



**COUNTY OF HUMBOLDT**  
**PLANNING AND BUILDING DEPARTMENT**  
**CURRENT PLANNING DIVISION**

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3015 H Street, Eureka CA 95501  
Phone: (707)445-7541 Fax: (707) 268-3792

Hearing Date: June 17, 2021

To: Humboldt County Zoning Administrator

From: Cliff Johnson, Supervising Planner

Subject: **Hog Trap Farms, LLC, Special Permit**  
Record Number: PLN-13356-SP  
Assessor's Parcel Number (APN): 218-081-003  
1131 Hogtrap Road, New Harris area

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Please contact Megan Marruffo, Assigned Planner, at 707-443-5054 or by email at [marruffom@lacoassociates.com](mailto:marruffom@lacoassociates.com), if you have any questions about the scheduled public hearing item.

## AGENDA ITEM TRANSMITTAL

Hearing Date	Subject	Contact
June 17, 2021	Special Permit	Megan Marruffo

**Project Description:** A Special Permit for an existing 10,000 square feet (SF) of outdoor cannabis cultivation that is cultivated using light deprivation techniques in four (4) greenhouses. No onsite propagation occurs. Irrigation water is sourced from a 2,000,000-gallon rainwater catchment pond. Existing available water storage is 2,008,500 gallons in three (3) HDPE water storage tanks and the rainwater catchment pond. Estimated annual water usage is 114,050 gallons. Drying and curing occurs onsite, and depending upon market conditions, processing may occur onsite using trim machines within the drying barn, off-site at a licensed facility, or sold directly for extraction. A maximum of four people will be on-site during peak operations. Power is provided by Pacific Gas and Electric Company (PG&E).

**Project Location:** The project is located in the New Harris area, on the north and south side of Hogtrap Road, on the intersection of Hogtrap Road and South Face Road, on the property known as 1131 Hogtrap Road, New Harris.

**Present Plan Land Use Designations:** Residential Agriculture (RA40) Density: forty acres per dwelling unit, Slope Stability: High instability (3).

**Present Zoning:** Forestry Recreation with Special Building Site Combining Zone (FR-B-5(40))

**Record Number:** PLN-13356-SP

**Assessor's Parcel Number:** 218-081-003

**Applicant**

Hog Trap Farms, LLC  
P.O. Box 417  
Arcata, CA 95542

**Owner**

Joseph Cipriano  
1271 Evergreen Road  
Redway, CA 95560

**Agents**

Bridget Carlson  
2142 Island Mountain Road  
Garberville, CA 95542

**Environmental Review:** An Addendum to a previously adopted Mitigated Negative Declaration has been prepared for consideration per §15164 of the State CEQA Guidelines.

**State Appeal Status:** Project is NOT appealable to the California Coastal Commission.

**Major Issues:** None.

**Hog Trap Farms, LLC**  
Record Number: PLN-13356-SP  
Assessor's Parcel Number: 218-081-003

**Recommended Zoning Administrator Action:**

1. Describe the application as part of the Consent Agenda.
2. Survey the audience for any person who would like to discuss the application.
3. If no one requests discussion, make the following motion to approve the application as a part of the consent agenda:

*Find that the Zoning Administrator has considered the Addendum to the adopted Mitigated Negative Declaration for the Commercial Medical Land Use Ordinance (CCMLUO) as described by Section §15164 of the State CEQA Guidelines, make all of the required findings for approval of the Special Permit and adopt the Resolution approving the Hog Trap Farms, LLC, project as recommended by staff subject to the recommended conditions.*

**Executive Summary:** Hog Trap Farms, LLC, seeks a Special Permit to allow the continued cultivation of 10,000 square feet (SF) of outdoor cannabis in accordance with Humboldt County Code Section 314-55.4 of Chapter 4 of Division I of Title III, Commercial Medical Marijuana Land Use Ordinance (CMMLUO). The site is designated as Residential Agriculture (RA40) in the Humboldt County 2017 General Plan Update and zoned Forestry Recreation with Special Building Site Combining Zone (FR-B-5(40)). Outdoor cultivation takes place in the central portion of the property within four (4) 24'x104' greenhouses (9,984 SF total) utilizing light deprivation techniques. Plants are grown within smart pots and garden beds. There is no onsite propagation. Three harvests are anticipated annually for the light deprivation greenhouses for a growing season that extends from April through October.

Drying and curing occurs onsite in the two-story drying barn (approximately 30'x60'). Depending upon market conditions, processing may occur onsite using trim machines within the drying barn, off-site at a licensed facility, or sold directly for extraction. The operation is conducted by LLC members and immediate family only; no additional employees are required. A maximum of four people will be on-site during peak operations. Power is provided by Pacific Gas and Electric Company (PG&E). The operation is secured behind a gated access, fenced cultivation areas, and utilizes motion sensor lighting and game cameras. Additionally, all items related to cultivation are secured in locked outbuildings.

**Timber Conversion**

Based on review of historic aerial imagery dating back to 2004, timber conversion has occurred onsite in order to accommodate the existing greenhouses, drying barn, and rainwater catchment pond. Per comments received from the California Department of Forestry and Fire Protection (CalFire), dated January 2021, it was noted that, based on airphoto review, that trees were removed in 2013 and that a CalFire harvest document should have been obtained prior to removing the trees. The project is conditioned to require the property be evaluated to determine the amount of timber conversion that occurred prior to and after the CMMLUO baseline date of January 1, 2016, and any measures determined to be necessary by the RPF to mitigate for the unauthorized timber conversion shall be implemented. The applicant/owner will be responsible for mitigating the environmental impacts not analyzed in the environmental document prepared for the CMMLUO. Additionally, the applicant/owner shall be required to re-stock an area onsite equivalent to the amount of area converted after the CMMLUO baseline date a rate of 3:1. The report shall include monitoring and reporting requiring a minimum of 3 years of monitoring at an 85% success rate and submission of annual monitoring reports at the time of the annual inspection.

**Water Resources**

Estimated annual water usage is 114,050 gallons (3.82 gal/SF) with peak demand occurring in August at approximately 24,000 gallons, as shown in the table below. Onsite cannabis is irrigated utilizing a timed, drip irrigation system in order to prevent any over-watering or runoff. Additionally, time of day watering and moisture-retentive soils are utilizing for water conservation.

Table 1. Monthly Water Use (in Gallons)

Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Oct	Nov	Dec
0	0	0	4450	11100	20000	22000	24000	22000	10500	0	0

Water for irrigation is provided by an approximately 2,000,000-gallon rainwater catchment pond. Existing available water storage is 2,008,500 gallons in three (3) HDPE water storage tanks and the rainwater catchment pond. One of the 3,000-gallon HDPE water tanks is dedicated to fire suppression. Water from the rainwater catchment pond is shared with the adjacent property (APN 218-071-003, same owner and applicant) for which a separate cannabis permit has been applied for (PLN-13336-CUP). Conditions of approval require the applicant to monitor water use from the water pond and storage tanks annually to demonstrate there is sufficient water available to meet operational needs.

Per review of the County's GIS and the Site Plan, no watercourses traverse the property, although several Streamside Management Areas (SMA) are located in close proximity to the site, with the nearest SMAs located approximately 57 feet south and 312 feet west of the property, respectively. A Site Management Plan (SMP) has been prepared for the site and two other adjacent properties (APNs 218-071-003 and -004), signed by the property owner in July 2020, which details how the best practical treatment or control (BPTC) measures listed in Attachment A of the Cannabis General Order are being implemented. Per the Cultivation and Operations Plan, received June 2020, the site access is well-maintained with adequate drainage to address runoff and erosion. Specifically, it is noted in the Cultivation and Operations Plan that the road network contains "frequent road drainage features that eliminate sediment delivery to surface waters" and "there are permanent rolling dips to ensure road surface erosion is adequately controlled." It is further noted that any exposed or disturbed areas of soils found during routine inspections are reseeded, mulched with straw, and monitored and maintained to promote revegetation. Erosion control measures, such as hay addles, straw bales, etc., are utilized on an as-needed basis prior to each rainy season to minimized sediment discharge in accordance with Water Board standards. Further, refuse, garbage, and pesticides and herbicides are stored in a location and manner (including secondary containment) to prevent discharge to receiving water and any leachate or contact water from entering or percolating to receiving waters. The project is conditioned to continue implementation of the measures detailed in the SMP to minimize any potential impacts associated with the project and minimize runoff into nearby SMAs.

### Biological Resources

Per review of the California Department of Fish and Wildlife's (CDFW) California Natural Diversity Database (CNDDDB) in April 2021, there are no mapped sensitive species onsite and the nearest positive sighting and NSO activity center is located approximately 0.7 miles from the site. Power to the site is provided by Pacific Gas and Electric Company (PG&E). There is no use of artificial lighting authorized by this permit. The conditions of approval require the applicant to refrain from using synthetic netting, ensure refuse is contained in wildlife proof storage and refrain from using anticoagulant rodenticides to further protect wildlife. As proposed and conditioned, the project is consistent with CMMLUO performance standards and CDFW guidance and will not negatively impact NSO or other sensitive species.

### Cultural Resources

A Cultural Resources Investigation was prepared by Archaeological Research and Supply Company in May 2018 and covers the subject property, in addition to 18 additional properties. The 19 total properties cover approximately 830 acres and, per the Report, approximately 410 acres of the Area of Potential Effect (APE) including a 600-foot buffer were surveyed. While three (3) prehistoric isolates were discovered during the survey, none were located on the subject property. Inadvertent discovery protocol is recommended, as it is noted there is always the possibility of inadvertent discovery of buried archaeological resources during ground disturbing activities. Enhanced inadvertent discovery protocol



is recommended for the parcels where the isolated flakes were identified, which does not include the subject site.

### **Access**

Access to the site is via a driveway off Hogtrap Road (a private road) via Island Mountain Road and Bell Springs Road, both approved by the Department of Public Works for use by commercial cannabis operations. A Road Evaluation Report for the 1.1-mile segment of Hog Trap Road was prepared by the property owner in July 2020 (Attachment 3) which indicates that the roadway meets a Category 4 road equivalent standard and is adequate for the proposed use. The submitted road evaluation included sufficient photographic evidence to verify the roadway condition as described, including roadway width and line of sight. As no additional employees will be required for the project, a significant increase in traffic on the access roads is not anticipated. Per referral comments received from the Department of Public Works, Land Use Division, dated January 2021, it is noted that the intersection of Island Mountain Road and Hogtrap Road was previously improved by a prior cannabis application and recommends the applicant contact the owner or road maintenance association if they did not participate in completing this requirement.

Additionally, due to the number of cultivation projects along Hop Trap Road, both approved and pending, conditions of approval require the applicant to take steps to form a Road Maintenance Association for the maintenance of Hog Trap Road. The necessary steps include sending notices to all road users of the requirement to form a Road Maintenance Association and conducting a meeting with the users of the road, especially those engaged in commercial cannabis activities to discuss formation of the Road Maintenance Association. The applicant shall provide evidence, including notice, meeting minutes, and the decision as to whether a Road Maintenance Association is being formed to show this effort. In the event the applicant is unable to coordinate formation a Road Maintenance Association, the applicant shall pay fair-share cost for maintenance of the road to any road user engaged in maintaining the road.

Environmental review for this project was conducted and based on the results of that analysis, staff finds that all aspects of the project have been considered in a previously adopted Mitigated Negative Declaration that was adopted for the Commercial Medical Marijuana Land Use Ordinance and has prepared an addendum to this document for consideration by the Zoning Administrator (See Attachment 2 for more information).

Staff recommends that the Zoning Administrator describe the application as a part of the consent agenda, survey the audience to see if any person would like to discuss the application and, if no one requests discussion, make all the required findings based on the evidence in the record and approve the application subject to the recommended conditions.

**Alternatives:** Several alternatives may be considered: 1) The Zoning Administrator could elect not to hear this item and put the decision making in front of the Planning Commission. Any decision to place this matter before the Planning Commission must be done before opening the public hearing on this project; 2) The Zoning Administrator could elect to add or delete conditions of approval; 3) The Zoning Administrator could deny approval of the requested permits if you are unable to make all of the required findings. Planning Division staff is confident that the required findings can be made based on the submitted evidence and subject to the recommended conditions of approval. Consequently, planning staff does not recommend further consideration of these alternatives.

**RESOLUTION OF THE PLANNING COMMISSION  
OF THE COUNTY OF HUMBOLDT  
Resolution Number 21-  
Record Number: PLN-13356-CUP  
Assessor's Parcel Number: 218-081-003**

**Resolution by the Planning Commission of the County of Humboldt certifying compliance with the California Environmental Quality Act and conditionally approves the Hog Trap Farms, LLC, Special Permit request.**

**WHEREAS, Hog Trap Farms, LLC,** submitted an application and evidence in support of approving a Special Permit for an existing 10,000 square feet (SF) of outdoor cannabis cultivation that is cultivated using light deprivation techniques in four (4) greenhouses. No onsite propagation occurs. Irrigation water is sourced from a 2,000,000-gallon rainwater catchment pond. Existing available water storage is 2,008,500 gallons in three (3) HDPE water storage tanks and the rainwater catchment pond. Estimated annual water usage is 114,050 gallons. Drying and curing occurs onsite, and depending upon market conditions, processing may occur onsite using trim machines within the drying barn, off-site at a licensed facility, or sold directly for extraction. A maximum of four people will be on-site during peak operations. Power is provided by Pacific Gas and Electric Company (PG&E).; and

**WHEREAS,** the County Planning Division, the lead agency, prepared an Addendum to the Final Mitigated Negative Declaration (MND) prepared for the Commercial Medical Land Use Ordinance (CMMLUO) adopted by the Humboldt County Board of Supervisors on January 26, 2016. The proposed project does not present substantial changes that would require major revisions to the previous Mitigated Negative Declaration. No new information of substantial importance that was not known and could not be known at the time was presented as described by §15162(c) of CEQA Guidelines; and

**WHEREAS,** the Humboldt County Zoning Administrator held a duly-noticed public hearing on June 3, 2021, and reviewed, considered, and discussed the application for a Conditional Use Permit and Special Permit, and reviewed and considered all evidence and testimony presented at the hearing.

**Now, THEREFORE BE IT RESOLVED,** that the Zoning Administrator makes all the following findings:

- 1. FINDING:**                      **Project Description:** The application is a Special Permit for an existing 10,000 square feet (SF) of outdoor cannabis cultivation that is cultivated using light deprivation techniques in four (4) greenhouses. No onsite propagation occurs. Irrigation water is sourced from a 2,000,000-gallon rainwater catchment pond. Existing available water storage is 2,008,500 gallons in three (3) HDPE water storage tanks and the rainwater catchment pond. Estimated annual water usage is 114,050 gallons. Drying and curing occurs onsite, and depending upon market conditions, processing may occur onsite using trim machines within the drying barn, off-site at a licensed facility, or sold directly for extraction. A maximum of four people will be on-site during peak operations. Power is provided by Pacific Gas and Electric Company (PG&E).

**EVIDENCE:**                      a) Project File: PLN-13356-SP

- 2. FINDING:**                      **CEQA.** The requirements of the California Environmental Quality Act have been complied with. The Humboldt County Planning Commission has considered the Addendum to and the Mitigated Negative Declaration (MND) prepared for the Commercial Medical Marijuana Land Use Ordinance (CMMLUO) adopted by the Humboldt County Board of Supervisors on January 26, 2016.

**EVIDENCE:**

- a) Addendum prepared for the proposed project.
- b) The proposed project does not present substantial changes that would require major revisions to the previous MND. No new information of substantial importance that was not known and could not be known at the time was presented as described by §15162(c) of CEQA Guidelines.
- c) A Site Management Plan was prepared by the applicant to show compliance with the State Water Board Cannabis General Order for Waste Discharge. The applicant is required to provide a copy of all documents filed with the State Water Resources Control Board, including, but not limited to, a Notice of Availability.
- d) California Department of Fish and Wildlife Resource Maps indicate no Special Status species are known to occur within the project area. A review of the California Natural Diversity Database (CNDDB) Spotted Owl Observation Database showed that Northern Spotted Owl habitat exists in the vicinity and the nearest positive sighting and activity center is approximately 0.7 miles from the site. There is no use of artificial lighting authorized by this permit. Conditions of approval will require noise to be at below 50 decibels at 100 feet which is below the guidance established by the California Department of Fish and Wildlife for protection of the species.
- e) Based on review of historic aerial imagery dating back to 2004, timber conversion has occurred onsite in order to accommodate the existing greenhouses, drying barn, and rainwater catchment pond. Per comments received from the California Department of Forestry and Fire Protection (CalFire), dated January 2021, it was noted that, based on airphoto review, that trees were removed in 2013 and that a CalFire harvest document should have been obtained prior to removing the trees. As a result, the project is conditioned to require the property be evaluated to determine the amount of timber conversion that occurred prior to the CMMLUO baseline date of January 1, 2016, if any, and any measures determined to be necessary by the RPF to mitigate for the unauthorized timber conversion shall be implemented. The applicant/owner will be responsible for mitigating the environmental impacts not analyzed in the environmental document prepared for the CMMLUO. To address comments received from CalFire, the applicant/owner is required to obtain a Timber Conversion Report from a RPF and/or a Less Than Three Acre Conversion Exemption or Timber Conversion Permit from CalFire, as determined necessary by the RPF, to address previously unpermitted timber conversion. Additionally, the applicant/owner shall be required to re-stock an area onsite equivalent to the amount of area converted after the CMMLUO baseline date. Further the project is conditioned to require preparation of a Restocking Plan within 90 days of project approval and implement the Restocking Plan within a period of two (2) years, should any timber conversion be determined to have occurred after the CMMLUO baseline date. The Restocking Plan, as described in the recommended conditions of approval, shall include details on the locations and total areas to be restocked, the type, number, and spacing of the plantings, and a monitoring plan for three (3) years which includes performance evaluations, performance standards, and contingency measures should performance standards not be met.
- f) A Cultural Resources Investigation was prepared by Archaeological Research and Supply Company in May 2018 and covers the subject property, in addition to 18 additional properties. The 19 total properties

cover approximately 830 acres and, per the Report, approximately 410 acres of the Area of Potential Effect (APE) including a 600-foot buffer were surveyed. While three (3) prehistoric isolates were discovered during the survey, none were located on the subject property. Inadvertent discovery protocol is recommended and is included as an ongoing condition of approval.

- g) A Road Evaluation Report was prepared for the 1.1-mile segment of Hog Trap Road by the property owner in July 2020 which identified that the road is suitable for safe access to and from the project site and meets a Category 4 road equivalent standard. The submitted road evaluation included sufficient photographic evidence to verify the roadway condition as described, including roadway width and line of sight. As no additional employees will be required for the project, a significant increase in traffic is not anticipated. Conditions of approval require the applicant to obtain and encroachment permit from the Department of Public Works and improve the intersection of Hog Trap Road with Island Mountain Road. Conditions of approval also require the applicant to take steps to form a Road Maintenance Association for the maintenance of Hog Trap Road.

#### **FINDINGS FOR SPECIAL PERMIT**

- 3. FINDING** The proposed development is in conformance with the County General Plan, Open Space Plan, and the Open Space Action Program.

- EVIDENCE**
  - a) General agriculture is a use type permitted in the Residential Agriculture (RA) land use designation. The proposed cannabis cultivation, an agricultural product, is within land planned and zoned for agricultural purposes, consistent with the use of Open Space land for managed production of resources. The use of an agricultural parcel for commercial agriculture is consistent with the Open Space Plan and Open Space Action Program. Therefore, the project is consistent with and complimentary to the Open Space Plan and its Open Space Action Program.

- 4. FINDING** The proposed development is consistent with the purposes of the existing FR zone in which the site is located.

- EVIDENCE**
  - a) The Forestry Recreation or FR Zone is intended to be applied to forested areas of the County in which timber production and recreation are the desirable predominant uses and agriculture is the secondary use, and in which protection of the timber and recreational lands is essential to the general welfare.
  - b) All general agricultural uses are principally permitted in the FR zone.
  - c) Humboldt County Code section 314-55.4.8.2.2 allows cultivation of up to 43,560 square feet of existing outdoor cannabis and up to 22,000 square feet of existing mixed-light cannabis on a parcel over 1 acre subject to approval of a Conditional Use Permit and a determination that the cultivation was in existence prior to January 1, 2016. The application for 10,000 square feet of cultivation on a 40-acre parcel is consistent with this and with the cultivation area verification prepared by the County.

- 5. FINDING** The proposed development is consistent with the requirements of the CMMLUO Provisions of the Zoning Ordinance.

- EVIDENCE**
  - a) The CMMLUO allows existing cannabis cultivation to be permitted in areas zoned FR (HCC 314-55.4.8.2.2).

- b) The parcel was created in compliance with all applicable state and local subdivision regulations, as it was created by an approved and recorded Parcel Map Subdivision (Parcel 114 of Parcel Map Book 1 Pages 75 through 85).
- c) Water for irrigation is provided by an approximately 2,000,000-gallon rainwater catchment pond. Water from the rainwater catchment pond is shared with the adjacent property (APN 218-071-003, same owner and applicant) for which a separate cannabis permit has been applied for (PLN-13336-CUP). Irrigation utilizes a timed, drip irrigation system in order to prevent any over-watering or runoff. Additionally, time of day watering and moisture-retentive soils are utilizing for water conservation. Conditions of approval require the applicant to monitor water use from the water pond and storage tanks annually to demonstrate there is sufficient water available to meet operational needs.
- d) A Road Evaluation Report was completed by the property owner in July 2020. The Evaluation addressed a 1.1-mile segment of Hogtrap Road to Island Mountain Road, which is a County-maintained road and approved for use by commercial cannabis operations by the Department of Public Works. All road segments evaluated were found to be functionally appropriate for the expected traffic.
- e) The slope of the land where cannabis will be cultivated is less than 15%.
- f) Based on review of historic aerial imagery dating back to 2004, timber conversion has occurred onsite in order to accommodate the existing greenhouses, drying barn, and rainwater catchment pond. Per comments received from the California Department of Forestry and Fire Protection (CalFire), dated January 2021, it was noted that, based on airphoto review, that trees were removed in 2013 and that a CalFire harvest document should have been obtained prior to removing the trees. As a result, the project is conditioned to require the property be evaluated to determine the amount of timber conversion that occurred prior to the CMMLUO baseline date of January 1, 2016, if any, and any measures determined to be necessary by the RPF to mitigate for the unauthorized timber conversion shall be implemented. The applicant/owner will be responsible for mitigating the environmental impacts not analyzed in the environmental document prepared for the CMMLUO. To address comments received from CalFire, the applicant/owner is required to obtain a Timber Conversion Report from a RPF and/or a Less Than Three Acre Conversion Exemption or Timber Conversion Permit from CalFire, as determined necessary by the RPF, to address previously unpermitted timber conversion. Additionally, the applicant/owner shall be required to re-stock an area onsite equivalent to the amount of area converted after the CMMLUO baseline date. Further the project is conditioned to require preparation of a Restocking Plan within 90 days of project approval and implement the Restocking Plan within a period of two (2) years, should any timber conversion be determined to have occurred after the CMMLUO baseline date. The Restocking Plan, as described in the recommended conditions of approval, shall include details on the locations and total areas to be restocked, the type, number, and spacing of the plantings, and a monitoring plan for three (3) years which includes performance evaluations, performance standards, and contingency measures should performance standards not be met.
- g) The location of the cultivation complies with all setbacks required in Section

314-55.4.11.d. It is more than 30 from any property line, more than 300 feet from any off-site residence, more than 600 feet from any school, church, public park or Tribal Cultural Resource.

**6. FINDING**

The cultivation of 10,000 square feet of cannabis cultivation and the conditions under which it may be operated or maintained will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity.

**EVIDENCE**

- a) The site is located on road that has been certified to safely accommodate the amount of traffic generated by the proposed cannabis cultivation.
- b) The site is in a rural part of the County where the typical parcel size is over 40 acres and many of the land holdings are very large. The proposed cannabis will not be in a location where there is an established neighborhood or other sensitive receptor such as a school, church, park or other use which may be sensitive to cannabis cultivation. Approving cultivation on this site and the other sites which have been approved or are in the application process will not change the character of the area due to the large parcel sized in the area.
- c) The location of the proposed cannabis cultivation is more than 300 feet from the nearest off-site residence.
- d) Irrigation water will come from a rainwater catchment pond.
- e) Provisions have been made in the applicant's proposal to protect water quality and thus runoff to adjacent property and infiltration of water to groundwater resources will not be affected.

**7. FINDING**

The proposed development does not reduce the residential density for any parcel below that utilized by the Department of Housing and Community Development in determining compliance with housing element law.

**EVIDENCE**

- a) The parcel was included in the housing inventory of Humboldt County's 2019 Housing Element and was found to have the potential to support one housing unit. The approval of cannabis cultivation on this parcel will not conflict with the ability for a residence to be constructed on this parcel.



