4K160	All
Grizzley Bluff Road	F2G100	All [City limits of Ferndale to Blue Slide Rd]
Jacoby Creek Road	C4K230	Old Arcata Road to P.M. 2.50
Jacoby Creek Road	4K230	From P.M. 2.5 to P.M. 2.69
Johnson Road	4G060	State Hwy 36 to P.M. 1.69 [End County maintained]
Kneeland Road	F6F060	Freshwater Road to Mountain View Road
Lighthouse Road	1D010	Mattole Road to State Park boundary
Maple Creek Road	5L100	All
Mattole Road	F3D010	All
Mattole Road	F3C010	All
McCann Road	6D090	Dyerville Loop Road to P.M. 1.0
McCellan Mtn Road	7F010	State Hwy 36 to P.M. 3.57[End of County maintained]
Mountain View Road	6H010	All
Murray Road	C3M020	All
Old Three Creeks Road	6L250	State Hwy 299 to P.M. 2.8 [End of County maintained]
Panther Gap Road	4D010	Mattole Road to P.M. 1.83[End of County maintained] continues as a non- County maintained road
Patterson Road	C3M130	All
Salmon Creek Road	6C030	Hwy 101 to P.M. 5.39 [Gate]
Shelter Cove Road	C4A010	All

Exhibit "D"

Road Evaluation Reports

"APPROVED LIST"		
List of County Maintained Roads that meet (or are equivalent to) Road Category 4 standards for Cannabis Projects		
Road Name	Road Number	Range meeting (or equivalent to) Road Category 4 standard
Sprowel Creek Road	C6B095	PM 0.0 to PM 2.11
Sprowel Creek Road	6B095	PM 2.11 to PM 4.00
Thomas Road	6C040	Salmon Creek Road to P.M. 4.03 [End of County maintained] continues as a non- County maintained rd
Titlow Hill Road	7K100	Hwy 299 to PM 4.7[End of County maintained] then becomes USFS Road
West End Road	5L010	PM 0.0 at Arcata City Limits to Warren Creek Road
Wilder Ridge Road	C5B010	All

List of County Maintained Roads that do not meet (or are not equivalent to) Road Category 4 standards for Cannabis Projects		
Road Name	Road Number	Range not meeting (or not equivalent to) Road Category 4 standard
Bark Shanty Road	9R105	All
Benbow Drive	6B180	Oakcrest Dr to end of County maintained
Brannon Mountain Road	7M100	Creekside Lane to PM 5.0 [End of County maintained] then becomes USFS Road
Burrell Road	3D030	P.M. 067 to P.M. 2.22 [End of County maintained]
Butte Creek Road	6H020	All
Chemise Mountain Road	C4A030	P.M. 3.0 to P.M. 4.09 [Mendocino County Line]
Essex Lane	C4L780	P.M. 0.2 to P.M. 0.9 [End of County maintained]
Fickle Hill Road	C5J040	P.M. 8.0 to P.M. 11.72
Kings Peak Road	C4A020	P.M. 1.0 to P.M 12.20
McCann Road	6D090	P.M.1.0 to P.M.2.6 [End of County maintained]
Mill Street	3G305	Country Club Estates to P.M. 0.49[End]
Old Eel Rock Road	7D025	All
River Bar Road	4G010	Hwy 36 to P.M. 1.76 [End of County maintained]
Salmon Creek Road	6C030	P.M. 5.39 to P.M. 5.88[End of County maintained]
Sprowel Creek Road	6B095	P.M 4.00 to PM 7.22 [End of County maintained]
Stapp Road	7H010	P.M 0.00 to 3.25[End of County maintained]
Warren Creek Road	5L740	P.M 0.0 to PM 0.95 [End of County maintained]
Williams Creek Road	2G045	All

// END //