## DECISION

**NOW, THEREFORE,** based on the above findings and evidence, the Humboldt County Zoning Administrator does hereby:

- Adopt the findings set forth in this resolution; and
- Conditionally approves the Special Permit for Hog Trap Farms, LLC, based upon the Findings and Evidence and subject to the conditions of approval attached hereto as Attachment 1 and incorporated herein by reference; and

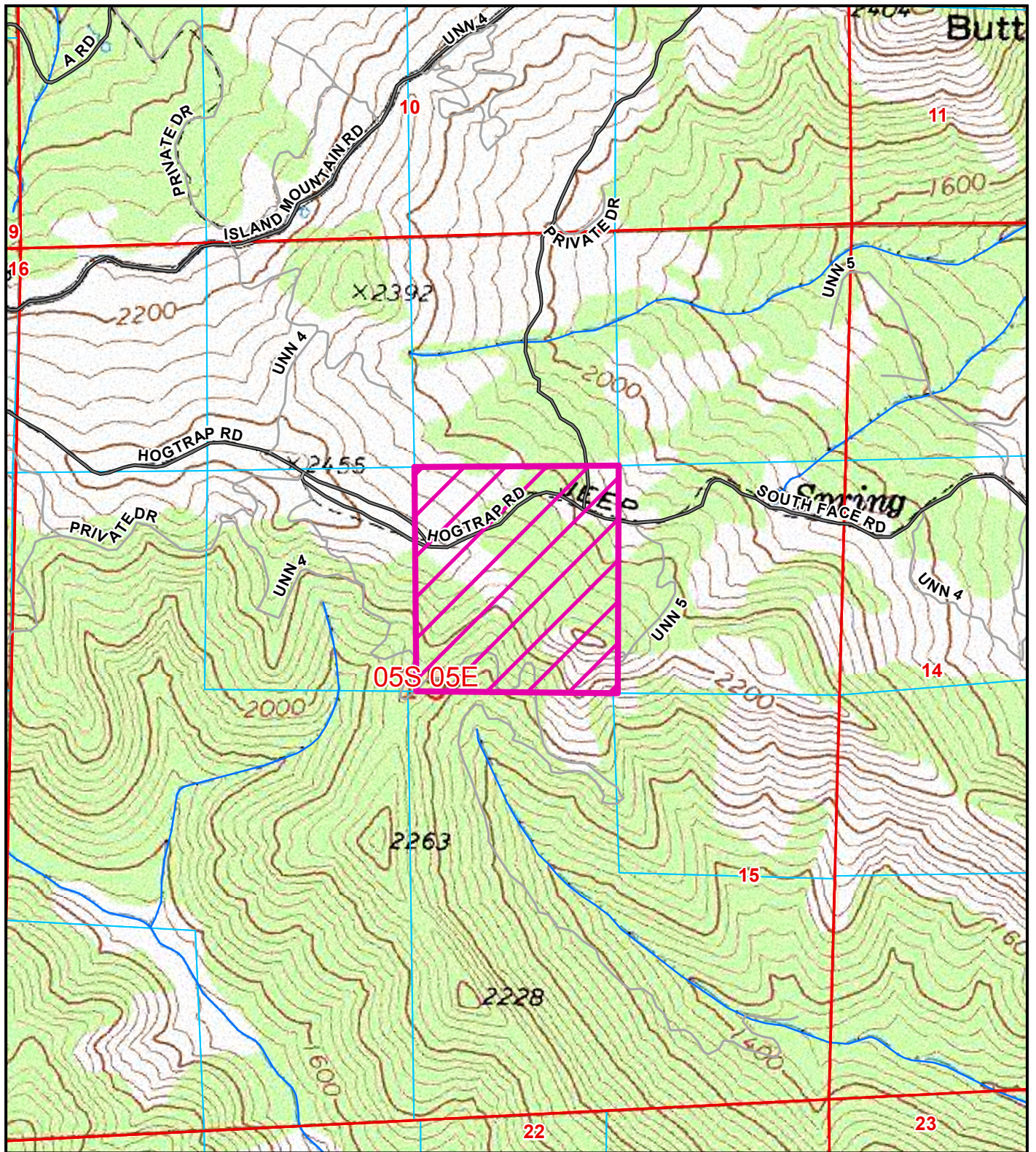
Adopted after review and consideration of all the evidence on June 3, 2021.

I, John Ford, Zoning Administrator of the County of Humboldt, do hereby certify the foregoing to be a true and correct record of the action taken on the above entitled matter by said Zoning Administrator at a meeting held on the date noted above.

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John H. Ford, Zoning Administrator,  
Planning and Building Department





Project Area = 

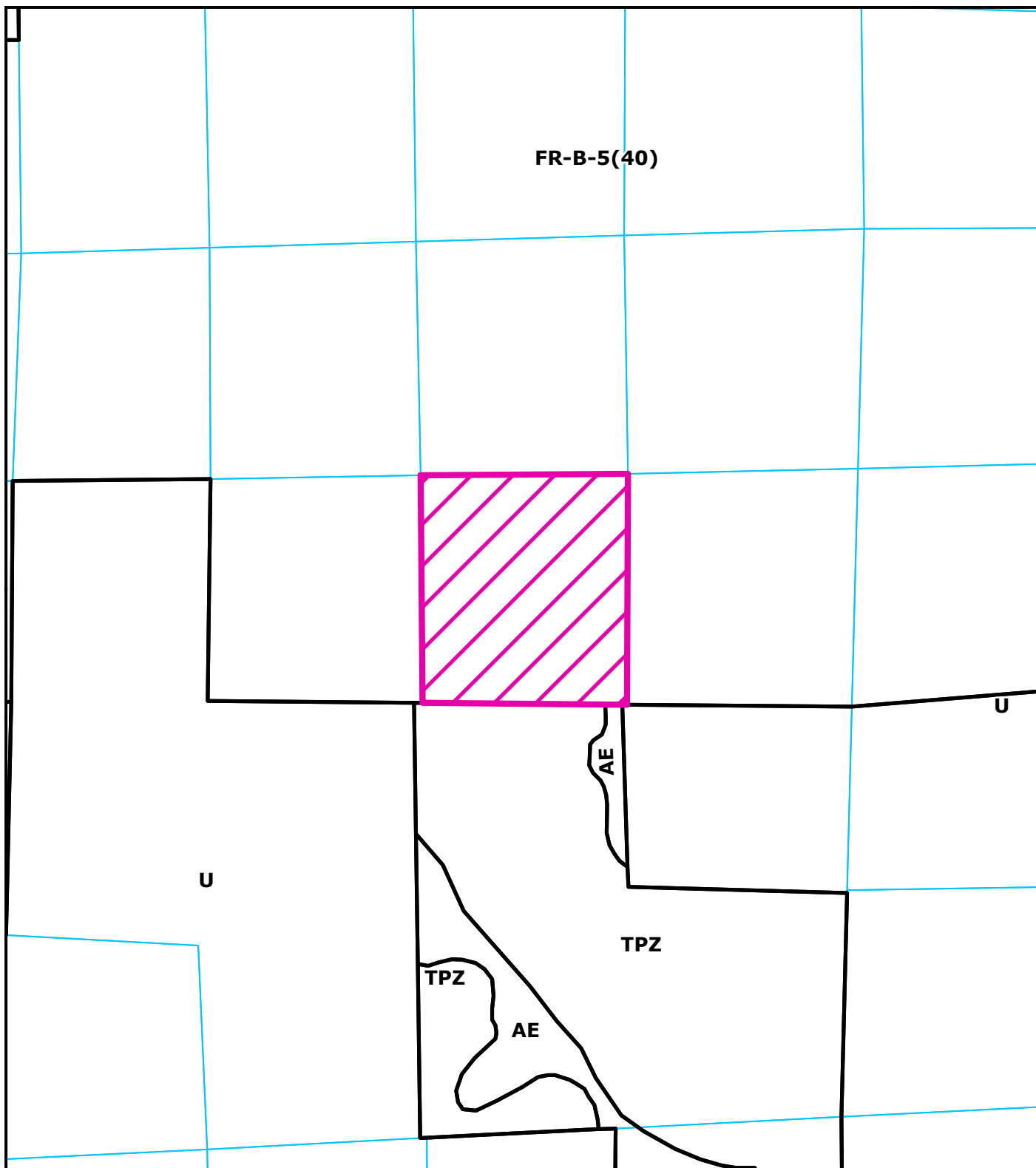
**TOPO MAP**  
**PROPOSED JOSEPH CIPRIANO**  
**NEW HARRIS AREA**  
**CUP-16-1123**  
**APN: 218-081-003-000**  
**T05S R05E S15 HB&M (JEWETT ROCK)**

This map is intended for display purposes and should not be used for precise measurement or navigation. Data has not been completely checked for accuracy.

0 1,000 2,000 Feet



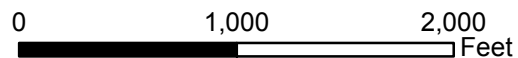




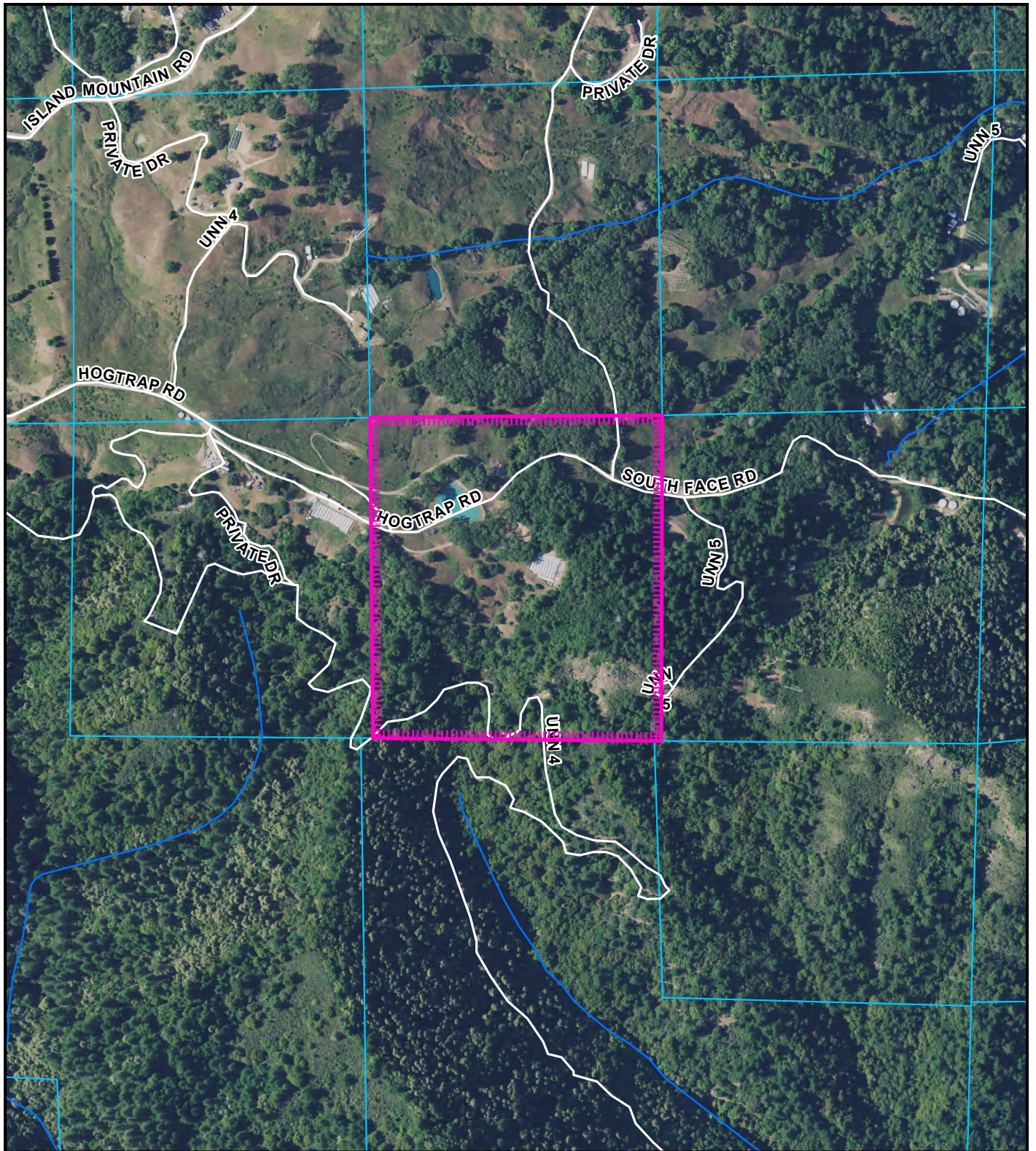
Project Area = 

**ZONING MAP**  
**PROPOSED JOSEPH CIPRIANO**  
**NEW HARRIS AREA**  
**CUP-16-1123**  
**APN: 218-081-003-000**  
**T05S R05E S15 HB&M (JEWETT ROCK)**

This map is intended for display purposes and should not be used for precise measurement or navigation. Data has not been completely checked for accuracy.







Project Area = 

**AERIAL MAP  
PROPOSED JOSEPH CIPRIANO  
NEW HARRIS AREA  
CUP-16-1123  
APN: 218-081-003-000  
T05S R05E S15 HB&M (JEWETT ROCK)**

This map is intended for display purposes and should not be used for precise measurement or navigation. Data has not been completely checked for accuracy.

0 750 1,500 Feet





**FROM EUREKA, CA**

**FROM EUREKA, CA**

**(APPROX. 67 MILES)**

**-TAKE EXIT 639B REDWAY**

**-TAKE RIGHT ONTO REDWOOD DRIVE (0.2 MILES)**

**-TURN RIGHT ONTO ALDER POINT ROAD (8 MI)**

**-KEEP RIGHT ONTO BELL SPRINGS ROAD (8 MILES)**

**-KEEP LEFT TO CONTINUE ON ISLAND MOUNTAIN ROAD (0.9 MILES)  
-KEEP RIGHT AND CONTINUE ONTO HOG TRAP ROAD (~0.55 MILES TO**

**-KEEP RIGHT AND CONTINUE ONTO HOG TRAP ROAD (~0.55 MILES TO GATE ON RIGHT)**

**CONDITIONAL USE PERMIT APPS# 13336,13356**

PERMIT EXISTING CANNABIS CULTIVATION ACTIVITIES IN ACCORDANCE WITH THE COUNTY OF HUMBOLDT (COUNTY) COMMERCIAL CANNABIS LAND USE ORDINANCE (CCLOU). THE EXISTING OPERATION INCLUDES 10,000 SQUARE FEET OF OUTDOOR LIGHT DEPRIVATION CULTIVATION ON APN 218-081-003 AND 33,634 SF OF CULTIVATION (12,000 SF MIXED LIGHT, 21,634 SF OUTDOOR) ON APN 218-071-003.

IRRIGATION WATER SOURCE IS RAINWATER CATCHMENT.  
DRYING OCCURS WITHIN A 30'X60' BARN ON APN 218-081-003

22x34 SHEET: 1"=20'  
11x17 SHEET: 1"=40'



DATE	DESCRIPTION	BY	CHKD BY
2-19-20	PLOT PLAN REVISIONS		

<b>HOG TRAP FARMS LLC</b>
<b>APN 218-071-003, 218-081-003</b>
<b>PLOT PLAN, VICINITY MAP AND PROJECT NOTES</b>



## ATTACHMENT 1

### RECOMMENDED CONDITIONS OF APPROVAL

**APPROVAL OF THE CONDITIONAL USE PERMIT IS CONDITIONED ON THE FOLLOWING TERMS AND REQUIREMENTS WHICH MUST BE SATISFIED BEFORE THE PROVISIONAL CANNABIS CULTIVATION PERMIT CAN BE FINALIZED.**

#### **A. General Conditions**

1. The applicant is responsible for obtaining all necessary County and State permits and licenses, and for meeting all requirements set forth by other regulatory agencies.
2. The applicant is required to pay for permit processing on a time and material basis as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of Supervisors. The Planning and Building Department will provide a bill to the applicant after the decision. Any and all outstanding planning fees to cover the processing of the application to decision by the Hearing Officer shall be paid to the Humboldt County Planning Division, 3015 "H" Street, Eureka.
3. The applicant is responsible for costs for post-approval review for determining project conformance with conditions. A deposit is collected to cover this staff review. Permit conformance with conditions must be demonstrated prior to release of building permit or initiation of use and at time of annual inspection. A conformance review deposit as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of Supervisors (currently \$750) shall be paid within sixty (60) days of the effective date of the permit or upon filing of the Compliance Agreement (where applicable), whichever occurs first. Payment shall be made to the Humboldt County Planning Division, 3015 "H" Street, Eureka.
4. A Notice of Determination (NOD) will be prepared and filed with the County Clerk for this project in accordance with the State CEQA Guidelines. **Within three days of the effective date of permit approval**, it is requested that the applicant submit a check or money order for the required filing fee in the amount of \$50 payable to the Humboldt County Clerk/Recorder. If this payment is not received within this time period, the Department will file the NOD and will charge this cost to the project.
5. Within 60 days of the effective date of permit approval, the applicant shall execute a Compliance Agreement with the Humboldt County Planning and Building Department detailing all necessary permits and infrastructure improvements described under Conditions of Approval #6 through #13. The agreement shall provide a timeline for completing all outstanding items. All activities detailed under the agreement must be completed to the satisfaction of the Planning and Building Department before the permit may be finalized and no longer considered provisional.
6. The applicant shall secure building permits for all structures and grading related to the cannabis cultivation and other commercial cannabis activity, including but not limited to, greenhouses, water tanks over 5,000 gallons, structures associated with drying, storage, processing, or any activity with a nexus to cannabis, graded flats, rainwater catchment pond and any noise containment structures as necessary. The plans submitted for building permit approval shall be consistent with the project description and the approved project site plan. A letter or similar communication from the Building Division verifying that all structures related to the cannabis cultivation are permitted will satisfy this condition.
7. The subject property shall be evaluated by a Professional Registered Forester (RPF) to determine the amount of timber conversion that occurred onsite after the CMMLUO baseline date of January 1, 2016. Any measures determined to be necessary by the RPF to mitigate for the unauthorized timber conversion shall be implemented. The applicant/owner is required to obtain a Timber Conversion



Report from a RPF and/or or a Less-Than-Three-Acre Conversion Exemption or Timber Conversion Permit from CalFire, as determined necessary by the RPF. Additionally, the applicant/owner is required to re-stock an area onsite equivalent to the amount of area converted after the CMMLUO baseline date. A Restocking Plan shall be prepared within 90 days of project approval and the Restocking Plan shall be implemented within a period of two (2) years, , should any timber conversion be determined to have occurred after the CMMLUO baseline date. The Restocking Plan shall include details on the locations and total areas to be restocked, the type, number, and spacing of the plantings, and a monitoring plan for three (3) years which includes performance evaluations, performance standards, and contingency measures should performance standards not be met. A monitoring report prepared by a licensed professional forester shall be submitted annually to the Planning and Building Department until the restocking is complete as indicated by the monitoring report. A sign-off from the Planning Department will satisfy this condition.

8. The applicant shall secure permits and install an on-site sewage disposal systems and restroom facilities prior to processing on-site. Portable toilet and handwashing facilities may not be utilized during the construction of these improvements. The applicant shall furnish receipts or other documentation to the DEH for the continual use of portable toilets for employees until a permanent septic system is installed to their satisfaction. A letter or similar communication from DEH verifying that all their requirements have been met will satisfy this condition.
9. The applicant shall improve the intersection of Hog Trap Road and Island Mountain Road as follows:
  - a. If the County road has a paved surface at the location of the access road, the access road shall be paved for a minimum width of 20 feet and a length of 50 feet where it intersects the County road; OR
  - b. If the County road has a gravel surface at the location of the access road, the access road shall be rocked for a minimum width of 20 feet and a length of 50 feet where it intersects the County road. The applicant shall obtain an encroachment permit from the Department of Public Works prior to commencing any work.

This condition shall be completed to the satisfaction of the Department of Public Works prior to commencing operations, final sign-off for a building permit, or Public Works approval for a business license. A letter or similar communication from the Department of Public Works will satisfy this condition.

10. Within 1 year from the effective date, the applicant shall take steps to form a Road Maintenance Association for the maintenance of Hog Trap Road. The necessary steps include sending notices to all road users of the requirement to form a Road Maintenance Association and conducting a meeting with the users of the road, especially those engaged in commercial cannabis activities to discuss formation of the Road Maintenance Association. The applicant shall provide evidence, including notice, meeting minutes, and the decision as to whether a Road Maintenance Association is being formed to show this effort. In the event the applicant is unable to coordinate formation a Road Maintenance Association, the applicant shall pay fair-share cost for maintenance of the road to any road user engaged in maintaining the road. A sign-off from the Planning Department will satisfy this condition.
11. The applicant shall notify the California Department of Fish and Wildlife (CDFW) for all projects within CDFW jurisdiction related to the development of the cannabis cultivation sites, including, but not limited to off-stream pond improvements and repair and/or maintenance of culverts and stream crossings. The applicant shall submit a copy of the Final Streambed Alteration Agreement to the Planning Department within 10 business days of issuance. The applicant shall adhere to and implement the Final Streambed Alteration Agreement issued by CDFW. Reporting requirements shall be submitted to the Planning Department and the California Department of Fish and Wildlife at 619 Second Street, Eureka, CA 95501, no later than December 31 of each year.

12. The applicant shall adhere to and implement the Final Streambed Alteration Agreement issued by CDFW. Reporting requirements shall be submitted to the Planning Department and the California Department of Fish and Wildlife at 619 Second Street, Eureka, CA 95501, no later than December 31 of each year.
13. The applicant shall submit copies of all documents filed with the State Water Resources Control Board, including, but not limited to, a Notice of Availability. The applicant is required to adhere to and implement the requirements contained in the SWRCB's Cannabis Cultivation Policy, the General Order, the Site Management Plan, and the Notice of Applicability. A copy of the reporting form portion of the Mitigation and Reporting Program (MRP) shall be submitted annually to the Planning and Building Department concurrent with the submittal to the SWRCB.
14. The applicant shall install exit ramps to the off-stream pond to prevent wildlife entrapment. Exit ramps shall be installed no grater that 2:1 slope, secured at the upslope end, and made of solid material (e.g., wood).
15. The applicant shall ensure the off-stream pond holds no more than the necessary volume of water needed for the project, with consideration to evaporative loss. The volume of water contained within the pond should be based on the square footage and method of cultivation in use prior to January 1, 2016.
16. The applicant shall install an overflow spillway to the off-stream pond that will withstand a 100-year flood event, designed with a dispersal mechanism, or low-impact design, that discourages channelization and promotes dispersal and infiltration of flows to prevent surface overflow from reaching waters of the State.
17. The applicant shall construct noise containment structures for all generators used on the parcel. The applicant shall obtain all required building permits for such structures. The applicant shall maintain generator, fan, and dehumidifier noise at or below 50 decibels at the edge of the clearing or 100 feet, whichever distance is closer. This will satisfy the auditory disturbance guidance prepared by the U.S. Fish and Wildlife (USFS), California Fish and Wildlife (CDFW) and Department Policy Statement No. 16-005 to minimize impacts to the Northern Spotted Owl and Marbled murrelet. All generators must be located on stable surfaces with a minimum 200-foot buffer from Class I and Class II streams, per the requirements of CDFW. No generator use is authorized by this permit until the applicant can demonstrate to compliance with this standard.
18. The applicant shall not use any erosion control measures that contain synthetic (e.g. plastic or nylon) monofilament netting, including photo- or biodegradable plastic netting, on a regular and on-going basis. Geotextiles, fiber rolls, and other erosion control measures shall be made of loose-weave mesh, such as jute, hemp, coconut (coir) fiber, or other products without weaves.
19. All refuse shall be contained in wildlife proof containers, at all times, and relocated to an authorized waste management facility, in compliance with State and local laws, on a regular and on-going basis.
20. The applicant shall install and utilize a water meter to demonstrate that there is sufficient water supply to meet the demands of the project. The water use for cultivation is limited to the use of the well and amount of water available in storage tanks and shall be provided annually prior to or during the annual inspection.
21. The applicant shall cause to be recorded an "ACKNOWLEDGMENT OF NO AVAILABLE EMERGENCY RESPONSE AND FIRE SUPPRESSION SERVICES" for the parcel(s) on a form provided by the Humboldt County Planning Division. Document review fees as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of Supervisors will be required.

22. The applicant shall be compliant with the County of Humboldt's Certified Unified Program Agency (CUPA) requirements regarding hazardous materials. A written verification of compliance shall be required before any provisional permits may be finalized. Ongoing proof of compliance with this condition shall be required at each annual inspection in order to keep the permit valid.
23. The applicant shall execute and file with the Planning Division the statement titled, "Notice and Acknowledgment regarding Agricultural Activities in Humboldt County," ("Right to Farm" ordinance) as required by the HCC and available at the Planning Division.

**B. Ongoing Requirements/Development Restrictions Which Must be Satisfied for the Life of the Project:**

24. The combination of background, generator and greenhouse fan or other operational equipment created noise must not result in the harassment of Northern Spotted Owl species as required to meet the performance standards for noise set by Department Policy Statement No. 16-005 clarifying CMMLUO Section 55.4.11 (o) requirements. The combined noise levels measured at 100 feet or the edge of habitat, whichever is closer, shall be at or below 50 decibels. Conformance will be evaluated using current auditory disturbance guidance prepared by the United State Fish and Wildlife Service, and further consultation where necessary. A building permit shall be obtained should any structures be necessary for noise attenuation.
25. All artificial lighting shall be fully contained within structures such that no light escapes (e.g., through blackout curtains). Structures shall be enclosed between 30 minutes prior to sunset and 30 minutes after sunrise to prevent disruption to crepuscular wildlife. Security lighting shall be motion activated and comply with the International Dark-Sky Association standards and Fixture Seal of Approval Program; see: <https://www.darksky.org/our-work/lighting/lighting-for-citizens/lighting-basics/>. Standards include but are not limited to the following, 1) light shall be shielded and downward facing, 2) shall consist of Low Pressure Sodium (LPS) light or low spectrum Light Emitting Diodes (LED) with a color temperature of 3000 kelvins or less and 3) only placed where needed.
26. Should the Humboldt County Planning Division receive complaints that the lighting or noise is not complying with the standards listed above in items B.1. and B.2., within ten (10) working days of receiving written notification that a complaint has been filed, the applicant shall submit written verification that the lights' shielding and alignment, and noise levels have been repaired, inspected, and corrected as necessary.
27. Prohibition on use of synthetic netting. To minimize the risk of wildlife entrapment, Permittee shall not use any erosion control and/or cultivation materials that contain synthetic (e.g., plastic or nylon) netting, including photo- or biodegradable plastic netting. Geotextiles, fiber rolls, and other erosion control measures shall be made of loose-weave mesh, such as jute, hemp, coconut (coir) fiber, or other products without welded weaves.
28. All refuse shall be contained in wildlife proof storage containers, at all times, and disposed of at an authorized waste management facility.
29. Should any wildlife be encountered during work activities, the wildlife shall not be disturbed and be allowed to leave the work site unharmed.
30. The use of anticoagulant rodenticide is prohibited.
31. The operator shall provide information to all employees about the potential health impacts of cannabis use on children. Information shall be provided by posting the brochures from the Department of Health and Human Services titled "Cannabis Palm Card" and "Cannabis Rack

Card." This information shall also be provided to all employees as part of the employee orientation.

32. All components of project shall be developed, operated, and maintained in conformance with the Project Description, the approved Site Plan, the Plan of Operations, and these conditions of approval. Changes shall require modification of this permit except where consistent with Humboldt County Code Section 312-11.1, Minor Deviations to Approved Plot Plan. If offsite processing is chosen to be the preferred method of processing, this permit shall be modified to identify the offsite licensed facility.
33. Cannabis cultivation and other commercial cannabis activity shall be conducted in compliance with all laws and regulations as set forth in the CMMLUO and MAUCRSA, as applicable to the permit type.
34. If operating pursuant to a written approved compliance agreement, permittee shall abate or cure violations at the earliest feasible date, but in no event no more than two (2) years from the date of issuance of a provisional clearance or permit. Permittee shall provide plans for curing such violations to the Planning and Building Department within one (1) year of issuance of the provisional clearance or permit. If good faith effort toward compliance can be shown within the two years following the issuance of the provisional clearance or permit, the Department may, at the discretion of the Director, provide for extensions of the provisional permit to allow additional time to meet the outstanding requirements.
35. Possession of a current, valid required license, or licenses, issued by any agency of the State of California in accordance with the MAUCRSA, and regulations promulgated thereunder, as soon as such licenses become available.
36. Compliance with all statutes, regulations, and requirements of the California State Water Resources Control Board and the Division of Water Rights, at a minimum to include a statement of diversion of surface water from a stream, river, underground stream, or other watercourse required by Water Code Section 5101, or other applicable permit, license, or registration, as applicable.
37. Confinement of the area of cannabis cultivation, processing, manufacture, or distribution to the locations depicted on the approved site plan. The commercial cannabis activity shall be set back at least 30 feet from any property line, and 600 feet from any school, school bus stop, church or other place of religious worship, or tribal cultural resources, except where a reduction to this setback has been approved pursuant to Section 55.4.11(d).
38. Maintain enrollment in Tier 1, 2, or 3, certification with North Coast Regional Water Quality Control Board (RWQCB) Order No. R1-2015-0023, if applicable, or any substantially equivalent rule that may be subsequently adopted by the County of Humboldt or other responsible agency.
39. Comply with the terms of the Final Lake and Streambed Alteration Agreement (EPIMS-HUM-09230-R1), as well as any subsequent amendments, obtained from the California Department of Fish and Wildlife (CDFW).
40. Comply with the terms of a less-than-3-acre conversion exemption or timberland conversion permit, approved by the California Department of Forestry and Fire Protection (Cal Fire), if applicable.
41. Consent to an annual on-site compliance inspection, with at least 24 hours prior notice, to be conducted by appropriate County officials during regular business hours (Monday through Friday, 9:00 a.m. to 5:00 p.m., excluding holidays).

42. Refrain from the improper storage or use of any fuels, fertilizer, pesticide, fungicide, rodenticide, or herbicide.
43. Pay all applicable application, review for conformance with conditions and annual inspection fees.
44. Fuel shall be stored and handled in compliance with applicable state and local laws and regulations, including the County of Humboldt's Certified Unified Program Agency (CUPA) program, and in such a way that no spillage occurs.
45. The master log books maintained by the applicant to track production and sales shall be maintained for inspection by the County.
46. Pay all applicable taxes as required by the Humboldt County Commercial Marijuana Cultivation Tax Ordinance (Humboldt County Code Section 719-1 et seq.).

#### Performance Standards for Cultivation and Processing Operations

47. Pursuant to the MCRSA, Health and Safety Code Section 19322(a)(9), an applicant seeking a cultivation license shall "provide a statement declaring the applicant is an 'agricultural employer,' as defined in the Alatorre-Zenovich-Dunlap-Berman Agricultural Labor Relations Act of 1975 (Part 3.5 commencing with Section 1140) of Division 2 of the Labor Code), to the extent not prohibited by law."
48. Cultivators shall comply with all applicable federal, state, and local laws and regulations governing California Agricultural Employers, which may include federal and state wage and hour laws, Cal/OSHA, OSHA, the California Agricultural Labor Relations Act, and the Humboldt County Code (including the Building Code).
49. Cultivators engaged in processing shall comply with the following Processing Practices:
  - a. Processing operations must be maintained in a clean and sanitary condition including all work surfaces and equipment.
  - b. Processing operations must implement protocols which prevent processing contamination and mold and mildew growth on cannabis.
  - c. Employees handling cannabis in processing operations must have access to facemasks and gloves in good operable condition as applicable to their job function.
  - d. Employees must wash hands sufficiently when handling cannabis or use gloves.
50. All persons hiring employees to engage in commercial cannabis cultivation and processing shall comply with the following Employee Safety Practices:
  - a. Cultivation operations and processing operations must implement safety protocols and provide all employees with adequate safety training relevant to their specific job functions, which may include:
    - (1) Emergency action response planning as necessary;
    - (2) Employee accident reporting and investigation policies;
    - (3) Fire prevention;
    - (4) Hazard communication policies, including maintenance of material safety data sheets (MSDS);
    - (5) Materials handling policies;
    - (6) Job hazard analyses; and
    - (7) Personal protective equipment policies, including respiratory protection.
  - b. Cultivation operations and processing operations must visibly post and maintain an emergency contact list which includes at a minimum:
    - (1) Operation manager contacts;

- (2) Emergency responder contacts; and
  - (3) Poison control contacts.
  - c. At all times, employees shall have access to safe drinking water and toilets and handwashing facilities that comply with applicable federal, state, and local laws and regulations. Plumbing facilities and water source must be capable of handling increased usage without adverse consequences to neighboring properties or the environment.
  - d. On site-housing provided to employees shall comply with all applicable federal, state, and local laws and regulations.
51. All cultivators shall comply with the approved processing plan as to the following:
- a. Processing practices
  - b. Location where processing will occur
  - c. Number of employees, if any
  - d. Employee Safety Practices
  - e. Toilet and handwashing facilities
  - f. Plumbing and/or septic system and whether or not the system is capable of handling increased usage
  - g. Drinking water for employees
  - h. Plan to minimize impact from increased road use resulting from processing
  - i. On-site housing, if any
52. Term of Commercial Cannabis Activity Special Permit. Any Commercial Cannabis Cultivation SP issued pursuant to the CMMLUO shall expire one (1) year after date of issuance, and on the anniversary date of such issuance each year thereafter, unless an annual compliance inspection has been conducted and the permittees and the permitted site have been found to comply with all conditions of approval.
53. If the inspector or other County official determines that the permittees or site do not comply with the conditions of approval, the inspector shall serve the permit holder with a written statement identifying the items not in compliance, and the action that the permit holder may take to cure the noncompliance, or file an appeal within ten (10) days of the date that the written statement is delivered to the permit holder. Personal delivery or mailing the written statement to the mailing address listed on the application by regular mail, plus three (3) days after date of mailing, shall constitute delivery. The permit holder may request a reinspection to determine whether or not the permit holder has cured all issues of noncompliance. Failure to request reinspection or to cure any items of noncompliance shall terminate the Special Permit, immediately upon the expiration of any appeal period, or final determination of the appeal if an appeal has been timely filed pursuant to Section 55.4.13.
54. Permit Renewals to Comply with Updated Laws and Regulations. Permit renewal is subject to the laws and regulations effective at the time of renewal, which may be substantially different than the regulations currently in place and may require the submittal of additional information to ensure that new standards are met.
55. Acknowledgements to Remain in Full Force and Effect. Permittee acknowledges that the County reserves the right to reduce the size of the area allowed for cultivation under any clearance or permit issued in accordance with this section in the event that environmental conditions, such as a sustained drought or low flows in the watershed in which the cultivation area is located, will not support diversions for irrigation.
56. Transfers. Transfer of any leases or permits approved by this project is subject to the review and approval of the Planning Director for conformance with CMMLUO eligibility requirements and agreement to permit terms and acknowledgments. The fee for required permit transfer review shall accompany the request. The request shall include the following information:



- a. Identifying information for the new owner(s) and management as required in an initial permit application;
- b. A written acknowledgment by the new owner in accordance as required for the initial permit application;
- c. The specific date on which the transfer is to occur;
- d. Acknowledgement of full responsibility for complying with the existing permit; and
- e. Execution of an Affidavit of Non-diversion of Medical Cannabis.

57. Inspections. The permit holder and subject property owner are to permit the County or representative(s) or designee(s) to make inspections at any reasonable time deemed necessary to assure that the activities being performed under the authority of this permit are in accordance with the terms and conditions prescribed herein.

**Informational Notes:**

1. Pursuant to Section 314-55.4.11(a) of the CMMLUO, if upon inspection for the initial application, violations of any building or other health, safety, or other state or county statute, ordinance, or regulation are discovered, the Planning and Building Department may issue a provisional clearance or permit with a written approved Compliance Agreement. By signing the agreement, the permittee agrees to abate or cure the violations at the earliest opportunity but in no event more than two (2) years after the date of issuance of the provisional clearance or permit. Plans for curing the violations shall be submitted to the Planning and Building Department by the permittee within one (1) year of the issuance of the provisional certificate or permit. The terms of the compliance agreement may be appealed pursuant to Section 314-55.4.13 of the CMMLUO.
2. This provisional permit approval shall expire and become null and void at the expiration of one (1) year after all appeal periods have lapsed (see "Effective Date"), except where the Compliance Agreement per Condition of Approval #6 has been executed and the corrective actions pursuant to the agreement are being undertaken. Once building permits have been secured and/or the use initiated pursuant to the terms of the agreement, the use is subject to the Permit Duration and Renewal provisions set forth in Conditions of Approval #26 and 27 of the Ongoing Requirements/Development Restrictions, above.
3. If cultural resources are encountered during construction activities, the contractor on-site shall cease all work in the immediate area and within a 50-foot buffer of the discovery location. A qualified archaeologist and the appropriate Tribal Historic Preservation Officer(s) are to be contacted to evaluate the discovery and, in consultation with the applicant and the lead agency, develop a treatment plan in any instance where significant impacts cannot be avoided.

Prehistoric materials may include obsidian or chert flakes, tools, locally darkened midden soils, groundstone artifacts, shellfish or faunal remains, and human burials. If human remains are found, California Health and Safety Code 7050.5 requires that the County Coroner be contacted immediately at 707-445-7242. If the Coroner determines the remains to be Native American, the Native American Heritage Commission will then be contacted by the Coroner to determine appropriate treatment of the remains pursuant to Public Resources Code (PRC) Section 5097.98. Violators shall be prosecuted in accordance with PRC Section 5097.99.

**ATTACHMENT 2**

**CEQA ADDENDUM TO THE  
MITIGATED NEGATIVE DECLARATION FOR THE COMMERCIAL MEDICINAL MARIJUANA LAND USE  
ORDINANCE**

**Commercial Medical Marijuana Land Use Ordinance Mitigated Negative Declaration (MND)  
(State Clearinghouse # 2015102005), January 2016**



**APN 218-081-003; 1131 Hogtrap Road, New Harris  
County of Humboldt**

**Prepared By  
Humboldt County Planning and Building Department  
3015 H Street, Eureka, CA 95501**

**May 2021**

## Background

**Modified Project Description and Project History** – The Commercial Medical Marijuana Land Use Ordinance (CMMLUO) established specific regulations for commercial cannabis operations in Humboldt County. These regulations were developed in concert with the Mitigated Negative Declaration (MND) that was adopted for the ordinance in order to implement the mitigation measures of the MND. The MND addressed the broad environmental impacts that could be expected to occur from the adoption and implementation of the ordinance. The MND specified that the regulations established in the CMMLUO would mitigate the impacts of existing cannabis operations by establishing regulations for an existing unregulated land use to help prevent and reduce environmental impacts that are known to result from unpermitted baseline cultivation operations. Commercial cannabis cultivation in existence as of December 31, 2015 was included in the environmental baseline for the MND and the MND states that “Bringing existing operations into compliance will help to attenuate potential environmental effects from existing cultivation activities, including aesthetic impacts resulting from improper operation or poor siting.” The current project was contemplated by the MND and compliance with the provisions of the CMMLUO will fully mitigate all environmental impacts of the project to a less than significant level.

The modified project involves a Special Permit for an existing 10,000 square feet (SF) of outdoor cannabis cultivation that is cultivated using light deprivation techniques in four (4) greenhouses. No onsite propagation occurs. Irrigation water is sourced from a 2,000,000-gallon rainwater catchment pond. Existing available water storage is 2,008,500 gallons in three (3) HDPE water storage tanks and the rainwater catchment pond. Estimated annual water usage is 114,050 gallons. Drying and curing occurs onsite, and depending upon market conditions, processing may occur onsite using trim machines within the drying barn, off-site at a licensed facility, or sold directly for extraction. No employees are required for the operation, which is conducted by LLC members and immediate family only. Power is provided by Pacific Gas and Electric Company (PG&E).

No watercourses traverse the subject property and all approved cannabis cultivation activities would occur on slopes less than 15%. The Nearest Northern Spotted Owl (NSO) sighting and activity center is located approximately 0.7 miles from the cultivation areas. No artificial lighting is authorized under this permit. Conditions of approval require the applicant use noise attenuation to ensure the project has a Less than Significant Impact on NSO. The applicant has enrolled with the State Water Resources Control Board Cannabis Cultivation Policy. A condition of project approval is inadvertent discovery protocols for cultural resources consistent with the recommendation of the Cultural Resources Investigation, prepared by Archaeological Research and Supply Company in May 2018.

The modified project is consistent with the adopted MND for the CMMLUO because it complies with all standards of the CMMLUO which were intended to mitigate impacts of existing cultivation. These include ensuring supplemental lighting and security lighting adheres to Dark Sky Association standards and ensuring project related noise does not harass nearby wildlife which will limit impacts to biological resources as a result of light and noise.

**Purpose** - Section 15164 of the California Environmental Quality Act (CEQA) provides that the lead agency shall prepare an addendum to a previously certified Mitigated Negative Declaration (MND) if some changes or additions are necessary but none of the conditions described in Section 15162 calling for a subsequent EIR or Negative Declaration have occurred. Section 15162 states that when an EIR has been certified for a project, no subsequent EIR shall be prepared for that project unless the lead agency determines, on the basis of substantial evidence in the light of the whole record, one or more of the following:

1. Substantial changes are proposed in the project which require major revisions of the previous MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;

2. Substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or
3. New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous MND was certified as complete, shows any of the following: A) the project will have one or more significant effects not discussed in the previous MND; B) significant effect previously examined will be substantially more severe than shown in the previous MND; C) mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative; or D) mitigation measures or alternatives which are considerably different from those analyzed in the previous MND would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.

### **Summary of Significant Project Effects and Mitigation Recommended**

No changes are proposed for the original MND recommended mitigations. The proposal to authorize the continued operation of an existing cannabis cultivation site consisting of 10,000 square feet of cultivation with ancillary drying and processing activities is fully consistent with the impacts identified and adequately mitigated in the original MND. The project as conditioned to implement responsible agency recommendations, results in no significantly adverse environmental effects beyond those identified in the MND. Compliance with the CMMLUO ensures consistency with the adopted MND and provides for mitigation of all project related impacts to a less than significant level.

In reviewing the application for consistency with the adopted MND, the County considered the following information and studies, among other documents (see Attachment 3 for a complete listing of document):

- Plot Plans received 07/25/20.
- Cultivation and Operations Plan received 07/25/20.
- Site Management Plan (WDID-1\_12CC240474) dated 07/17/20 for the State Water Resource Control Board (State Water Board) Cannabis Cultivation Policy (Cannabis Policy) and Order WQ 2017-0023-DWQ General Waste Discharge Requirements for Dischargers of Waste Associated with Cannabis Cultivation Activities (General Order).
- Road Evaluation Report for Hogtrap Road prepared by the Applicant dated 07/17/2020.
- Cultural Resources Investigation of the Various Island Mountain Properties, Final Report, Island Mountain, Humboldt County, California, Jewett Rock 7.5' USGS Quadrangle, Multiple APNs, prepared by Nick Angeloff, MA, Jarrett Lowery, BA, Joanne Gallagher, BA, and Lily Camara, BA, with contributions by Jerry Rohde, MA, Archaeological Research and Supply Company, Rio Dell, CA, dated May 2018.

### **Other CEQA Considerations**

Staff suggests no changes for the revised project.

### **EXPLANATION OF DECISION NOT TO PREPARE A SUPPLEMENTAL MITIGATED NEGATIVE DECLARATION OR ENVIRONMENTAL IMPACT REPORT**

See **Purpose** statement above.

In every impact category analyzed in this review, the projected consequences of the current project proposal are either the same or less than significantly increased than the initial project for which the MND was adopted. Based upon this review, the following findings are supported:

## **FINDINGS**

1. The proposed project will permit an existing cannabis operation and bring the operation into compliance with county and state requirements intended to adequately mitigate environmental impacts.
2. The circumstances under which the project was approved have not changed substantially. There are no new significant environmental effects and no substantial increases in the severity of previously identified effects.
3. For the current proposed project, there has been no new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous MND was adopted as complete.

## **CONCLUSION**

Based on these findings it is concluded that an Addendum to the certified MND is appropriate to address the requirements under CEQA for the current project proposal. All of the findings, mitigation requirements, and mitigation and monitoring program of the MND, remain in full force and effect on the original project.

### ATTACHMENT 3

#### Applicant's Evidence in Support of the Required Findings

Attachment 3 includes a listing of all written evidence which has been submitted by the applicant in support of making the required findings. The following materials are on file with the Planning Division:

1. The name, contact address, and phone number(s) of the applicant. (Application form on file)
2. If the applicant is not the record title owner of parcel, written consent of the owner for the application with original signature and notary acknowledgement. (On file)
3. Site plan showing the entire parcel, including easements, streams, springs, ponds and other surface water features, and the location and area for cultivation on the parcel with dimensions of the area for cultivation and setbacks from property lines. The site plan shall also include all areas of ground disturbance or surface water disturbance associated with cultivation activities, including access roads, water diversions, culverts, ponds, dams, graded flats, and other related features. If the area for cultivation is within one-quarter mile (1,320 feet) of a school, school bus stop, church or other place of religious worship, public park, or tribal cultural resource, the site plan shall include dimensions showing that the distance from the location of such features to the nearest point of the cultivation area is at least 600 feet. **(Attached)**
4. A cultivation and operations plan that meets or exceeds minimum legal standards for water storage, conservation and use; drainage, runoff and erosion control; watershed and habitat protection; proper storage of fertilizers, pesticides, and other regulated products to be used on the parcel; and a description of cultivation activities (outdoor, indoor, mixed light), the approximate date(s) cannabis cultivation activities have been conducted on the parcel prior to the effective date of this ordinance, if applicable, and schedule of activities during each month of the growing and harvesting season. **(Attached)**
5. Copy of the statement of water diversion, or other permit, license or registration filed with the State Water Resources Control Board, Division of Water Rights, if applicable. (Not applicable)
6. Description of water source, storage, irrigation plan, and projected water usage. (Included in Cultivation Operations Plan (item 4. above) and Site Management Plan prepared for State Water Board Cannabis General Order (item 7. below)
7. Copy of Notice of Intent and Monitoring Self-Certification and other documents filed with the North Coast Regional Water Quality Control Board demonstrating enrollment in Tier 1, 2 or 3, North Coast Regional Water Quality Control Board Order No. 2015-0023, or any substantially equivalent rule that may be subsequently adopted by the County of Humboldt or other responsible agency. (Condition of approval)
8. If any on-site or off-site component of the cultivation facility, including access roads, water supply, grading or terracing, impacts the bed or bank of any stream or other watercourse, a copy of the Streambed Alteration Permit obtained from the California Department of Fish and Wildlife. (Condition of approval)
9. If the source of water is a well, a copy of the County well permit, if available. (Not applicable)
10. If the parcel is zoned FR, U or TPZ, or involves the conversion of timberland as defined under Section 4526 of the Public Resources Code, a copy of a less-than-3-acre conversion exemption or timberland conversion permit, approved by the California Department of Forestry and Fire Protection (Cal Fire). Alternately, for existing operations occupying sites created through prior unauthorized conversion of timberland, evidence may be provided showing that the landowner



has completed a civil or criminal process and/or entered into a negotiated settlement with Cal Fire. (Condition of approval)

11. Consent for on-site inspection of the parcel by County officials at prearranged date and time in consultation with the applicant prior to issuance of any clearance or permit, and once annually thereafter. (On file)
12. For indoor cultivation facilities, identify the source of electrical power and how it will meet with the energy requirements in Section 55.4.8.2.3, and plan for compliance with applicable building codes. (Not applicable)
13. Acknowledge that the County reserves the right to reduce the size of the area allowed for cultivation under any clearance or permit issued in accordance with this Section in the event that environmental conditions, such as a sustained drought or low flows in the watershed, will not support diversions for irrigation. (On file)
14. Acknowledge that the County reserves the right to engage with local tribes before consenting to the issuance of any clearance or permit, if cultivation operations occur within an Area of Traditional Tribal Cultural Affiliation, as defined herein. This process will follow current departmental referral protocol, including engagement with the tribe(s) through coordination with their Tribal Historic Preservation Officer (THPO) or other tribal representatives. This procedure shall be conducted similar to the protocols outlined under SB 18 (Burton) and AB 52 (Gatto), which describe "government to government" consultation, through tribal and local government officials and their designees. During this process, the tribe may request that operations associated with the clearance or permit be designed to avoid, minimize, or mitigate impacts to tribal cultural resources, as defined herein. Examples include, but are not limited to, conducting a site visit with the THPO or their designee to the existing or proposed cultivation site, requiring that a professional cultural resources survey be performed, or requiring that a tribal cultural monitor be retained during project-related ground disturbance within areas of sensitivity or concern. The County shall request that a records search be performed through the California Historical Resources Information System (CHRIS). (On file)
15. Road Evaluation Report for Hogtrap Road prepared by Applicant, dated 07/17/20. (**Attached**)
16. Division of Environmental Health Attachment for Commercial Medical Marijuana (CMM) Clearances/ Permits (DEH Form). (On file)
17. Cultural Resources Investigation of the Various Island Mountain Properties, Final Report, Island Mountain, Humboldt County, California, Jewett Rock 7.5' USGS Quadrangle, Multiple APNs, prepared by Nick Angeloff, MA, Jarrett Lowery, BA, Joanne Gallagher, BA, and Lily Camara, BA, with contributions by Jerry Rohde, MA, Archaeological Research and Supply Company, Rio Dell, CA, dated May 2018. (On file and confidential)

## Eastern California Cannabis Regulatory Program Regional Water Quality Control Board Site Management Plan

January 1, 2019 Version

<b>County:</b>	Humboldt	<b>Tier:</b>	1
<b>Operation Name:</b>	HogTrap Farms LLC	<b>Risk:</b>	LOW
<b>Site Name:</b>	Crimea/Beartown/Uncles	<b>Disturbed Area (ft<sup>2</sup>):</b>	
<b>Site Address:</b>	908 Hog Trap Rd.	<b>Cultivation Area (ft<sup>2</sup>):</b>	
<b>APN(s):</b>	218-071-003, 218-081-003, 218-071-004	<b>Cumulative Disturbed Area (ft<sup>2</sup>)*:</b>	
<b>Application ID #:</b>	WDID 1_12CC240474	<b>Cumulative Cultivation Area (ft<sup>2</sup>)*:</b>	

*\*For sites with multiple enrollments on the same property, report the combined disturbed area and cultivation area of all cannabis cultivation on the property. If this does not apply, leave this section blank.*

This plan describes how the cultivator is implementing the best practical treatment or control (BPTC) measures listed in Attachment A of the Cannabis General Order. Refer to Attachment D of the General Order for further technical report guidance. If the sections below do not provide sufficient space, you may attach additional pages.

~~Email the completed and saved electronic form along with maps and photos to~~  
[Lahontan.Cannabis@waterboards.ca.gov](mailto:Lahontan.Cannabis@waterboards.ca.gov)

### **1. Sediment Discharge BPTC Measures**

#### **A. Site Characteristics**

##### **i. Site Map**

Attach a map of the site. The map should contain the following features with labels:

- Access roads
- Vehicle parking areas
- Streams
- Stream crossings
- Cultivation site(s)
- Disturbed areas
- Buildings
- Other site features that are referenced in this plan. (e.g. BPTC measures, pesticide/ fertilizer storage, trash/ refuse storage, etc.)

The map should also include:

- A legend
- A north arrow
- A scale bar
- Topographic lines

##### **ii. Access Road Conditions**

a. What is the road surface type(s)? Check all that apply.

☐ Asphalt ☒ Gravel ☒ Dirt ☐ Concrete ☐ Other (describe): \_\_\_\_\_

b. Is there evidence of erosion, such as gullies or rills? If yes, describe current conditions and how they will be remediated in the space below.

Yes    ✓ No

c. Does any portion of the access road(s) act as a conveyance for water? If yes, describe in the space below.

✓ Yes    No

SEE ATTACHED

d. What is the estimated vehicle traffic on these roads?

Commuter vehicles: 8 per Day

Commercial vehicles: 4 per Month

Heavy equipment: 1 per Year

Other \_\_\_\_\_: \_\_\_\_\_ per Day

e. How is storm water drained from the roads? Check all that apply. Refer to *The Handbook for Forest Ranch and Rural Roads* for information on the methods listed below. (Available at <http://www.pacificwatershed.com/PWA-publications-library>.)

☒ Crowned    ☒ Out slope    ☒ Armored ditch    ☒ Culverts    ☒ Rolling dips    ☐ Other (describe below)

f. Describe the number, spacing, and discharge location of water drainage features.

SEE LSAA

g. Select the erosion control and sediment capture measures used on the access roads and water drainage features. Check all that apply.

*Erosion Control Measures*

- ☐ Erosion control blankets    ☐ Geotextiles    ☐ Straw mulch    ☐ Hydromulch    ☐ Wood mulch  
☒ Vegetation Preservation    ☐ Vegetation Planting    ☐ Hydroseeding    ☒ Vegetated channels  
☐ Check dams    ☐ Other: \_\_\_\_\_

*Sediment Capture Measures*

- ☐ Fiber Rolls    ☐ Silt fences    ☐ Other: \_\_\_\_\_

Describe the selected measures in the space below:

h. What activities are done to maintain the roads? What activities are done to maintain erosion control measures? What is the maintenance schedule?

Regular inspection and maintenance in accordance with PWA Road Manual, road maintenance generally once per year in in late September or similar.

**iii. Streams**

a. Do you have any streams, drainages, or channels on or adjacent to your property?

☒ Yes   ☐ No

b. If applicable, provide the name(s) of the stream(s). If the stream, drainage, or channel doesn't have a name, write "Unnamed Stream":

SEE PWA LSAA MAP

c. If there is a stream, what is the distance between the edge of the stream bank and the edge of the disturbed area at the closest point? How did you take this measurement?

\_\_\_\_\_ feet   Measurement method: SEE PWA LSAA

d. Do you have any stream crossings?

☒ Yes   ☐ No

e. If yes, what types of crossings are they? If there are multiple crossings, check all that apply.

☐ Bridge   ☒ Culvert   ☐ Low water   ☐ Other, Describe: \_\_\_\_\_

f. If yes, was the crossing designed by a Qualified Professional (e.g. licensed engineer)?

☒ Yes   ☐ No

g. Provide a description of all stream crossings, including who designed them, number of crossings, material, size, frequency of use, and any other relevant details. Indicate the location of stream crossings on your site map. Attach photos of all stream crossings and cross-sectional areas of all engineered flow conveyances (e.g. culverts and ditches) used at crossings.

SEE LSAA

**B. Sediment Erosion Prevention and Sediment Capture**

*If you are classified as Moderate Risk Tier 1 or Moderate Risk Tier 2 and are submitting a Site Erosion and Sediment Control Plan that includes the following information, you may skip this section.*

**i. Erosion Prevention BPTC Measures**

*On your site map, indicate the location of erosion prevention BPTC measures described below. Describe erosion prevention BPTC measures around all disturbed areas and features. Include BPTC measures implemented to address erosion resulting from storm water runoff from impervious surfaces, including but not limited to parking lots and roofs of greenhouses, warehouses, or storage facilities. Attach photos documenting implemented measures and locations for planned implementation.*

a. How is storm water drained from buildings, greenhouses, and other structures? How are storm water conveyance systems monitored and maintained to protect water quality?

site grading/slope, french drains, drainage ditches, ditch relief culverts

b. What physical BPTC measures have been implemented to prevent or limit erosion? Check all that apply.

☒ Straw mulch   ☒ Wood mulch   ☐ Hydromulch   ☐ Plastic covers   ☐ Slope stabilization   ☐ Soil binders  
☐ Erosion control blankets   ☐ Geotextiles   ☒ Culvert outfall armoring   ☐ Other:

Describe the physical BPTC measures checked above, including when they are used and where they are placed.  
mulch applied to cultivation walkways. culverts rock armor to prevent erosion

c. What biological BPTC measures have been implemented to prevent or limit erosion? (e.g. vegetation preservation/ replacement, hydro seeding, etc.)? Check all that apply.

☒ Vegetation preservation   ☐ Vegetation planting   ☐ Hydroseeding   ☐ Other:

Describe the biological BPTC measures checked above, including when they are used and where they are employed.

vegetated buffer to attenuate flow and dissipate energy

d. What physical and biological BPTC measures do you plan to implement to prevent or limit erosion? Check all that apply.

**Physical BPTC measures:**

- ☐ Straw mulch   ☐ Wood mulch   ☐ Plastic covers   ☐ Slope stabilization   ☐ Soil binders  
☐ Culvert outfall armoring   ☐ Other:

**Biological BPTC measures:**

- ☐ Vegetation preservation   ☐ Native vegetation planting   ☐ Hydroseeding   ☐ Other:

Describe the planned BPTC measures and provide an implementation schedule below.

N/A

**ii. Sediment Control BPTC Measures**

*On your site map, indicate the location of sediment control BPTC measures described below. Describe sediment control BPTC measures around all disturbed areas and features. Attach photos documenting implemented measures and locations for planned implementation.*

a. What physical BPTC measures have been implemented to capture sediment that has been eroded? Check all that apply.

☐ Silt fences    ☐ Fiber rolls    ☒ Settling ponds/ areas    ☐ Other:

Describe the physical BPTC measures checked above, including when they are used and where they are placed.

b. What biological BPTC measures have been implemented to capture sediment that has been eroded? Check all that apply.

☒ Vegetated outfalls    ☐ Hydro seeding    ☐ Other:

Describe the biological BPTC measures checked above, including when they are used and where they are employed.



c. What physical and biological BPTC measures do you plan to implement to prevent or limit erosion? Check all that apply.

**Physical BPTC measures:**

☐ Silt fences   ☐ Fiber rolls   ☐ Settling ponds/ areas   ☐ Other:

**Biological BPTC measures:**

☐ Vegetated outfalls   ☐ Hydro seeding   ☐ Other:

Describe the planned BPTC measures and provide an implementation schedule below.

n/a. established development

**iii. Maintenance Activities- Erosion Prevention and Sediment Control**

a. How will erosion prevention BPTC measures, sediment control BPTC measures, and stormwater conveyance systems be monitored and maintained to protect water quality? Describe all required maintenance tasks and a schedule for implementation.

regular inspection and maintenance. site and all culverts are inspected and winterization measures are implemented prior to the rainy season

b. How will captured sediment be handled? Check all that apply.

☒ Stabilized in place.    ☐ Excavated and stabilized on site.    ☐ Removed from the site.

Describe the procedure for handling captured sediment below:

revegetation

## 2. Fertilizer, Pesticide, Herbicide, and Rodenticide BPTC Measures

A. Product List	
In the sections below, list all products used and describe how they are delivered to the site, how they are stored, and how they are used at the site. Also describe how products will be removed from the site or stored to prevent discharge if they are not consumed before the winter season. If there is not enough space, list remaining products on a separate sheet.	
<b>i. Fertilizers</b>	
Product Name	Product Description
Max Sea	NPK 16-16-16
Base Farm Micro	NPK 6-0-0 + Calcium,Boron, Iron, Manganese, Molybdenum
Base Farm Grow	NPK 2-1-6 (derived from ammonium sulfate,potassium nitrate, magnesium phosphate, potassium carbonate)
Base Farm Bloom	NPK 0-6-5 (derived from magnesium phosphate, phosphoric acid, potassium carbonate, potassium sulfate)
Grow More	NPK 30-10-10
Karbo Kandy	
Rebel Rise	NPK 12-6-6 (derived from :Soy protein hydrolysate, Mono potassium phosphate, Di-potassium phosphate, Mono ammonium phosphate, Kelp extract, Boric acid , Copper EDTA , Iron EDTA , Manganese EDTA , Zinc E
Rebel Rush	NPK 5-10-5 derived from Soy protein hydrolysate, Mono potassium phosphate, Di-potassium phosphate, Mono ammonium phosphate, Kelp extract, Boric acid, Copper EDTA, Iron EDTA, Manganese EDTA Zinc EDTA
Symbys Cal Mag	NPK 2-0-0 derived from calcium nitrate, magnesium nitrate, iron edta
<b>ii. Pesticides</b>	
Product Name	Active Ingredient and Product Description
Plant Therapy	soy oil, peppermint oil, citric acid, soap, isopropyl alcohol, sodium citrate, water
Sierra Natural Science 203	clove oil, rosemary, water, polyglyceral oleate, lactic acid
Sierra Natural Science 209	rosemary, water, soap bark, humic acid

<b>iii. Herbicides</b>	
<i>Product Name</i>	<i>Active Ingredient and Product Description</i>
Pure Crop	soybean oil, corn oil, water, glycerin, guar gum, citric acid, soap, vanillin
Green Cleaner	soybean oil, sodium laurel sulfate, water, isopropyl alcohol, sodium citrate, citric acid
<b>iv. Rodenticides</b>	
<i>Product Name</i>	<i>Active Ingredient and Product Description</i>
Mole Scram	castor oil, citronella oil, garlic oil, hulled peanut shells

**B. Product Storage Location**

i. Do you use secondary containment for the storage of fertilizers, pesticides, herbicides, and rodenticides?

☒ Yes   ☐ No

ii. Where are products stored on site? Indicate the storage location on your site map.

Shed on site for storage of fertilizers, pesticides, and other regulated products is in accordance with best practices, including storage within an enclosed space to prevent surface water contamination. Shed is indicated on the plot plan (site map) provided and is in appropriate distances from waterways. Shed is kept cool, dry and well ventilated.

**C. Bulk Fertilizers and Chemical Concentrates**

i. How are bulk fertilizers and chemical concentrates stored, mixed, and applied?

Stored in secondary containment according to best practices.

Fertilizers and chemical concentrates are mixed in a safe and dry indoor space, well ventilated, and brought via 5 gallon buckets with tops secured to place of application (water tanks, garden beds, etc.) PPE is used to ensure safety of applicator. Products used at rates no higher than recommended on label.

ii. How are empty containers disposed of?

Containers are triple rinsed and emptied in the pickle barrel used for application. Containers then immediately placed in dumpsters onsite which are covered and kept in a contained location safe distances from waterways. Dumpsters emptied and brought to appropriate disposal facilities.

**D. Spill Prevention and Cleanup Plan**

i. What procedures are in place to prevent spills of fertilizers, pesticides, herbicides, and rodenticides?

All applicators use PPE to prevent risks that might occur from product spilling on sensitive areas (skin, eyes, etc.) Use of funnels and measuring equipment that is rinsed thoroughly between each use. Products always mixed in a safe and secure, well ventilated indoor location.

ii. What procedures are in place to clean up spills if they occur?

Spill kits are provided at each mixing location onsite and applicators are educated on proper procedures in case of a spill according to each product used. Proper procedures for spills are posted in all sites where products are used.

### 3. Petroleum Product BPTC Measures

#### A. Product List

*In the sections below, list all products used and describe how they are delivered to the site, how they are stored, and how they are used at the site. Also describe how products will be removed from the site or stored to prevent discharge if they are not consumed before the winter season.*

Product Name	Product Description
Gasoline	1,000 gallon metal drums onsite, filled by a truck- and used to fill containers.
Diesel	1,000 gallon metals drums onsite, filled by a truck- and used to fill containers.
Motor Oil	Plastic containers of 1 gallon motor oils used for different machinery onsite.

#### B. Product Storage Location

i. Do you use secondary containment for the storage of petroleum products?

☒ Yes ☐ No

ii. Where are products stored on site? Indicate the storage location on your site map.

Products are stored in cool, dry, well ventilated shed onsite.

### **C. Product Use**

i. How are fuels, lubricants, and other petroleum products stored, mixed, and applied?

Products are stored in a dry shed, within second containment. Dry shed is kept cool, dry and well ventilated. Fuel is only dispensed in safe areas, flat surfaces with the use of PPE.

ii. How are empty containers disposed of?

Generally speaking, fuel containers are reused and not disposed of. If a container should break, it is immediately disposed of in a covered and contained secondary containment until transported to the proper waste management facility.

### **D. Spill Prevention and Cleanup Plan**

i. What procedures are in place to prevent spills of petroleum products?

Proper use of PPE for all handlers of petroleum products. Machinery is filled on a flat surface in a safe, well ventilated area of dry shed to avoid spills and employee hazards. Containment guidelines regarding capacity of fuel containers are closely followed. Trainings are provided to handlers of petroleum products to insure proper knowledge of usage.

ii. What procedures are in place to clean up spills if they occur?  
Spill kits are provided at all sites where fuel is used and proper guidelines for safe use of petroleum is provided at each site. Training is provided to all handlers of products.

4. Trash/ Refuse, and Domestic Wastewater BPTC Measures

A. Type of Trash/ Refuse
<p>i. What types of trash/ refuse will be generated at the site? Include a description of all solid waste materials (e.g. spent hydroponic growing media, organic materials, plastic, paper, glass, clay, etc.)</p> <p>Plastics, polypropylene (from drip) , paper</p> <p>Organic materials - composted</p>
<p>ii. How will trash/ refuse be contained and properly disposed of?</p> <p>Trash is placed in plastic bags, tightly closed in garbage cans onsite and when full, disposed of into a secured dumpster which is covered and kept in a safe, designated location on property.</p>
<p>iii. Where will trash/ refuse be stored? Indicate the location of trash/ refuse storage on your site map.</p> <p>All trash/refuse is placed into contractor bags and secured tightly, then placed in a secured and locked dumpster on location. Dumpster location is indicated on Site Map.</p> <p>Organic materials are disposed of in secured, designated compost area.</p>



**B. Personal Waste**

i. How many employees, visitors, and residents will you have at the site?

Employees: 0

Residents: 2

Visitors: per Day

ii. What types of domestic wastewater will be generated at the site? Check all that apply.

☒ Household generated wastewater ☐ Chemical toilet waste ☐ Other:

From dishes and showers in permitted residence.

iii. How will domestic wastewater be disposed? Check all that apply.

☐ Sewer

☒ Permitted onsite wastewater treatment system (e.g. septic tank and leach lines) Provide a schematic and a copy of your permit for the system.

☒ Chemical toilets or holding tank. If so, provide the name of the servicing company and frequency of service:  
Six Rivers - every two weeks

☐ Outhouse, pit privy, or similar. (Use of this alternative requires approval from the Regional Board Executive Officer. Attach the approval from the Executive Officer and any conditions imposed if using this alternative. Indicate the location of any domestic wastewater treatment, storage, or disposal areas on your site map, as well as the locations of all water wells (e.g. drinking water, irrigation water, commercial water, etc.) inside or within 0.5 mile of the site boundary.)

**5. Winterization BPTC Measures****A. Winterization Activities Performed**

What activities will be performed to winterize the site and prevent discharges of waste?

Inspect and maintain all roads, drainages and stream crossings.

Store all tools and equipment appropriately.

Cover and stabilize all soils in place.

Add erosion control as needed.

**B. Maintenance of Drainage and Sediment Capture Features**

What maintenance activities will be performed to remove debris and soil blockages from drainage and sediment capture features (e.g. drainage culverts, drainage trenches, settling ponds, etc.) and ensure adequate capacity exists? Include a description of how all solid waste materials are managed.

Refer to LSAA

**C. Revegetation Activities**

What revegetation activities will occur at the beginning or end of the precipitation season?

N/a established site. Cultivation soils straw and seed with cover crop.

**D. Compliance Schedule**

*If any Winterization BPTC measure cannot be completed before the onset of winter period, contact the Regional Water Board to establish a compliance schedule.*

Provide a timeline for implementation of these measures:

N/A

## 6. Cannabis Cultivation Details

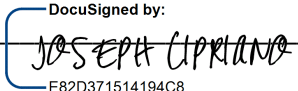
A. Growing Methods
i. Where is cannabis grown? <input checked="" type="checkbox"/> Fully outdoor <input type="checkbox"/> Hoophouse <input checked="" type="checkbox"/> Greenhouse with permeable floors <input type="checkbox"/> Other (please describe):
ii. What type of container is cannabis grown in? Check all that apply.  <input type="checkbox"/> In ground <input checked="" type="checkbox"/> Raised beds <input type="checkbox"/> Pots/ grow bags/ trays on the ground <input type="checkbox"/> Pots/ grow bags/ trays elevated off the ground <input type="checkbox"/> Other (describe): _____
iii. If cannabis is grown in containers elevated off the ground, is irrigation tailwater collected? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> A portion of it is collected <input type="checkbox"/> N/A  If yes, describe what you do with the captured irrigation tailwater:
B. Irrigation Water Treatment
i. Is irrigation water filtered prior to use? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No  If irrigation water is filtered, answer the questions below:
ii. What type of filtration is used (i.e. reverse osmosis, ion exchange, etc.)?
iii. What is the maximum volume of water filtered per day?
iv. How are filter residuals (i.e. brines, etc.) disposed of?
v. What is the volume of residual produced? _____ gallons per Day

## 7. Certification

I certify under penalty of law that I have personally examined and am familiar with the information submitted in this document and all attachments and that, based on my inquiry of those individuals immediately responsible for obtaining the information, I believe that the information is true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment.

☐ I have read and accept the above terms.

Operator/Responsible Party \_\_\_\_\_ Date Prepared 7/17/2020


  
DocuSigned by: Joseph Cipriano
  
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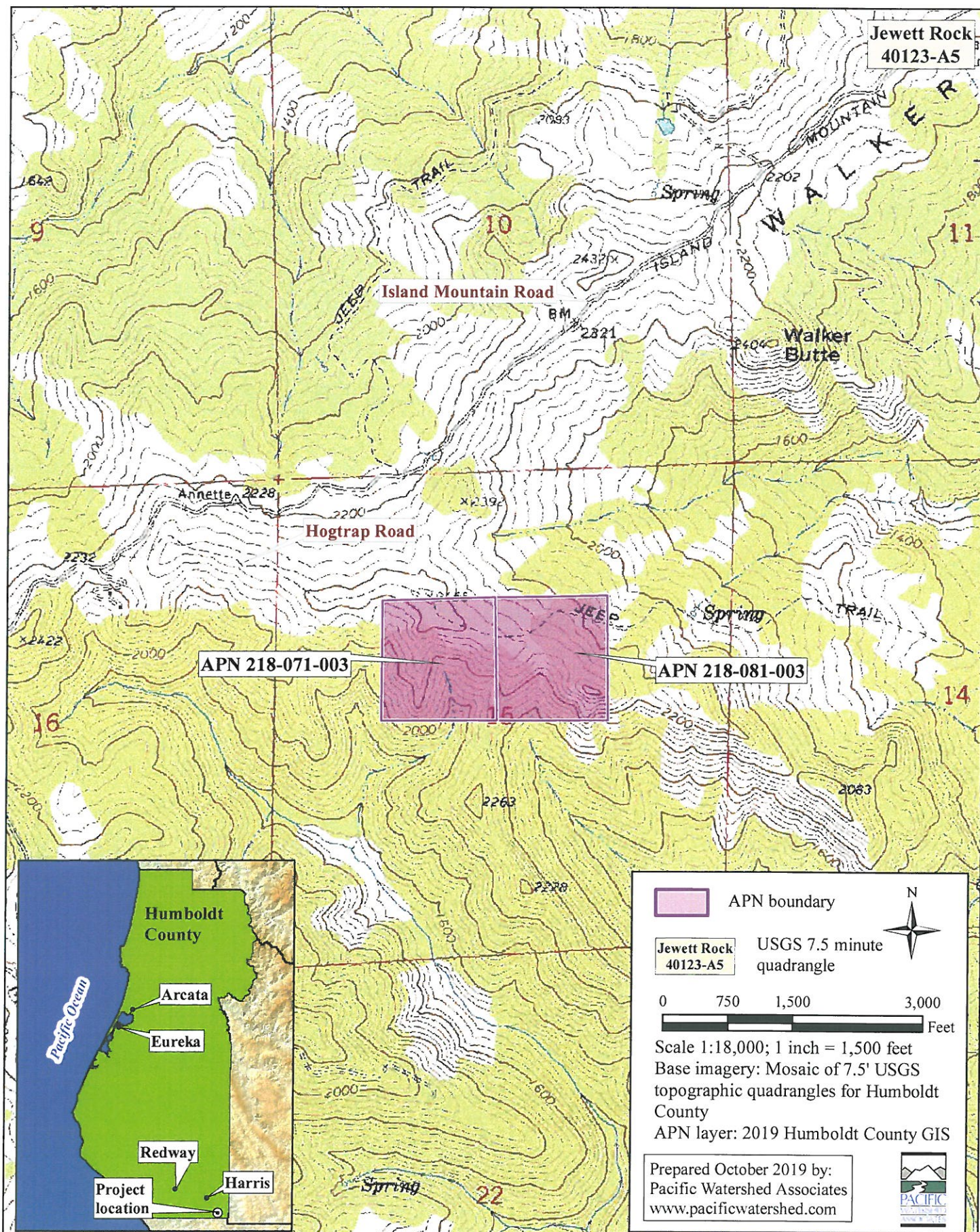
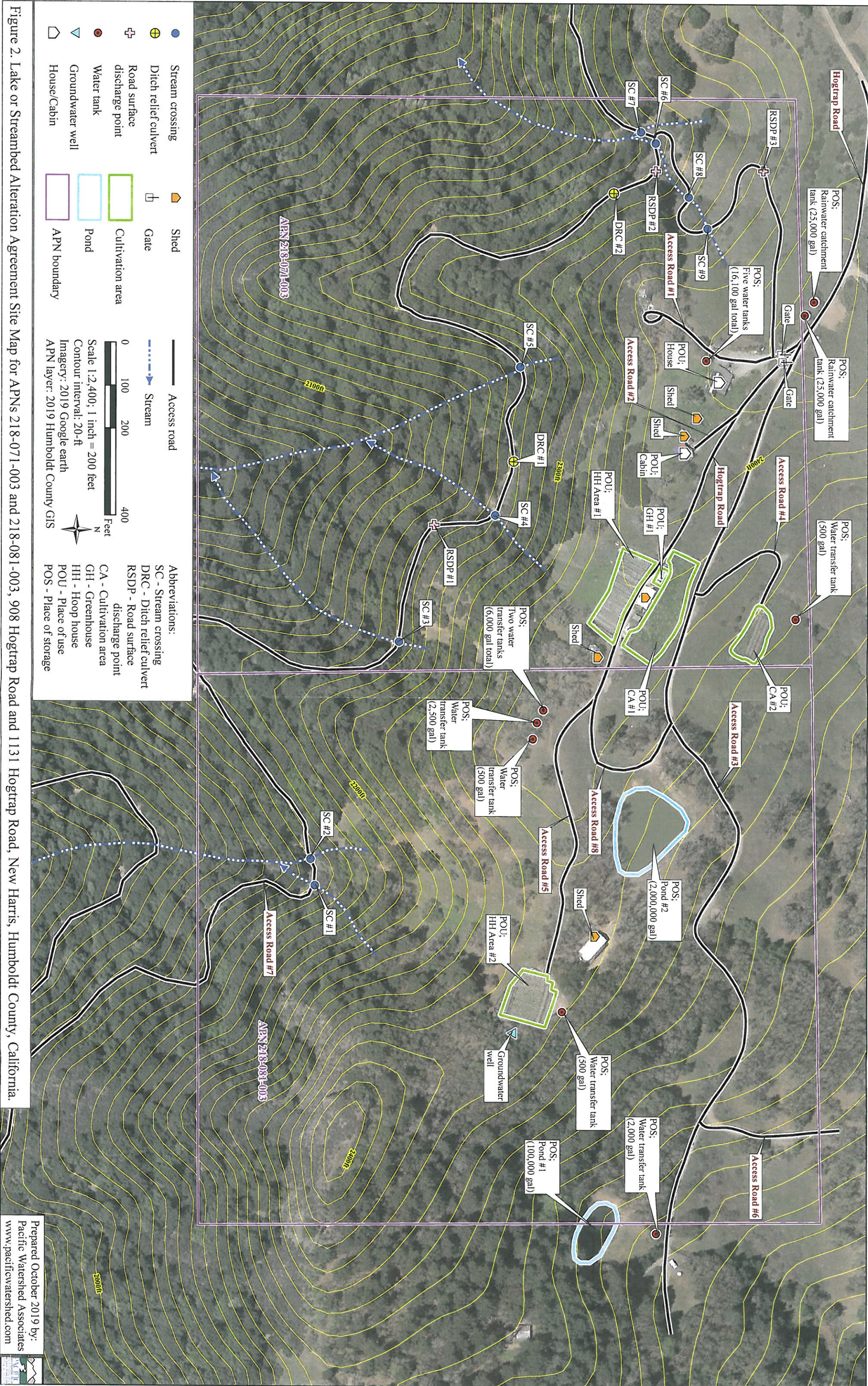


Figure 1. Lake or Streambed Alteration Agreement Location Map for APNs 218-071-003 and 218-081-003, 908 Hogtrap Road and 1131 Hogtrap Road, New Harris, Humboldt County, California.



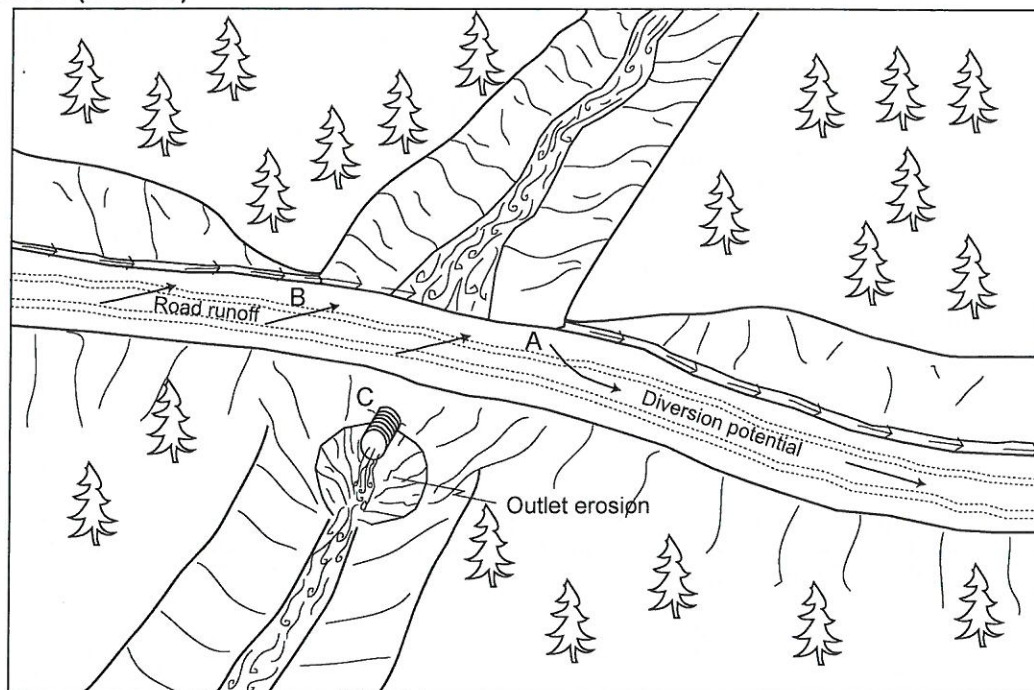




## Typical Problems and Applied Treatments for a Non-fish Bearing Upgraded Stream Crossing

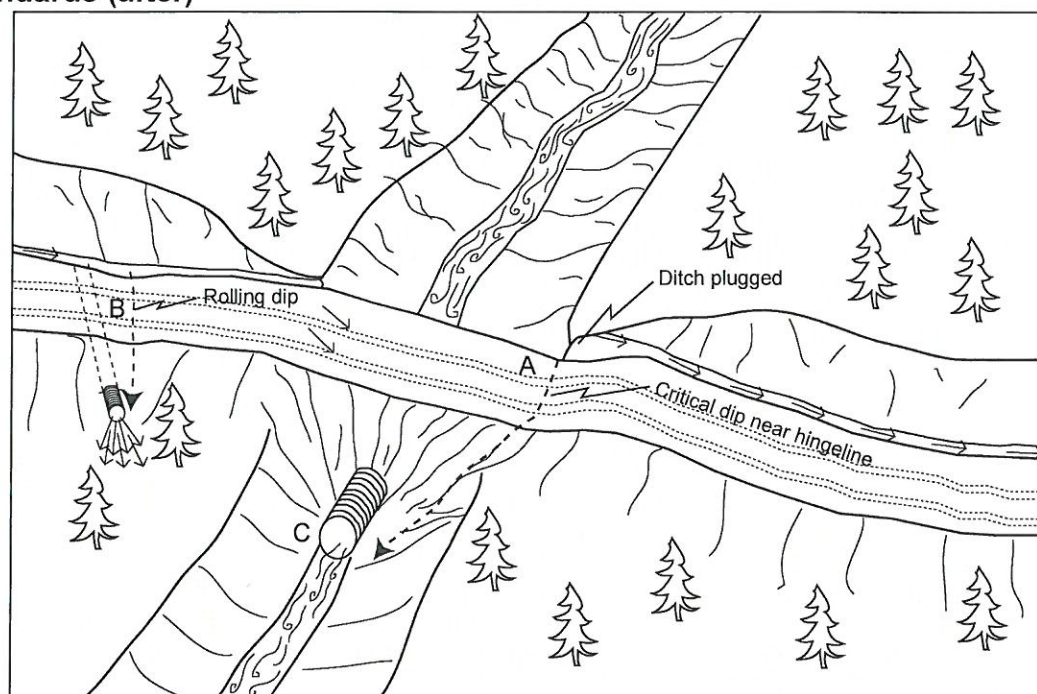
### Problem condition (before)

- A - Diversion potential
- B - Road surface and ditch drain to stream
- C - Undersized culvert high in fill with outlet erosion



### Treatment standards (after)

- A - No diversion potential with critical dip installed near hingeline
- B - Road surface and ditch disconnected from stream by rolling dip and ditch relief culvert
- C - 100-year culvert set at base of fill

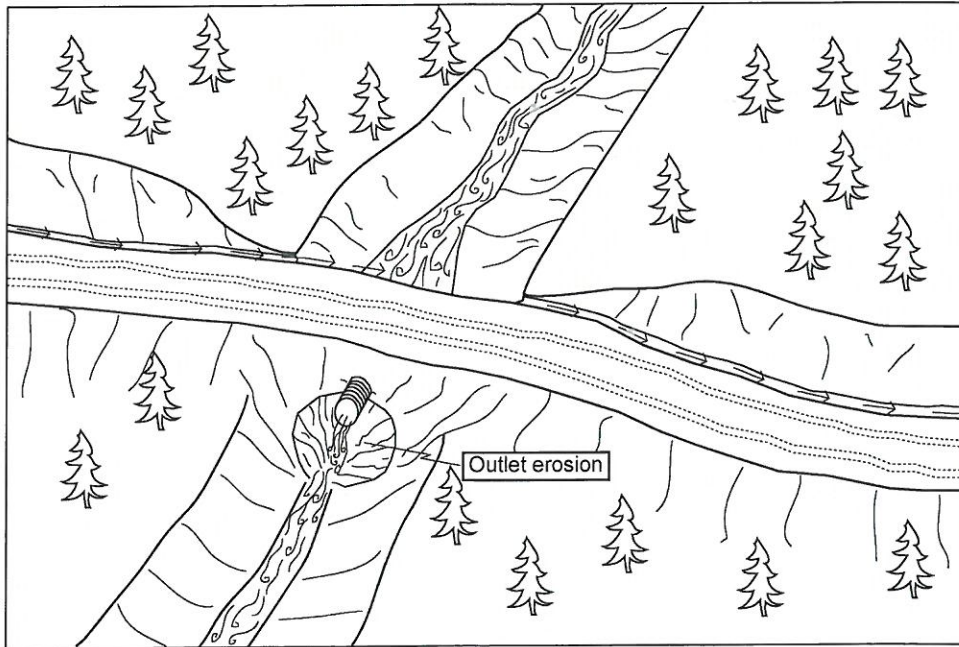


Pacific Watershed Associates Inc.

Geologic and Geomorphic Studies • Watershed Restoration • Wildland Hydrology • Erosion Control • Environmental Services  
PO Box 4433, Arcata, CA 95518 / Ph: 707-839-5130 / FAX: 707-839-8168 / [www.pacificwatershed.com](http://www.pacificwatershed.com)

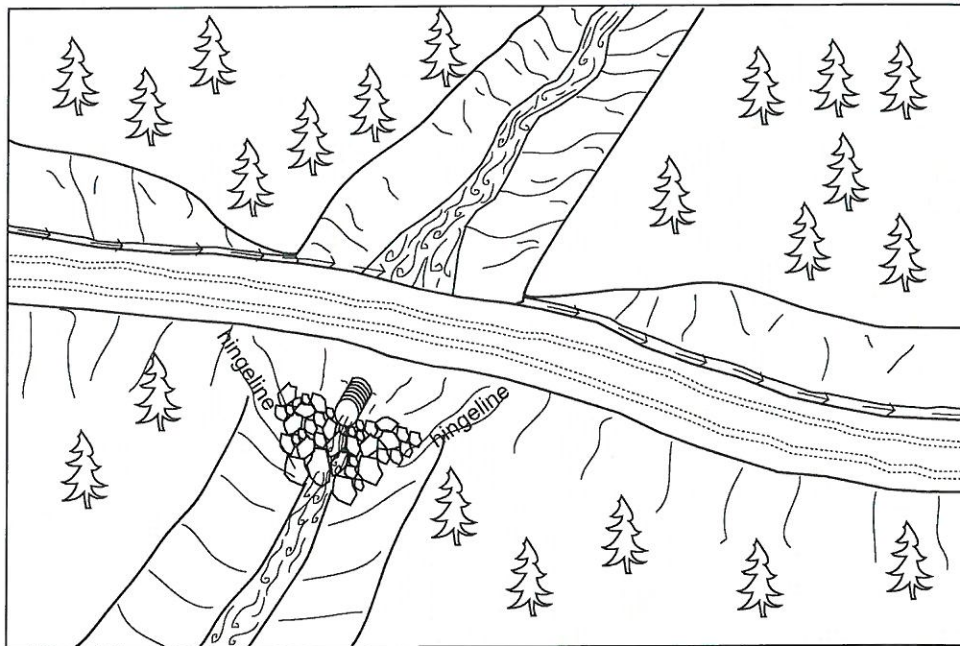
PWA Typical Drawing #1a

## Armoring Fill Faces to Upgrade Stream Crossings



**Problem:** Culvert set high in outboard fill has resulted in scour of the outboard fill face and natural channel.

**Conditions:** The existing stream crossing has a culvert sufficient in diameter to manage design stream flows and has a functional life.



**Action:** The area of scour is backfilled with rip-rap to provide protection in the form of energy dissipation for the remaining fill face and channel.

**Treatment Specifications:**

- 1) Placement of rip-rap should be between the left and right hingelines and extend from a keyway excavated below the existing channel base level at the base of the fill slope up and under the existing culvert.
- 2) Rock size and volume is determined on a site by site basis based on estimated discharge and existing stream bed particle size range (See accompanying road log).

Pacific Watershed Associates Inc.

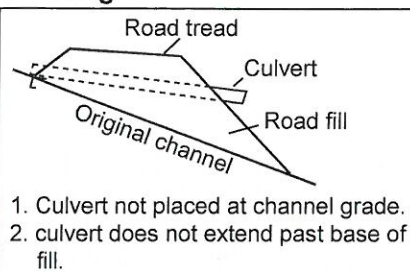
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PWA Typical Drawing #1b

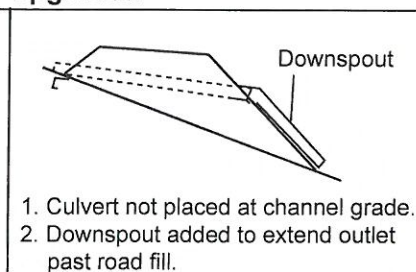


## Typical Design of a Non-fish Bearing Culverted Stream Crossing

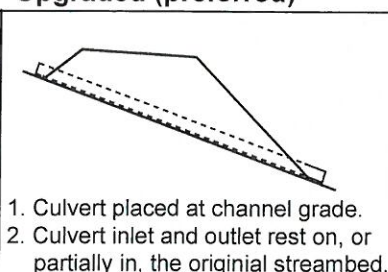
### Existing



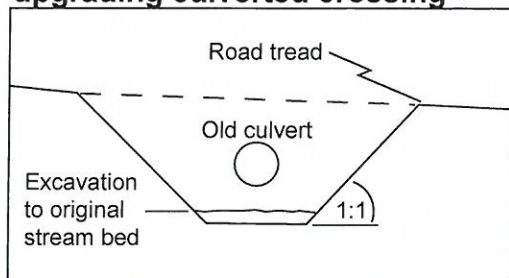
### Upgraded



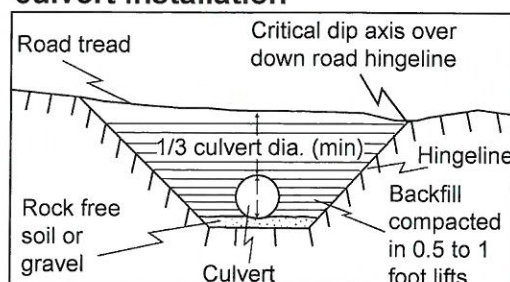
### Upgraded (preferred)



### Excavation in preparation for upgrading culverted crossing



### Upgraded stream crossing culvert installation



#### Note:

Road upgrading tasks typically include upgrading stream crossings by installing larger culverts and inlet protection (trash barriers) to prevent plugging. Culvert sizing for the 100-year peak storm flow should be determined by both field observation and calculations using a procedure such as the Rational Formula.

### Stream crossing culvert Installation

1. Culverts shall be aligned with natural stream channels to ensure proper function, and prevent bank erosion and plugging by debris.
2. Culverts shall be placed at the base of the fill and the grade of the original streambed, or downspouted past the base of the fill.
3. Culverts shall be set slightly below the original stream grade so that the water drops several inches as it enters the pipe.
5. To allow for sagging after burial, a camber shall be between 1.5 to 3 inches per 10 feet culvert pipe length.
6. Backfill material shall be free of rocks, limbs or other debris that could dent or puncture the pipe or allow water to seep around pipe.
7. First one end then the other end of the culvert shall be covered and secured. The center is covered last.
8. Backfill material shall be tamped and compacted throughout the entire process:
  - Base and side wall material will be compacted before the pipe is placed in its bed.
  - Backfill compacting will be done in 0.5 - 1 foot lifts until 1/3 of the diameter of the culvert has been covered. A gas powered tamper can be used for this work.
9. Inlets and outlets shall be armored with rock or mulched and seeded with grass as needed.
10. Trash protectors shall be installed just upstream from the culvert where there is a hazard of floating debris plugging the culvert.
11. Layers of fill will be pushed over the crossing until the final designed road grade is achieved, at a minimum of 1/3 to 1/2 the culvert diameter.

### Erosion control measures for culvert replacement

Both mechanical and vegetative measures will be employed to minimize accelerated erosion from stream crossing and ditch relief culvert upgrading. Erosion control measures implemented will be evaluated on a site by site basis. Erosion control measures include but are not limited to:

1. Minimizing soil exposure by limiting excavation areas and heavy equipment disturbance.
2. Installing filter windrows of slash at the base of the road fill to minimize the movement of eroded soil to downslope areas and stream channels.
3. Retaining rooted trees and shrubs at the base of the fill as "anchor" for the fill and filter windrows.
4. Bare slopes created by construction operations will be protected until vegetation can stabilize the surface. Surface erosion on exposed cuts and fills will be minimized by mulching, seeding, planting, compacting, armoring, and/or benching prior to the first rains.
5. Excess or unusable soil will be stored in long term spoil disposal locations that are not limited by factors such as excessive moisture, steep slopes greater than 10%, archeology potential, or proximity to a watercourse.
6. On running streams, water will be pumped or diverted past the crossing and into the downstream channel during the construction process.
7. Straw bales and/or silt fencing will be employed where necessary to control runoff within the construction zone.

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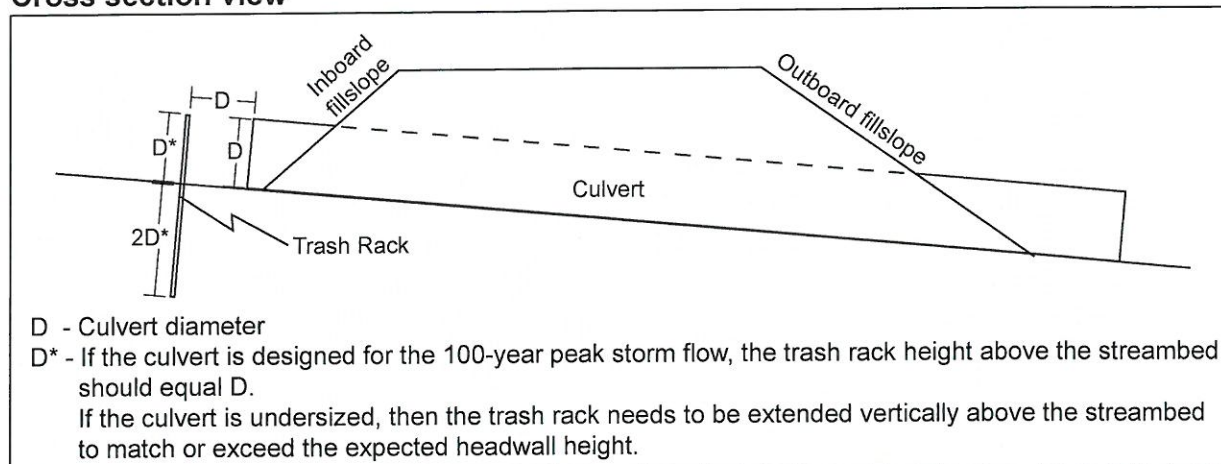
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## Typical Drawing #2



## Typical Design of a Single-post Culvert Inlet Trash Rack

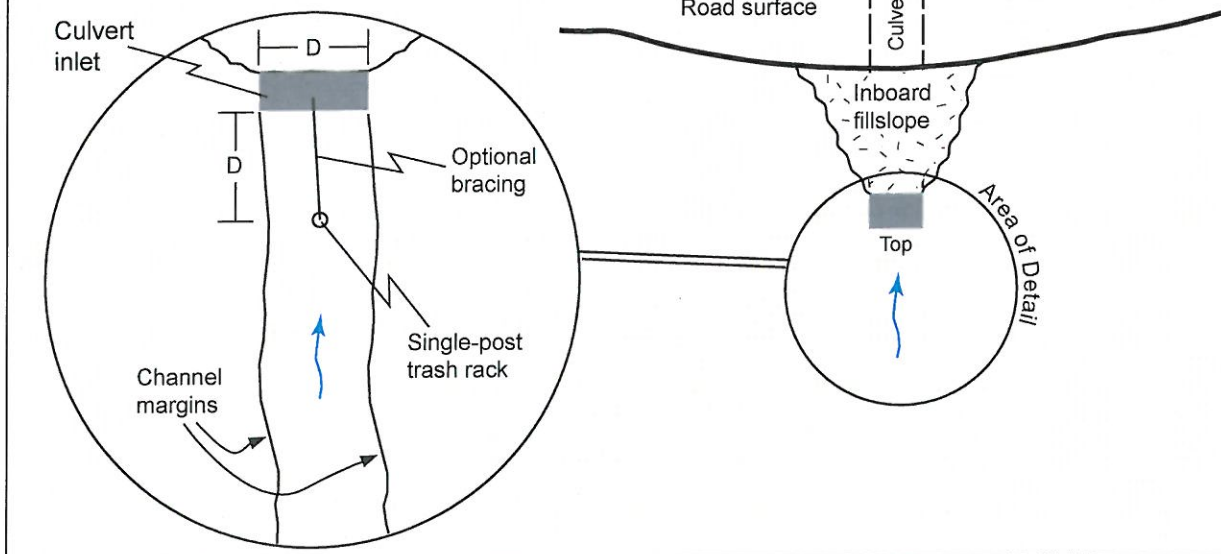
### Cross section view



### Plan view

#### Notes:

1. Many materials can be used for a single-post trash rack including old railroad track, galvanized pipe, and fence posts.
2. The diameter of single-post trash racks should be sized based on the size of expected woody debris. As a basic rule of thumb, the diameter of the trash rack should be equal to the diameter of the expected woody debris up to 4 inches.

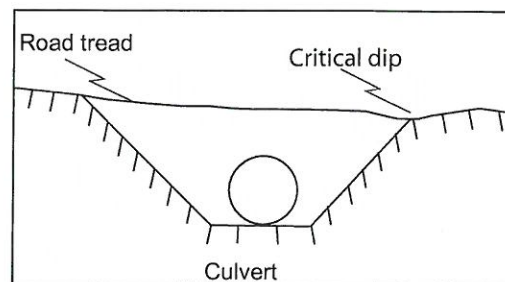
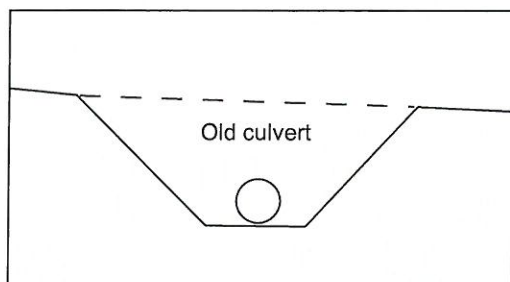


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**Typical Drawing #3**

## Typical Design of Upgraded Stream Crossings



### Stream crossing culvert Installation

1. Culverts shall be aligned with natural stream channels to ensure proper function, and prevent bank erosion and plugging by debris.
2. Culverts shall be placed at the base of the fill and the grade of the original streambed or downspouted past the base of the fill.
3. Culverts shall be set slightly below the original stream grade so that the water drops several inches as it enters the pipe.
5. To allow for sagging after burial, a camber shall be between 1.5 to 3 inches per 10 feet culvert pipe length.
6. Backfill material shall be free of rocks, limbs or other debris that could dent or puncture the pipe or allow water to seep around pipe.
7. First one end and then the other end of the culvert shall be covered and secured. The center is covered last.
8. Backfill material shall be tamped and compacted throughout the entire process:
  - Base and side wall material will be compacted before the pipe is placed in its bed.
  - backfill compacting will be done in 0.5 - 1 foot lifts until 1/3 of the diameter of the culvert has been covered. A gas powered tamper can be used for this work.
9. Inlets and outlets shall be armored with rock or mulched and seeded with grass as needed.
10. Trash protectors shall be installed just upstream from the culvert where there is a hazard of floating debris plugging the culvert.
11. Layers of fill will be pushed over the crossing until the final designed road grade is achieved, at a minimum of 1/3 to 1/2 the culvert diameter.

#### Note:

Road upgrading tasks typically include upgrading stream crossings by installing larger culverts and inlet protection (trash barriers) to prevent plugging. Culvert sizing for the 100-year peak storm flow should be determined by both field observation and calculations using a procedure such as the Rational Formula.

### Armoring fill faces

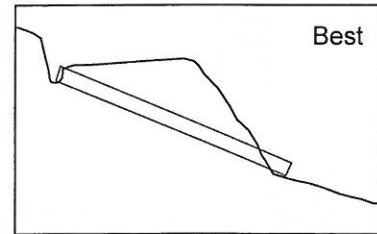
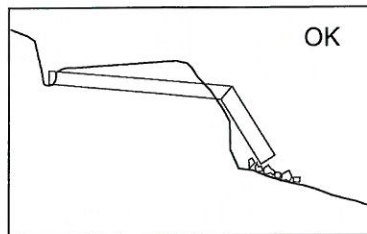
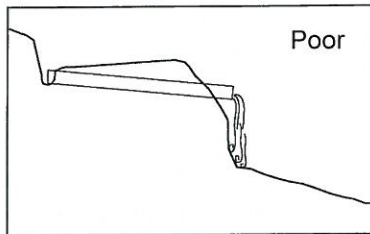
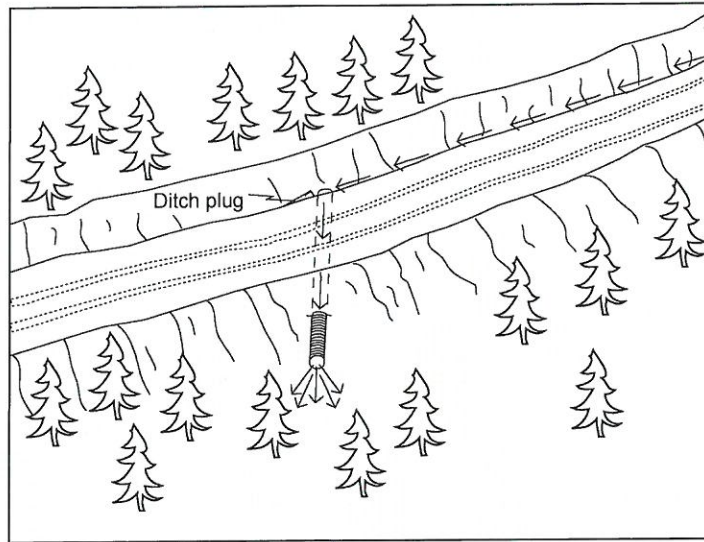
Fill angles $\leq 2:1$	Fill angles (between 2:1 & 1.5:1)	Fill angles (between 1.5:1 & 1:1)
<p>No rock armor needed</p>	<p>Armor 1/4 up fill face</p>	<p>Armor 3/4 way up fill face</p>

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PWA Typical Drawing #4

## Typical Ditch Relief Culvert Installation



### Ditch relief culvert installation

- 1) The same basic steps followed for stream crossing installation shall be employed.
- 2) Culverts shall be installed at a 30 degree angle to the ditch to lessen the chance of inlet erosion and plugging.
- 3) Culverts shall be seated on the natural slope or at a minimum depth of 5 feet at the outside edge of the road, whichever is less.
- 4) At a minimum, culverts shall be installed at a slope of 2 to 4 percent steeper than the approaching ditch grade, or at least 5 inches every 10 feet.
- 5) Backfill shall be compacted from the bed to a depth of 1 foot or 1/3 of the culvert diameter, whichever is greater, over the top of the culvert.
- 6) Culvert outlets shall extend beyond the base of the road fill (or a flume downspout will be used). Culverts will be seated on the natural slope or at a depth of 5 feet at the outside edge of the road, whichever is less.

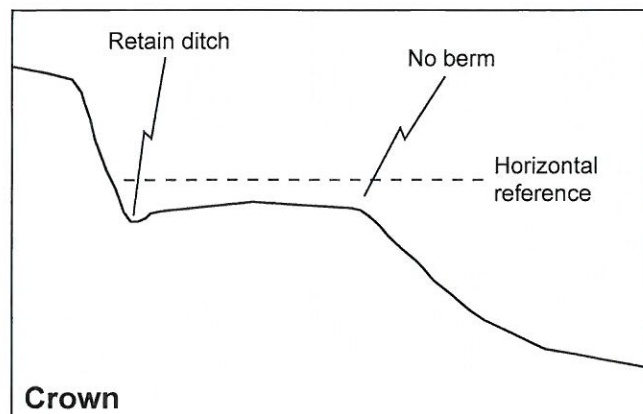
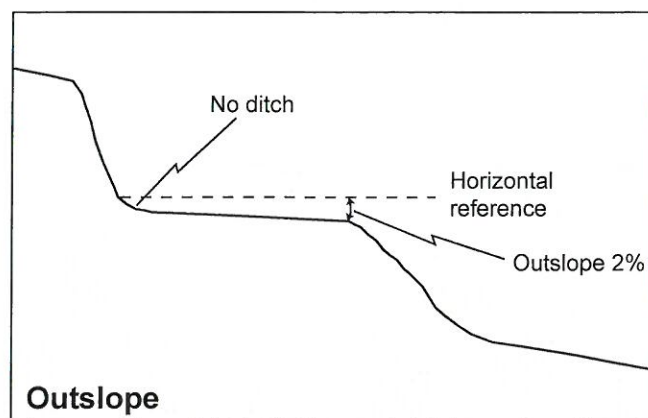
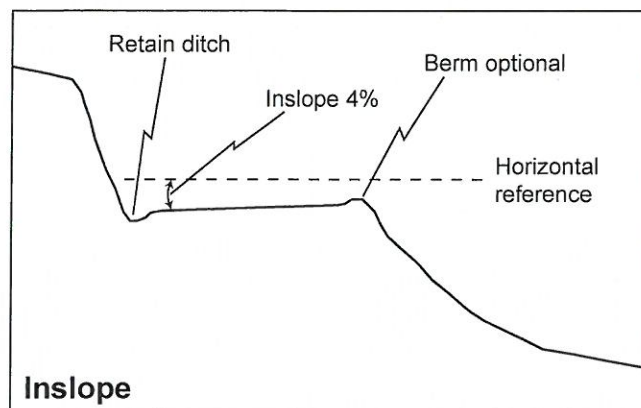
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**Typical Drawing #8**



## Typical Designs for Using Road Shape to Control Road Runoff



Outsloping Pitch for Roads Up to 8% Grade		
Road grade	Unsurfaced roads	Surfaced roads
4% or less	3/8" per foot	1/2" per foot
5%	1/2" per foot	5/8" per foot
6%	5/8" per foot	3/4" per foot
7%	3/4" per foot	7/8" per foot
8% or more	1" per foot	1 1/4" per foot

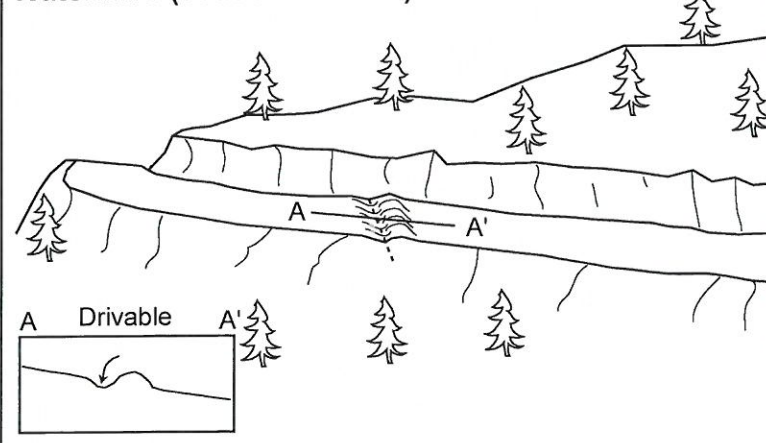
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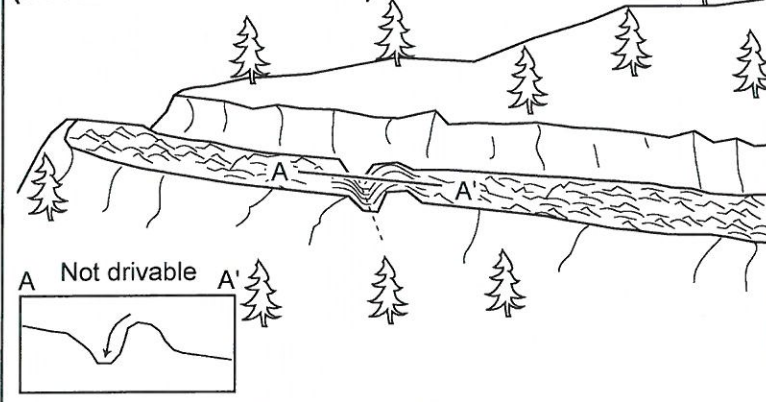
**Typical Drawing #9**

## Typical Methods for Dispersing Road Surface Runoff with Waterbars, Cross-road Drains, and Rolling Dips

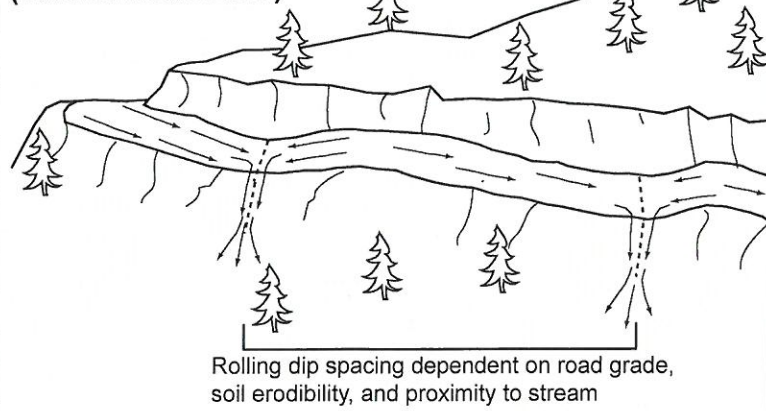
**Waterbars (seasonal roads)**



**Cross-road drain and decompaction (decommissioned roads)**



**Rolling dips (maintained roads)**

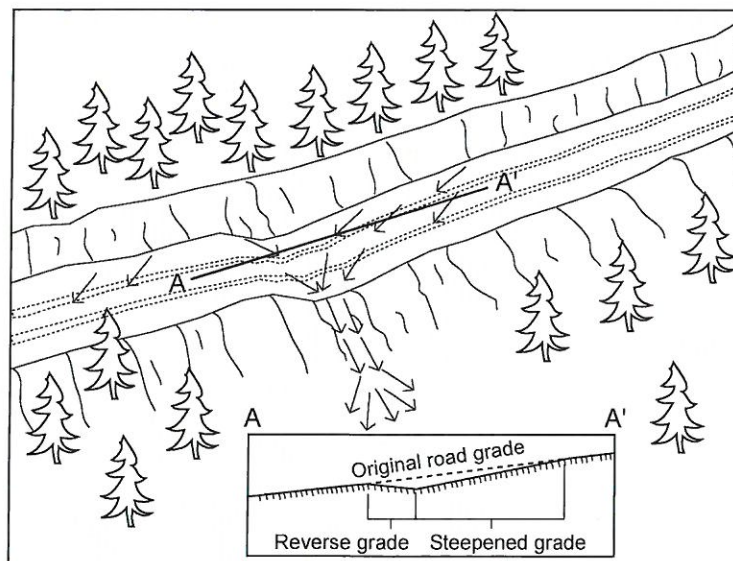


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**Typical Drawing #10**

## Typical Road Surface Drainage by Rolling Dips



### Rolling dip installation:

1. Rolling dips will be installed in the roadbed as needed to drain the road surface.
2. Rolling dips will be sloped either into the ditch or to the outside of the road edge as required to properly drain the road.
3. Rolling dips are usually built at 30 to 45 degree angles to the road alignment with cross road grade of at least 1% greater than the grade of the road.
4. Excavation for the dips will be done with a medium-size bulldozer or similar equipment.
5. Excavation of the dips will begin 50 to 100 feet up road from where the axis of the dip is planned as per guidelines established in the rolling dip dimensions table.
6. Material will be progressively excavated from the roadbed, steepening the grade until the axis is reached.
7. The depth of the dip will be determined by the grade of the road (see table below).
8. On the down road side of the rolling dip axis, a grade change will be installed to prevent the runoff from continuing down the road (see figure above).
9. The rise in the reverse grade will be carried for about 10 to 20 feet and then return to the original slope.
10. The transition from axis to bottom, through rising grade to falling grade, will be in a road distance of at least 15 to 30 feet.

**Table of rolling dip dimensions by road grade**

Road grade %	Upslope approach distance (from up road start to trough) ft	Reverse grade distance (from trough to crest) ft	Depth at trough outlet (below average road grade) ft	Depth at trough inlet (below average road grade) ft
<6	55	15 - 20	0.9	0.3
8	65	15 - 20	1.0	0.2
10	75	15 - 20	1.1	0.01
12	85	20 - 25	1.2	0.01
>12	100	20 - 25	1.3	0.01

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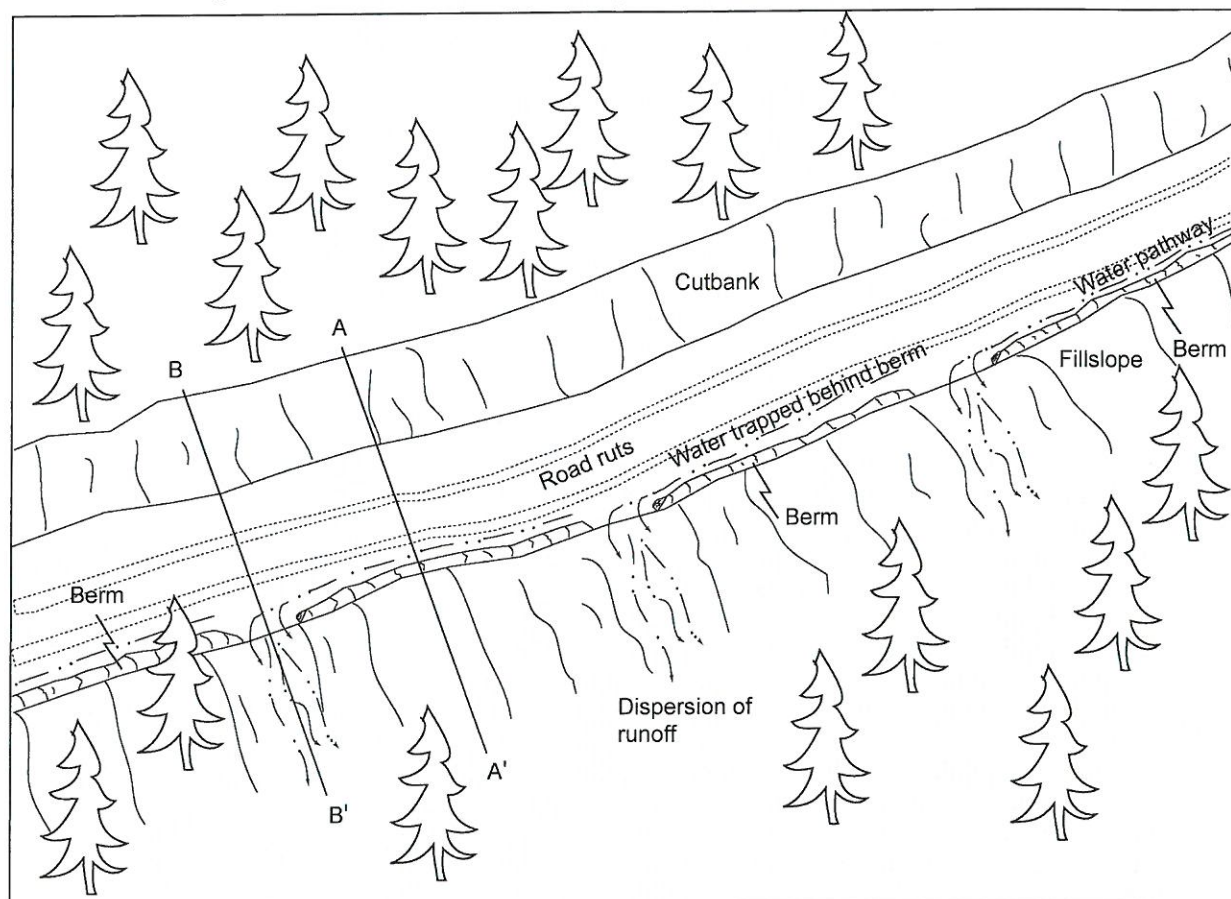
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**Typical Drawing #11**

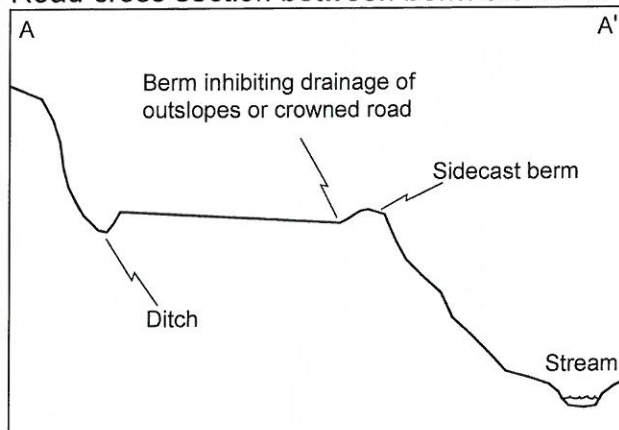


## Typical Sidecast or Excavation Methods for Removing Outboard Berms on a Maintained Road

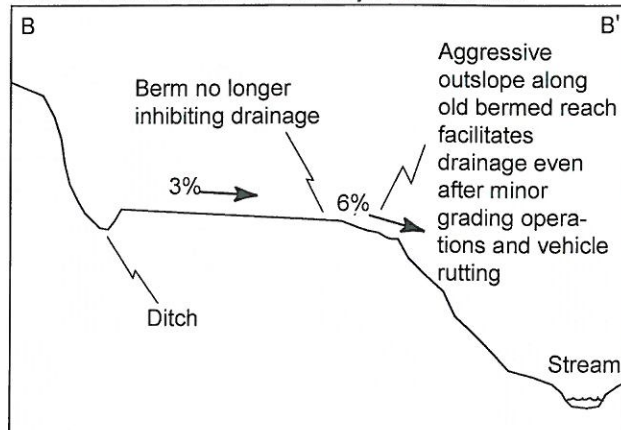
1. On gentle road segments berms can be removed continuously (see B-B').
2. On steep road segments, where safety is a concern, the berm can be frequently breached (see A-A' & B-B').  
Berm breaches should be spaced every 30 to 100 feet to provide adequate drainage of the road system while maintaining a semi-continuous berm for vehicle safety.



Road cross section between berm breaches



Road cross section at berm breaches



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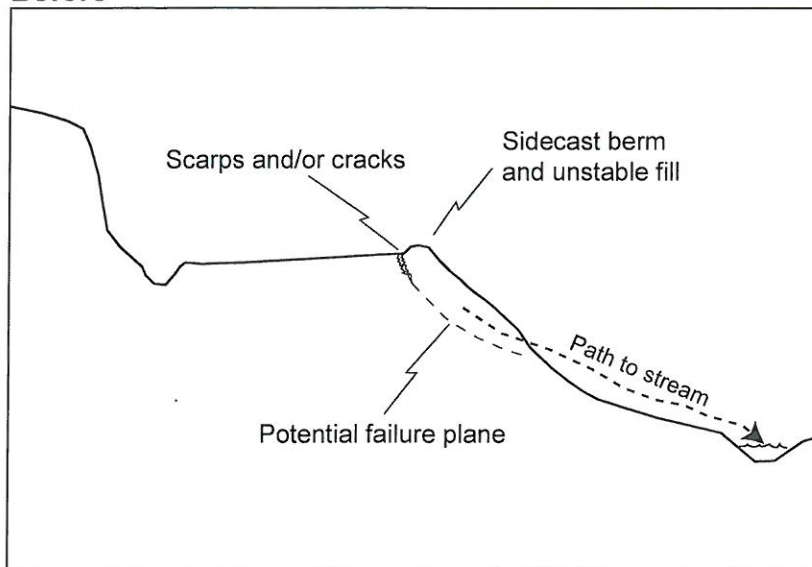
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**Typical Drawing #12**

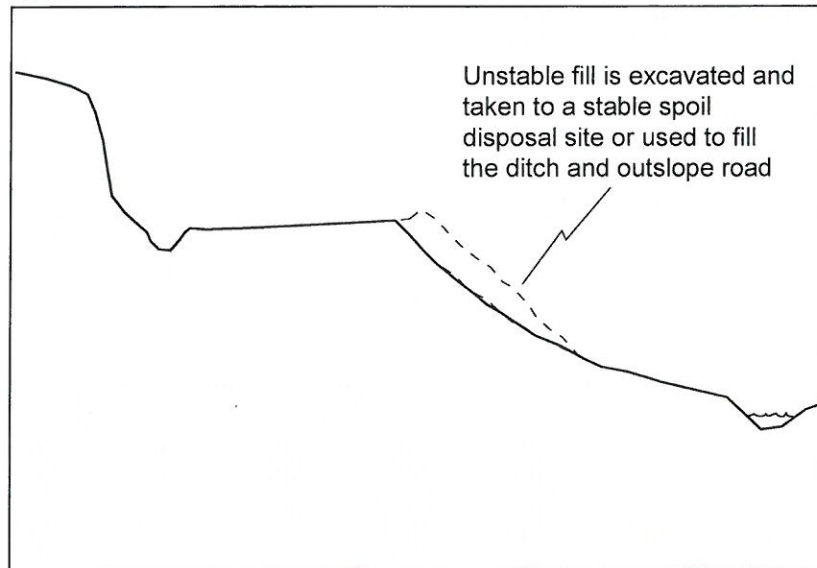


## Typical Excavation of Unstable Fillslope on an Upgraded Road

**Before**



**After**

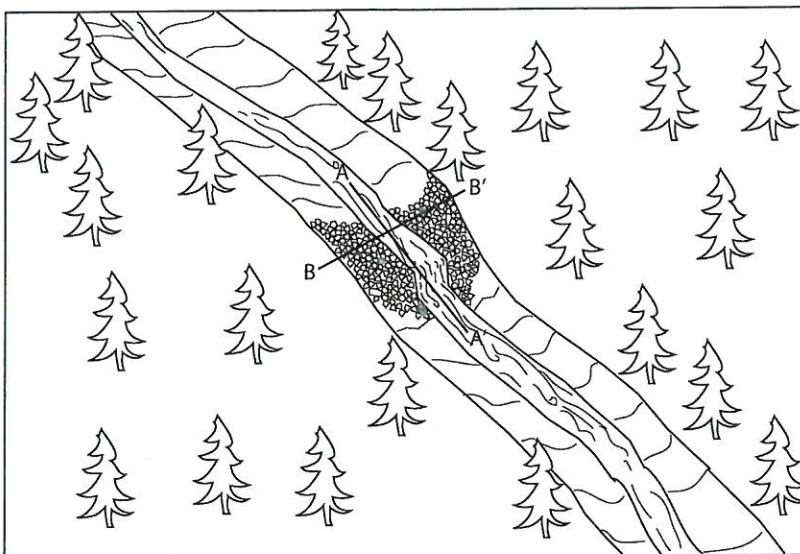


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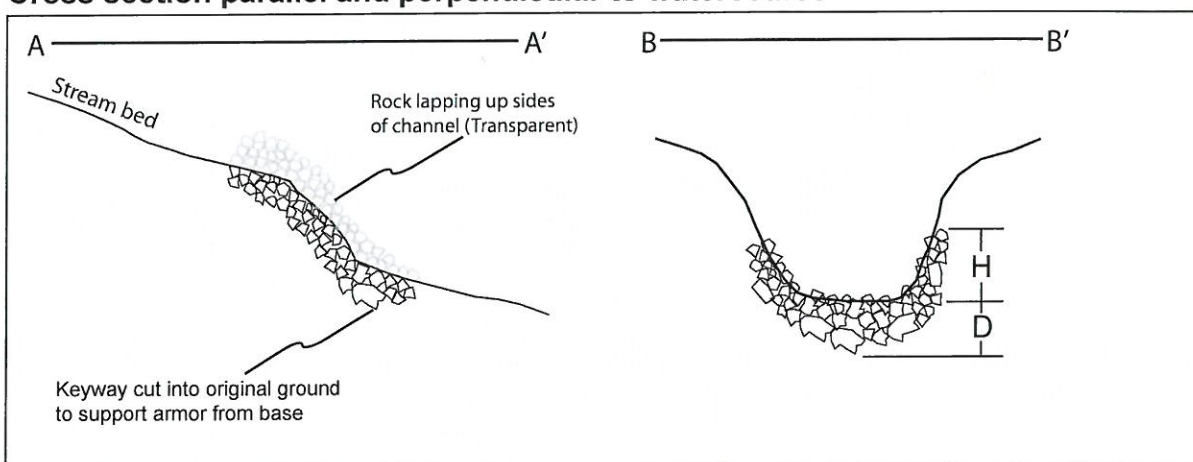
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**Typical Drawing #13**

## Typical Rock Grade Control Structure Installation in a non-fish bearing Stream Channel



### Cross section parallel and perpendicular to watercourse



### Notes

The main objective is to create a structure that will not be flanked, undercut, or eroded by the stream

The critical elements of a successful grade control structure are:

- 1) rock selection- rock should be selected that is resistant to abrasion and physical disintegration and has a mixture of sizes with the largest size larger than the D100 of the stream.
- 2) The rock must be placed in a "U" shape that will confine the 100 yr. return interval stream flow and won't restrict the channel
- 3) The rock must be imbedded into the channel at least two rock diameters thick
- 4) The largest rock should be used at the base of the grade control structure to buttress the other rock

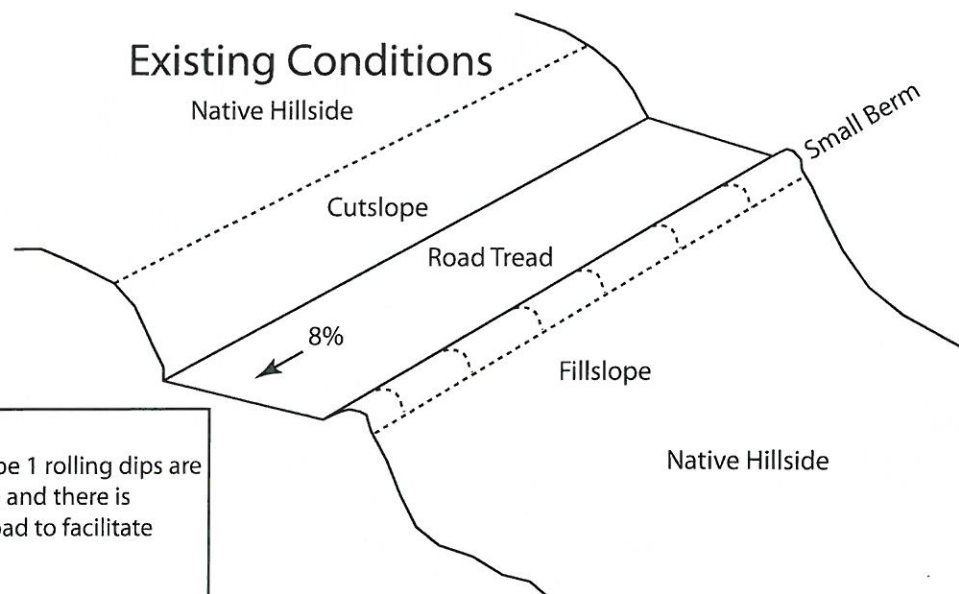
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**PWA Typical Drawing #18**

# Rolling Dip Construction (Type 1)

## Existing Conditions



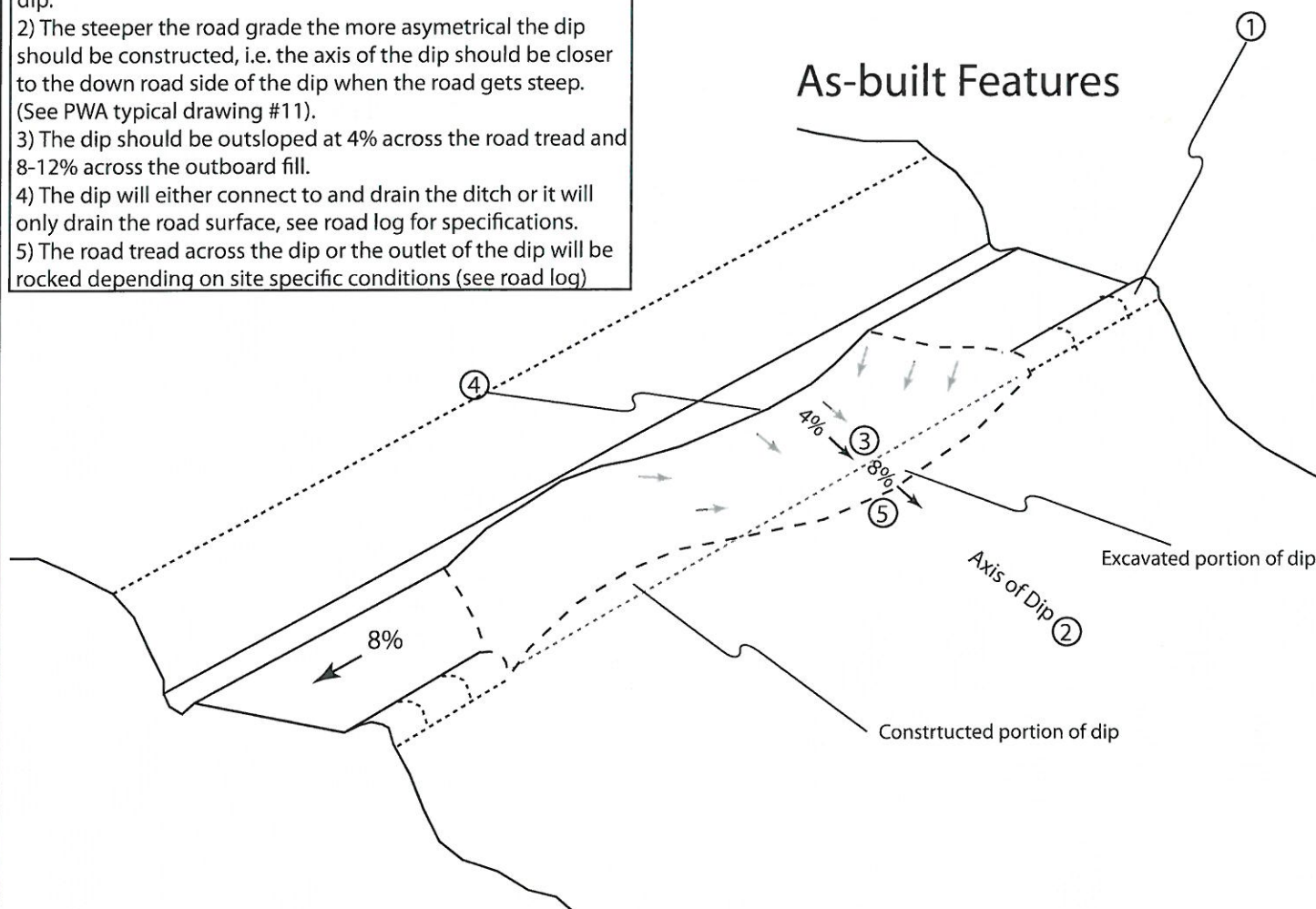
### Notes

**Rolling dip type 1 existing conditions:** Type 1 rolling dips are utilized when roads are less than 12% grade and there is proximal outfall adjacent to the outboard road to facilitate road drainage.

#### Design Notes:

- 1) The berm should be removed for the entire length of the dip.
- 2) The steeper the road grade the more asymmetrical the dip should be constructed, i.e. the axis of the dip should be closer to the down road side of the dip when the road gets steep. (See PWA typical drawing #11).
- 3) The dip should be outsloped at 4% across the road tread and 8-12% across the outboard fill.
- 4) The dip will either connect to and drain the ditch or it will only drain the road surface, see road log for specifications.
- 5) The road tread across the dip or the outlet of the dip will be rock depending on site specific conditions (see road log)

## As-built Features



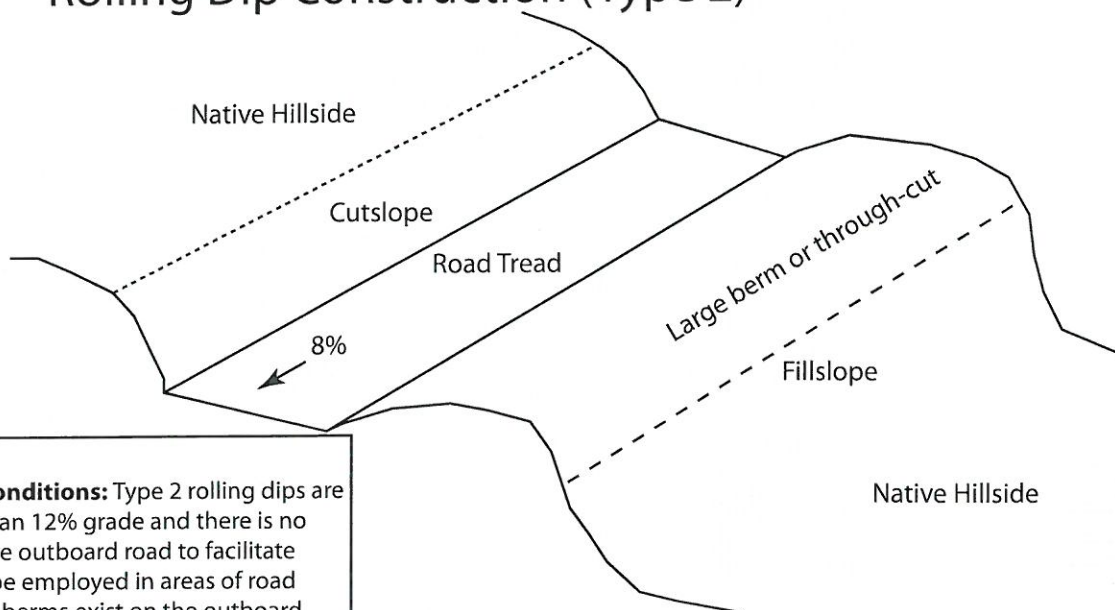
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PWA Typical Drawing #19a



# Rolling Dip Construction (Type 2)



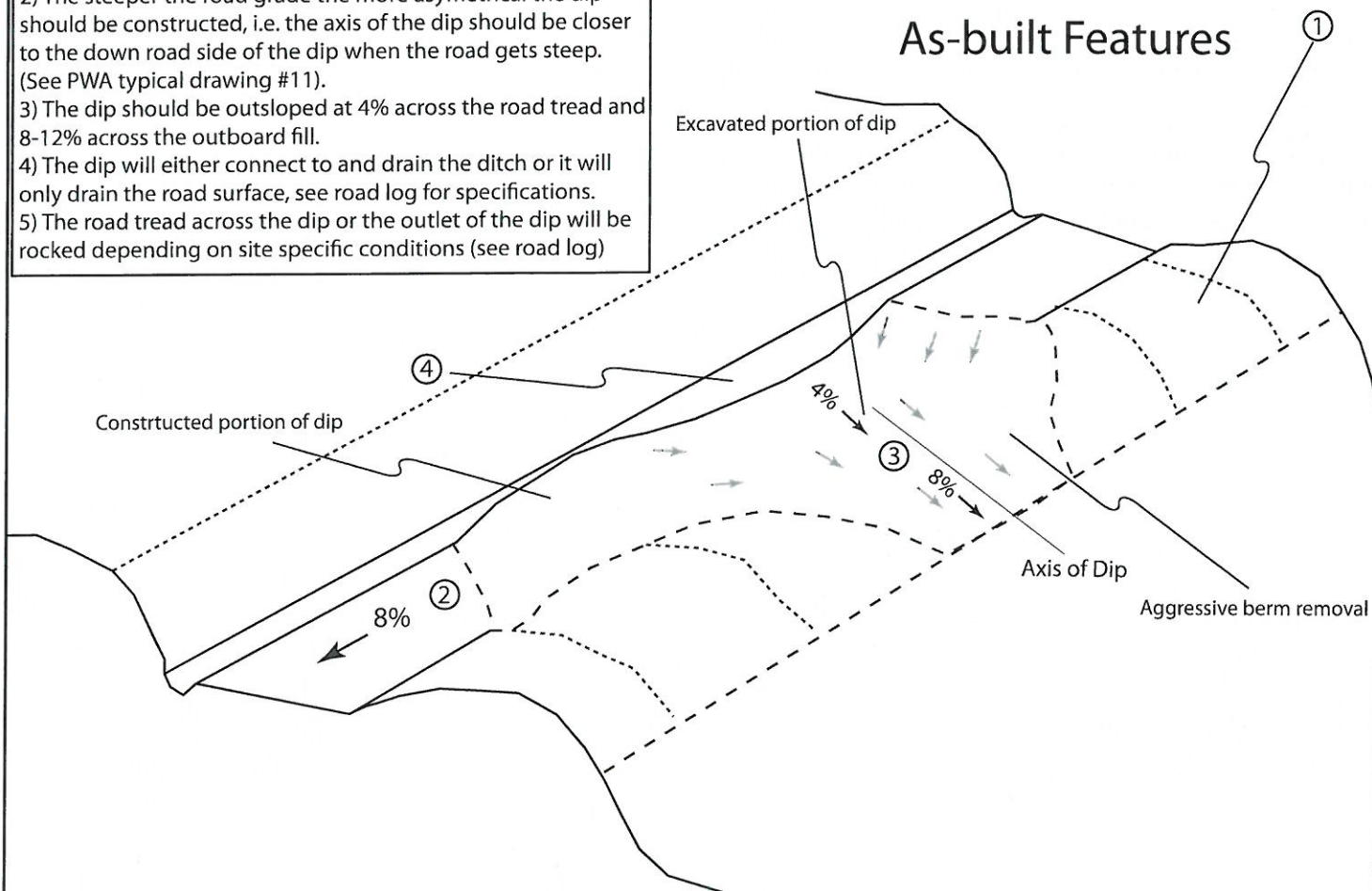
## Notes

**Rolling dip type 2 existing conditions:** Type 2 rolling dips are utilized when roads are less than 12% grade and there is no proximal outfall adjacent to the outboard road to facilitate road drainage. These should be employed in areas of road through-cuts and where large berms exist on the outboard road

## Design Notes:

- 1) The berm should be removed for the entire length of the excavated portion of the dip.
- 2) The steeper the road grade the more asymmetrical the dip should be constructed, i.e. the axis of the dip should be closer to the down road side of the dip when the road gets steep. (See PWA typical drawing #11).
- 3) The dip should be outsloped at 4% across the road tread and 8-12% across the outboard fill.
- 4) The dip will either connect to and drain the ditch or it will only drain the road surface, see road log for specifications.
- 5) The road tread across the dip or the outlet of the dip will be rocked depending on site specific conditions (see road log)

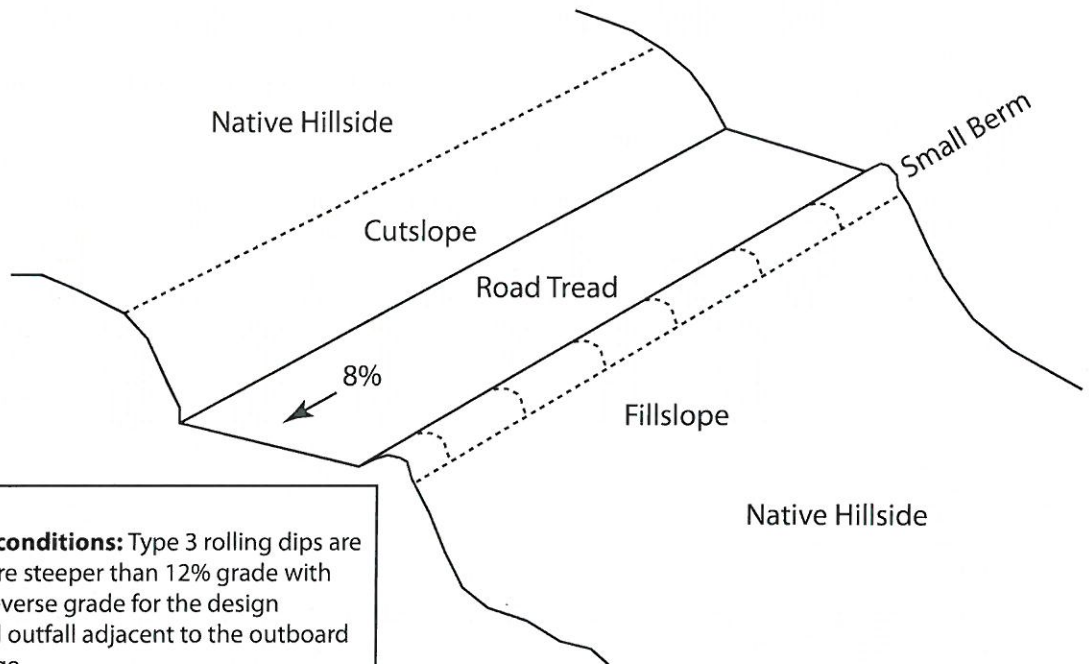
## As-built Features



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# Rolling Dip Construction (Type 3, aggressive outslope)

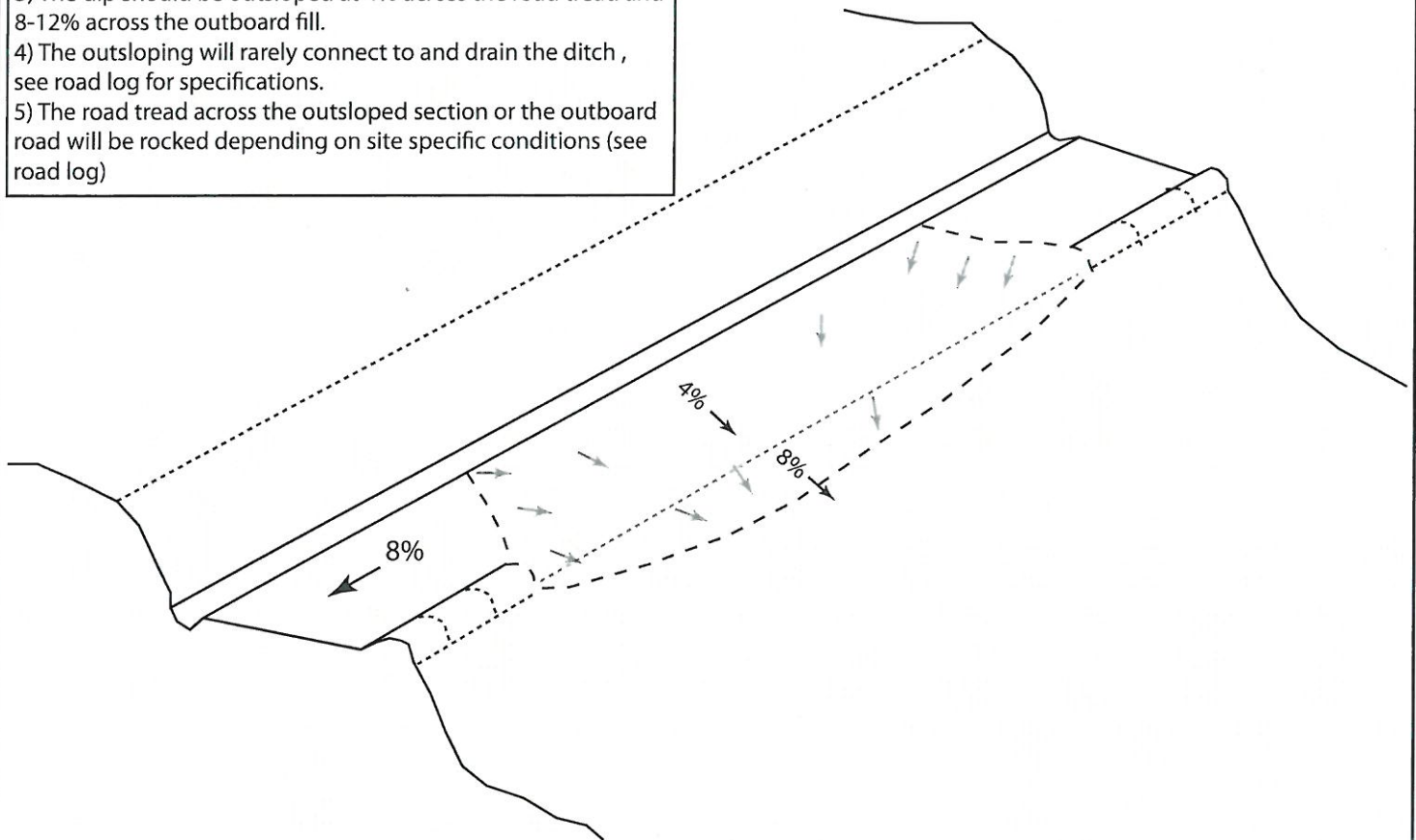


## Notes

**Rolling dip type 3 existing conditions:** Type 3 rolling dips are utilized when roads grades are steeper than 12% grade with little opportunity to create reverse grade for the design vehicle, and there is proximal outfall adjacent to the outboard road to facilitate road drainage.

### Design Notes:

- 1) The berm should be removed for the entire length of the outsloped section.
- 3) The dip should be outsloped at 4% across the road tread and 8-12% across the outboard fill.
- 4) The outsloping will rarely connect to and drain the ditch, see road log for specifications.
- 5) The road tread across the outsloped section or the outboard road will be rocked depending on site specific conditions (see road log)

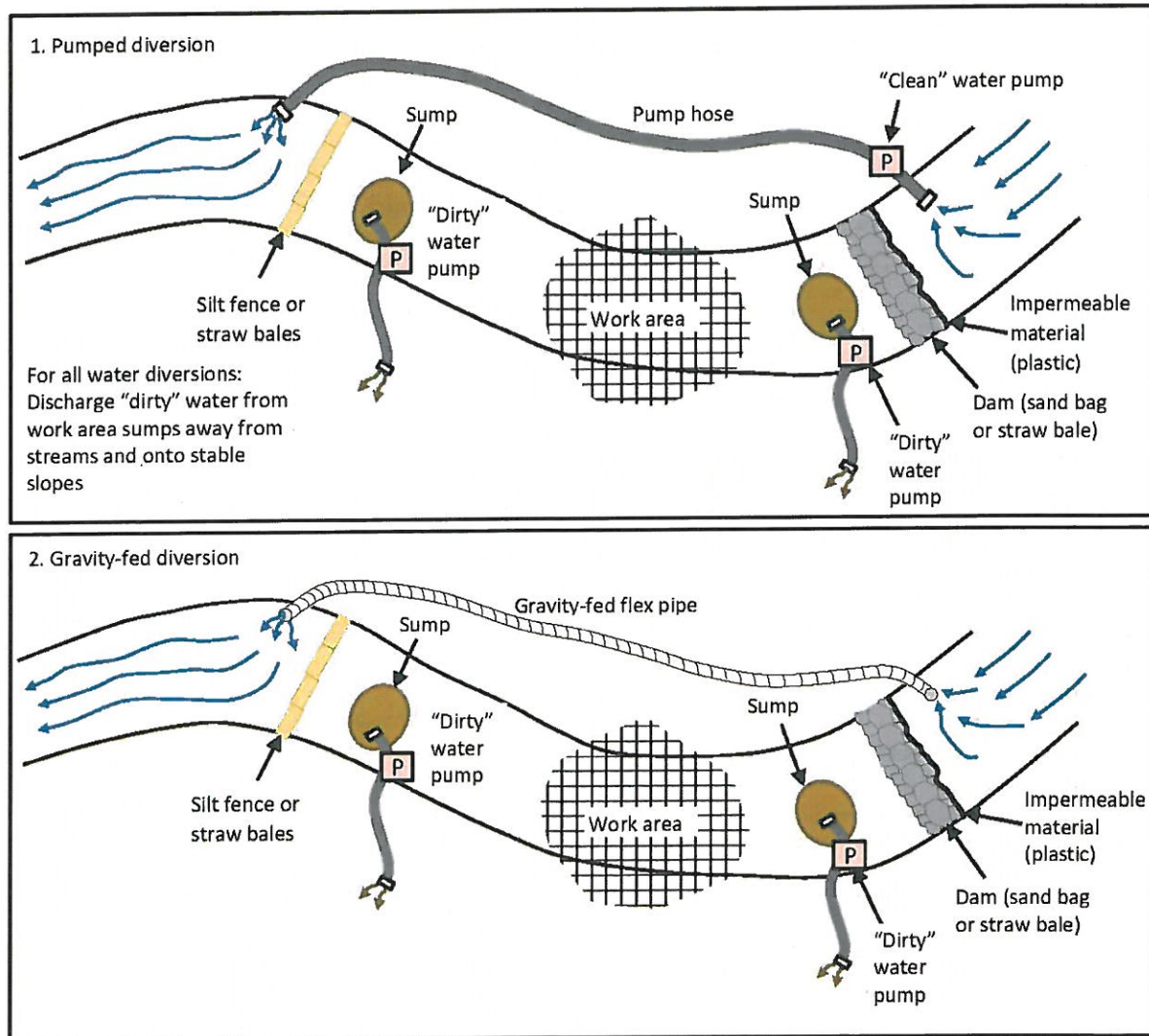


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## Typical Design for De-watering Streams



### Stream crossing de-watering

Prior to working in and around the active stream channel, proper stream dewatering and avoidance of increasing downstream turbidity should be employed. Stream flows will be isolated upstream of the work area using cofferdams and transported downstream / around the work site through either a pumped diversion (Type 1) or by gravity diversion (Type 2) to keep the stream "live" (flowing) below the work area. An additional dam will be installed downstream of the work areas to capture any subsurface flow that might travel through the construction area. Any "dirty" water will be collected at this location and pumped away from the site where it can infiltrate into the ground without the potential to delivery to the stream and/or be used to wet fill being deposited in the spoil disposal areas.

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# Cultivation and Operations Plan



## 1 DESCRIPTION OF CULTIVATION ACTIVITIES

HogTrap Farms LLC is seeking Humboldt County CCMLUO for 10,000 square foot of existing outdoor, with no artificial lighting (light deprivation only.) The irrigation water source is a rainwater catchment pond onsite with a 2 million gallon capacity. Estimated annual water use is 114,050 gallons. Water storage consists of the aforementioned pond plus 3 HDPE tanks totaling in an off-stream storage of 2,008,500 gallons. Drying and curing will take place in the onsite Drying Barn.

## 2 WATER

### Water source + Storage:

Primary water source is a 2,000,000 gallon rainwater catchment pond. There are 3 HDPE water storage tanks with a total capacity of 8,500 gallons onsite for storage/gravity feed. One of the 3,000-gallon HDPE tank on site dedicated to fire suppression. Total storage is 2,008,500 gallons of onsite storage.

### Irrigation Plan:

All irrigation of cannabis is completed by a timed, drip irrigation system preventing any over watering or runoff. The Applicant utilizes time of day watering, and moisture retentive soils for water conservation. Water is applied at no more than agronomic rates. No runoff is produced by irrigation practices.

### Projected Water Usage:

Estimated 114,050 gallons of water per growing season. See table below for monthly water use. 2 million gallon pond water storage is shared with APN 281-071-003.

Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Oct	Nov	Dec
0	0	0	4450	11100	20000	22000	24000	22000	10500	0	0

Water usage will be recorded monthly and reported annually pursuant to the Water Board, CDFW, DWR, and/or any other relevant agency requirements.

### 3 SITE CHARACTERISTICS

---

Project site occupies a flat ridgeline, cultivation areas are on slopes less than 15%, and is relatively far (>200ft) from any surface waters. The road network consists of a driveway (Hog Trap Road) and multiple access roads. There are frequent road drainage features that eliminate sediment delivery to surface waters. There are permanent rolling dips to ensure road surface erosion is adequately controlled.

Much of the project site is covered with second growth forests and buffers of native vegetation are maintained around all cultivation areas. Most of the parcel is covered by trees and perennial bushes and is conserved as wilderness.

All access onsite are well-maintained with adequate drainage to address runoff and erosion. Site is in compliance with all Water Board standards and is monitored and maintained regularly following all Best Management Practices.

Site is well vegetated with stable, undisturbed soils. Any exposed or disturbed areas of soil that are found during routine inspection shall be reseeded and mulched with straw and shall be monitored and maintained to promote revegetation. Erosion control measures (hay waddles, straw bales, etc.) are implemented on an as-needed basis prior to each rainy season to help minimize sediment discharge, in accordance with Water Board standards.

### 4 WATERSHED + HABITAT PROTECTION

---

Project site occupies a flat ridgeline, cultivation areas are on slopes less than 15%, and is relatively far (>200ft) from any surface waters. The road network consists of a driveway (Hog Trap Road) and multiple access roads. There are frequent road drainage features that eliminate sediment delivery to surface waters. There are permanent rolling dips to ensure road surface erosion is adequately controlled.

Applicant is enrolled in Water Board's Cannabis program continuously since 2016. Maintains compliance with all program requirements and fees.

All trash, recycling, amendments, fertilizers, and other cultivation related materials are stored such that they are secured from wildlife and cannot be released into the natural environment.

Buffers of natural vegetation and habitat are maintained around all areas of human activity. The majority of parcel is undeveloped and conserved in a wild state.

Cultivation areas will be maintained to prevent nutrients from leaving the site at all times:

during the growing season and post-harvest.

## 5 STORAGE + HAZARDOUS MATERIALS

---

Shed onsite for storage of fertilizers, pesticides, and other regulated products is in accordance with best practices, including storage within an enclosed space to prevent surface water contamination.

All cultivation related items and wastes are stored in locations and in a manner in which they cannot enter or be transported into surface waters and such that nutrients or other pollutants cannot be leached into groundwater, and cannot enter the environment.

Area has posted instructions for proper storage of all materials kept here in addition to Spill Prevention, Control, and Countermeasure (SPCC) Plan and kit onsite with all necessary items for cleaning up spills.

### **Amendments and Nutrients:**

Amendments will be brought to site and used immediately. No amendment storage onsite.

All other fertilizers, nutrients, etc are stored in shed. Secondary containment provided for all liquid products. All products applied per package directions or more conservative.

### **Pesticides and Herbicides:**

Only OMRI listed and/or approved products will be utilized for pest and disease control. All products are stored in the dry barn. Secondary containment is provided for all liquid products. All products are applied using package directions.

### **Fuels:**

There are 2x250gal propane gas tanks on the property. No other fuels stored onsite.

## 6 SOILS MANAGEMENT

---

The bulk of non-native soils onsite have already been present in the garden areas for multiple seasons and are amended annually. Only nominal amounts of supplemental non-native soils are brought to site each year, if at all. Any new soils brought to site are typically used immediately. Only nominal amounts of soil stored onsite are stored in an enclosure or in accordance with Caltrans Construction Manual Stockpile Management WM-3 guidelines. At the conclusion of each season's activities, the site is winterized. All smart pots and garden beds are mulched with straw to prevent soil transport during the off-season. It is highly unusual to have waste soil onsite. All soils are amended and reused. In the event of there being waste soil or spent growing medium, it will be transported off site and disposed of at a licensed waste facility. Any waste soil/media shall be stored in accordance with Caltrans WM-3 until it can be transported off-site.

## 7 SOLID WASTE/RECYCLING

---

Refuse and garbage is stored in a location and manner that prevents its discharge to receiving water and prevents any leachate or contact water from entering or percolating to receiving waters.

**Storage Area:** Trash and recycling are stored in trash cans with lids in the shed.

**Removal Frequency:** Trash and recycling removed from site at least once weekly or more frequently.

**Disposal Facility:** Redway transfer station.

## 8 GREENHOUSE COMPLIANCE

---

The greenhouses have pervious floors (bare soil) and are in compliance with Humboldt County Code Section 314-43.1.3.2. They do not contain perimeter foundation, do not have improved floors and do not have improved footpaths.

## 9 SCHEDULE OF ACTIVITIES

---

Month	Activities
January	No activity. Infrequent visits for site maintenance.
February	No activity. Infrequent visits for site maintenance.
March	Preparation. Bring materials to site.
April	Bring starts. Plant.
May	Transplanting and site maintenance
June	Farm operation and maintenance
July	Farm operation and maintenance. Harvest
August	Farm operation and maintenance. Replant
September	Farm operation and maintenance. Harvest
October	Harvest
November	Dry. Processing (offsite). Clean up.
December	No activity. Infrequent visits for site maintenance.

## 10 Power Source + Energy Use

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PG+E Service to site. 2- 250 gallon propane tanks used for heat during the drying process.

## 11 OPERATIONS AND PROCESSING PROTOCOLS

---

### Processing Practices:

Plants are harvested and dried in the 2-story Drying Barn located onsite with use of portable dehumidifiers and fans. Curing takes place in a climate-controlled environment. The finished product is then moved to the secured Harvest Storage location.

Dependent upon market conditions, the operator may opt to conduct processing operations offsite, processing onsite, or may opt to not process at all (crop direct to extraction without processing). All operations will comply with all pertinent regulations.

Direct to Extraction (no processing) – crop or portion of crop sold direct to extraction with no processing required.

Offsite Processing – crop or portion of crop sent to licensed processing facility in compliance with all required regulations and documentation.

Onsite Processing – crop or portion of crop processed onsite in the building noted on Site Map as “Drying

Barn” utilizing trim machine. Any onsite processing will comply with all required safety and sanitation practices will be followed including frequent handwashing, and the wearing of gloves and masks.

Any processing activities conducted onsite will follow all applicable regulations and requirements as stated by all agencies with jurisdiction.

**Staffing + Staff Screening Processes**

No employees at this time. Operations conducted by LLC members and immediate family only.

**Days and Hours of Operation**

The facility is not open to the public and will not accept visitors without a specific business purpose.

Hours of operation will typically be from 8 AM to 7 PM. Commercial activities such as shipping and receiving will be limited to 8:00 AM to 6:00 PM. Due to the remote location of the facility and the limited commercial activity window, there are anticipated to be no significant noise or traffic impacts upon the occupants of neighboring properties.

**Safety Practices:** Cultivation and drying procedures implement best practices to the highest degree feasible. There are no employees at this time, if the operation chooses to include employees in the future, it will comply with any other relevant County and State regulations where applicable.

**Safe Drinking Water, Toilets, and Sanitary Facilities**

At all times, there will be access to safe drinking water and toilets and handwashing facilities that comply with applicable federal, state, and local laws and regulations.

Drinking water is supplied by domestic well.

Applicant has contract with B+B portable toilet to provide and maintain toilet and hand-washing facilities in accordance with the requirements of all relevant regulations.

**Increased Road Use:**

Project activities do not present a significant increase in road use.

**Onsite Parking:**

There is ample onsite parking. Three parking spots are noted on the Site Map.

**Onsite Housing:**

No onsite housing.

## 10 SECURITY PLAN

---

The security measures located on the premises will include the following:

- a) Lighting and Surveillance- Motion sensor lighting and game cameras are installed around the facilities.
- b) Alarm —Guard dogs are also present on the property during operations.
- c) Access Control - All entrances to the facility are restricted by locked gates. The remote location of property provides an additional component of security.
- d) Fencing — The cultivation area is fenced for wildlife providing intrusion protection.
- e) All cultivation related items and products will be stored in locked and secured locations.
- f) All Marijuana other than lab samples will be transported to State licensed and/or locally permitted licensed cannabis wholesale, distribution, or manufacturing companies by a State licensed and/or locally permitted licensed transport company.



# HUMBOLDT COUNTY DEPARTMENT OF PUBLIC WORKS ROAD EVALUATION REPORT

**PART A:** *Part A may be completed by the applicant*

Applicant Name: HOGTRAP FARMS APN: 218-081-003

Planning & Building Department Case/File No.: 13356

Road Name: HOG TRAP ROAD *(complete a separate form for each road)*

From Road (Cross street): ISLAND MOUNTAIN ROAD - STATE ROAD #8A020

To Road (Cross street): SUBJECT PARCEL

Length of road segment: 1.1 miles Date Inspected: 7/12/20

Road is maintained by: ☐ County ☒ Other PRIVATE  
(State, Forest Service, National Park, State Park, BLM, Private, Tribal, etc)

Check one of the following:

**Box 1** ☐ The entire road segment is developed to Category 4 road standards (20 feet wide) or better. If checked, then the road is adequate for the proposed use without further review by the applicant.

**Box 2** ☒ The entire road segment is developed to the equivalent of a road category 4 standard. If checked, then the road is adequate for the proposed use without further review by the applicant.

*An equivalent road category 4 standard is defined as a roadway that is generally 20 feet in width, but has pinch points which narrow the road. Pinch points include, but are not limited to, one-lane bridges, trees, large rock outcroppings, culverts, etc. Pinch points must provide visibility where a driver can see oncoming vehicles through the pinch point which allows the oncoming vehicle to stop and wait in a 20 foot wide section of the road for the other vehicle to pass.*

**Box 3** ☐ The entire road segment is not developed to the equivalent of road category 4 or better. The road may or may not be able to accommodate the proposed use and further evaluation is necessary. Part B is to be completed by a Civil Engineer licensed by the State of California.

The statements in PART A are true and correct and have been made by me after personally inspecting and measuring the road. A map showing the location and limits of the road being evaluated in PART A is attached.

DocuSigned by:  
  
Signature \_\_\_\_\_  
E82D371514194C8...

7/17/2020

Date

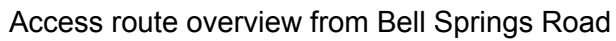
**JOSEPH CIPRIANO**

Name Printed

**Important: Read the instructions before using this form. If you have questions, please call the Dept. of Public Works Land Use Division at 707.445.7205.**



Project Parcel is accessed via Bell Springs Road (County maintained) to Island Mountain Road (County Maintained) to Hogtrap Road (private) - approx 1.1 miles along private road to project site







HOGTRAP ROAD X ISLAND MOUNTAIN



APPROX 0.5 MI DOWN HOGTRAP ROAD





AT PARCEL ENTRY TO CRIMEA - 218-071-003





AT PROJECT PARCEL ENTRY - BEARTOWN

## ATTACHMENT 4

### REFERRAL AGENCY COMMENTS AND RECOMMENDATIONS

The project was referred to the following referral agencies for review and comment. Those agencies that provided written comments are checked off.

Referral Agency	Response	Recommendation	Location
Building Inspection Division	✓	Comments	Attached
Division Environmental Health	✓	Conditional Approval	Attached
Public Works, Land Use Division	✓	Comments	Attached
CAL FIRE	✓	Comments	Attached and Planning staff response to comments
California Department of Fish & Wildlife		No Response	Attached – Planning staff request for comments
Caltrans District 1		No Response	
Northwest Information Center	✓	Further Study	On file and confidential
So. Humboldt Joint Unified School District		No Response	
Humboldt County Sheriff	✓	Approval	
Humboldt County Agricultural Commissioner		No Response	
Humboldt County District Attorney		No Response	
North Coast Unified Air Quality Management District		No Response	
North Coast Regional Water Quality Control Board		No Response	
State Water Resources Control Board – Division of Water Rights		No Response	



DEPARTMENT OF PUBLIC WORKS  
**C O U N T Y   O F   H U M B O L D T**

MAILING ADDRESS: 1106 SECOND STREET, EUREKA, CA 95501-0579  
AREA CODE 707

ON-LINE  
WEB: CO.HUMBOLDT.CA.US

PUBLIC WORKS BUILDING  
SECOND & L ST., EUREKA  
FAX 445-7409

ADMINISTRATION	445-7491	NATURAL RESOURCES	445-7741
BUSINESS	445-7652	NATURAL RESOURCES PLANNING	267-9540
ENGINEERING	445-7377	PARKS	445-7651
FACILITY MANAGEMENT	445-7493	ROADS	445-7421

CLARK COMPLEX  
HARRIS & H ST., EUREKA  
FAX 445-7388

LAND USE	445-7205
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**LAND USE DIVISION INTEROFFICE MEMORANDUM**

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TO: Keenan Hilton, Planner, Planning & Building Department

FROM: Kenneth M. Freed, Assistant Engineer 

DATE: 01/13/2021

RE:

<b>Applicant Name</b>	<b>HOG TRAP FARMS LLC</b>
<b>APN</b>	<b>218-081-003</b>
<b>APPS#</b>	<b>PLN-13356-SP</b>

The Department has reviewed the above project and has the following comments:

- ☐ The Department's recommended conditions of approval are attached as **Exhibit "A"**.
- ☐ Additional information identified on **Exhibit "B"** is required before the Department can review the project. **Please re-refer the project to the Department when all of the requested information has been provided.**
- ☒ Additional review is required by Planning & Building staff for the items on **Exhibit "C"**. **No re-refer is required.**
- ☐ *Road Evaluation Reports(s)* are required; See **Exhibit "D"**.

**Note:** Prior to requesting an applicant to submit a road evaluation report, verify if the project is exempt from meeting road system performance standards under CCLUO v2.0 sections 313-55.4.6.5.1 and 314-55.4.6.5.1, even if this box is checked.

**No re-refer is required.**

\*Note: Exhibits are attached as necessary.

Additional comments/notes:

Review Items #7 and #8 on Exhibit C

Applicant has submitted road evaluation reports, dated 07/17/20, with Part A –Box 2 checked, certifying that the roads are equivalent to a road Category 4 standard.

---

Note: The intersection of Island Mtn Road and Hogtrap Road was improved by a previous cannabis application #10518. Applicant should contact the owner or road maintenance association if they did not participate in completing this requirement.

// END //



## Additional Review is Required by Planning & Building Staff

APPS # 13356

**All of the following questions are to be answered by Planning and Building Department staff.**

No further involvement with the Department of Public Works is required for these items; however Public Works staff is available to answer any questions that may arise.

1. **ROADS – PART 1.** Does the project take access from a series of non-county maintained roads that connect directly to a State Highway (36, 96, 101, 255, 299, etc...)?

☐ YES ☐ NO

If **YES**, the project does not need to be referred to the Department. Include the following requirement:

**All recommendations in the *Road Evaluation Report(s)* for non-county maintained road(s) shall be constructed/implemented to the satisfaction of the Planning & Building Department prior to commencing operations, final sign-off for a building permit, or approval for a business license. A grading permit may be required; check with the Building Division of the Planning and Building Department for any permit requirements.**

2. **ROADS – PART 2.** Does the project take access from a series of non-county maintained roads that connect directly to a Caltrans State Highway, US Forest Service Road, BLM Road, or a City road?

☐ YES ☐ NO

If **YES**, the Department recommends that prior to the project presented to the Planning Commission or Zoning Administrator, that the project should be referred to the affected road agency(ies).

3. **ROADS – PART 3.** Does the project take access or use a county maintained road that does not have a centerline stripe or is not on the "approved list" of known category 4 roads?

☐ YES ☐ NO

If **YES**, a *Road Evaluation Report* must be done for the County road(s) that do not have a centerline stripe or are not on the "approved" list. The project along with the road evaluation report(s) for the County maintained road(s) must be referred to Public Works for review to ensure that the Department supports the findings in the report. If the road is on the "not approved" list, then Part B of the *Road Evaluation Report* form must be completed.

4. **Deferred Subdivision Improvements.** Does the project have deferred subdivision improvements? ☐ YES ☐ NO

*How to check:* Method 1: Planning and Building Department staff review the legal description for the subject property in the deed. If the deed reads similar to "Parcel \_\_\_ of Parcel Map No. \_\_\_" then there may be deferred subdivision improvements; further research will be needed. Method 2: Planning and Building Department staff need to review the title report(s) for the subject property(ies) to see if a "Notice of Construction Requirements" document is listed. If the document is listed, then there are deferred subdivision improvements.

If **YES** then the subject property has deferred subdivision improvements. The project cannot be presented to the Zoning Administrator or the Planning Commission until the deferred subdivision improvements are completed. The applicant should be directed to the Department of Public Works regarding the deferred subdivision improvements.

5. **AIRPORT:** If the project is located within Airport Land Use Compatibility Plan (ALUCP) Zone A, B, B1, B2, or B3 as shown on the ALUCP GIS layer **or** if the project is located within the County Code Section 333 GIS layer **AND** the project is proposing to construct (or permit) a fence, building or other structure. ☐ YES ☐ NO

If **YES**, the Department recommends that prior to the project presented to the Planning Commission or Zoning Administrator, that the project should be referred to the Humboldt County Airports Department.

6. **MS4/ASBS Areas.** Is the project located within MS4 Permit Area as shown on the GIS layer? ☐ YES ☐ NO

If **YES**, include the following requirement:

**The applicant shall demonstrate to the satisfaction of the Planning & Building Department that the project is in compliance with MS4/ASBS requirements.**



---

Additional Review is Required by Planning & Building Staff

7. COUNTY ROADS- PROXIMITY OF FARMS:

Applicant is advised that County maintained roads may generate dust and other impacts to farm(s). Applicant shall locate their farm(s) in areas not subject to these impacts. Applicant shall be responsible for protecting their farm(s) against these impacts. Applicant shall hold the County harmless from these impacts. Applicant is advised that a paved road may not always remain paved and Applicant shall locate their farms appropriately. Applicant is advised that the amount of traffic on a road will vary over time which may increase or decrease the impacts.

8. ROAD GRADES:

Whether specifically addressed or not within the road evaluation report, per County Code Section 3112-5, "No roadway grade in excess of 16 percent shall be permitted unless it has been demonstrated to be in conformance with the County Roadway Design Manual." Where portions of the road have grades that exceed 16%, those portions must be paved and must have an exception request approved. [reference: County Code sections 3111-9 and 3112-5]

// END //

## Megan Marruffo

---

**From:** Meghan Ryan  
**Sent:** Wednesday, May 12, 2021 9:29 AM  
**To:** Bauer, Scott@Wildlife  
**Cc:** Johnson, Cliff; Megan Marruffo  
**Subject:** APPS #13356 - Hog Trap Farms, APN 218-081-003: PROJECTED HEARING DATE - JUNE 3, 2021

Good morning, Scott – I hope you're doing well! I am reviewing the Hog Trap, LLC, project and I do not see any comments from CDFW. The following is the proposed project description:

A Special Permit for an existing 10,000 square feet (SF) of outdoor cannabis cultivation that is cultivated using light deprivation techniques in four (4) greenhouses. No onsite propagation occurs. Irrigation water is sourced from a 2,000,000-gallon rainwater catchment pond. Existing available water storage is 2,008,500 gallons in three (3) HDPE water storage tanks and the rainwater catchment pond. Estimated annual water usage is 114,050 gallons. Drying and curing occurs onsite, and depending upon market conditions, processing may occur onsite using trim machines within the drying barn, off-site at a licensed facility, or sold directly for extraction. No employees are required for the operation, which is conducted by LLC members and immediate family only. Power is provided by Pacific Gas and Electric Company (PG&E).

Please let me know if you have comments or questions regarding this project.

Best,  
Meghan



Meghan Ryan  
Planning Director  
LACO Associates  
Eureka | Ukiah | Santa Rosa | Chico  
*Advancing the quality of life for generations to come*  
707 443-5054  
<http://www.lacoassociates.com>

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**Record PLN-13356-SP:**  
**Historic Planning**  
**Record Status: Staff Report**

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Custom Component

## Application Location

## Record Details

### Applicant:

Organization  
 Hog Trap Farms LLC  
 Home Phone: 7074852345  
 Work Phone: 7075066199  
 hogtrapfarms@gmail.com

### Project Description:

Hog Trap Farms, LLC - SP for existing 10,000 sf outdoor cultivation

The applicant is applying for a Special Permit for 10,000 square feet (SF) of existing outdoor cultivation. The water for this project will be sourced from a 2 million gallon rainwater catchment pond that exists on-site. Annual water usage is estimated to be 114,050 gallons. The water storage on site consists of the 2 million gallon rainwater catchment pond as well as one (1) 2,500 gallon HDPE hard water tank, and well as two (2) 3,000 gallon HDPE hard water tanks. Power for the operation will be provided by PGE. Processing such as drying and curing will occur onsite, however, a licensed third party processing facility will be utilized for the remainder for the processing.

### Owner:

Cipriano Joseph A

1271 Evergreen Rd  
 Redway CA 95560

### ▼ More Details

#### Related Contacts

#### Cannabis Licensee information

Limited Liability Company  
 Hilltop Organics, LLC  
 908 Hogtrap Road  
 Garberville, CA, 95542  
 PLN-13356-SP Hog Trap Farm

#### information

Cipriano Joseph A  
 Redway, CA, 95560

June 17, 2021

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**Agent information**

Individual  
Bridget Carlson  
2142 Island Mountain Rd  
Garberville, CA, 95542  
Work Phone:7075066199  
E-mail:bridgetkcarlson@gmail.com

**Referral Agency information**

Organization  
AG Commissioner  
5630 S Broadway St.  
EUREKA, CA, 95503  
Home Phone:7074415260  
Work Phone:7074415260  
Mobile Phone:7074415260  
E-mail:agcommissioner@co.humboldt.ca.us

**Referral Agency information**

Organization  
District Attorney  
EUREKA, CA  
E-mail:districtattorney@co.humboldt.ca.us

**Referral Agency information**

Organization  
Sheriff  
E-mail:kireland@co.humboldt.ca.us; ssopoaga@co.humboldt.ca.us

**Referral Agency information**

Organization  
Building Inspections  
E-mail:buildinginspections@co.humboldt.ca.us

**Referral Agency information**

Organization  
NCUAQMD  
United States  
E-mail:jdavis@ncuaqmd.org; support@ncuaqmd.org

**Referral Agency information**

Organization  
Cal Fish & Wildlife  
EUREKA, CA  
E-mail:CoastalCannabis@wildlife.ca.gov; CEQAReferrals@wildlife.ca.gov  
mail:

**Referral Agency information**

Organization  
CalTrans Dist 1  
EUREKA, CA  
Work Phone:7074414693  
Mobile Phone:7076346879  
E-mail:jesse.robertson@dot.ca.gov; heidi.quintrell@dot.ca.gov

**Referral Agency information**

Organization  
NWIC  
EUREKA, CA  
E-mail:nwic@sonoma.edu

**Assigned Planner information**

Individual  
Keenan Hilton  
United States  
Work Phone:7072683722  
E-mail:KHilton@co.humboldt.ca.us

**Referral Agency information**

Organization  
County Counsel  
E-mail:jellinwood@co.humboldt.ca.us; nduke@co.humboldt.ca.us

**Referral Agency information**

Organization  
Environmental Health  
E-mail:envhealth@co.humboldt.ca.us

**Referral Agency information**

Organization  
PW Land Use  
E-mail:ecearley@co.humboldt.ca.us; kmartinique@co.humboldt.ca.us

**Referral Agency information**

Organization  
RWQCB  
EUREKA, CA  
E-mail:NorthCoast.Cannabis@Waterboards.ca.gov

**Referral Agency information**

Organization  
School District  
EUREKA, CA

**Referral Agency information**

Organization  
CalFire  
Submit through Box.com

**Referral Agency information**

Organization  
CA Division of Water Rights  
E-mail:cannabisreg@waterboards.ca.gov

**Individual information**

Individual  
Megan LACO Marruffo  
21 W 4th Street  
Eureka, CA, 95501  
United States  
Work Phone:7074435054  
E-mail:marruffom@lacoassociates.com



**Individual information**

Individual  
 Meghan LACO Ryan  
 United States  
 Work Phone:7074435054  
 E-mail:ryanm@lacoassociates.com

**Application Information****PLANNING**

**Project Type Primary:** Special Permit (CCLUO1)  
**Case Type 1:** SP1  
**Qualified for Affordable Housing:** No  
**Slope Stability:** 3  
**Cannabis Project:** Yes  
**Project Location:**

The project is located in Humboldt County, in the New Harris area, on the North and South side of Hogtrap Road, on the intersection of Hogtrap Road and South Face Road, on the property known as 1131 Hogtrap Road.

**CEQA Exemption Section:** Environmental Review Required  
**Decision Maker:** Zoning Administrator  
**State Appeal Status:** Project is NOT appealable to the California Coastal Commission  
**Environmental Review Required:** Yes  
**Major Issues:** None  
**Plan Designation:**

Residential Agriculture (RA); 2017 General Plan; Density: 40 acres per unit; Slope Stability: High Instability (3)

**File Location:** With Planner

**GENERAL INFORMATION**

**Type of Development:** Commercial

**Zoning Information**

**Present Zoning:** Forestry Recreation (FR); Special Building Site B-5(40)

**CANNABIS**

**Cannabis Project Status:** Existing  
**Compliance Agreement:** Unknown  
**Regional Board Enrollment Required:** Yes  
**Cultivation:** Yes  
**Cultivation Outdoor:** 10000  
**Cultivation Area:** 10000  
**Eligible for Interim Permit:** Yes  
**Interim Permit Status:** Issued 2.0  
**Interim Permit Outdoor Sq Ft:** 6440  
**Issued:** 08/06/2018  
**Interim Permit Expiration:** 03/01/2021  
**Cultivation – Outdoor:** Yes  
**TCR Reduction:** Yes  
**TCR Year:** 2020  
**TCR Outdoor:** 0

**PROJECT TRACKING**

**CEQA Exemption Section – Historic:** See OnTrack for CEQA Exemption Information

**Application Information Table****REFERRALS**

**Group:** County  
**Agency:** AG Commissioner  
**Sent:** 12/18/2020  
**Resend:** No  
**Required:** No

**Group:** County  
**Agency:** District Attorney  
 PLN-13356-SP Hog Trap Farm  
 June 17, 2021

<b>Sent:</b>	12/18/2020
<b>Resend:</b>	No
<b>Required:</b>	No
<b>Group:</b>	County
<b>Agency:</b>	Environmental Health
<b>Sent:</b>	12/18/2020
<b>Response Received:</b>	02/11/2021
<b>Reviewer:</b>	JWHITTLESEY
<b>Status:</b>	Approved with Conditions
<b>Comments:</b>	Processing activities must be supported by an approved onsite wastewater treatment system. Seasonal/outdoor cultivation sites may be supported by portable toilets. Applicant must obtain a permit for, and install, an approved onsite wastewater treatment system to support the processing location and either install approved septic systems or provide portable toilets to cultivation areas.
<b>Resend:</b>	No
<b>Required:</b>	No
<b>Group:</b>	County
<b>Agency:</b>	Sheriff
<b>Sent:</b>	12/18/2020
<b>Response Received:</b>	12/28/2020
<b>Reviewer:</b>	HCSO
<b>Status:</b>	Approved
<b>Comments:</b>	No record in the DA Office System for Joseph Cipriano
<b>Resend:</b>	No
<b>Required:</b>	No
<b>Group:</b>	County
<b>Agency:</b>	PW Land Use
<b>Sent:</b>	12/18/2020
<b>Response Received:</b>	01/13/2021
<b>Reviewer:</b>	KFREED
<b>Status:</b>	Approved
<b>Comments:</b>	See Public Works memo dated 01/13/2021
<b>Resend:</b>	No
<b>Required:</b>	No
<b>Group:</b>	County
<b>Agency:</b>	Building Inspections
<b>Sent:</b>	12/18/2020
<b>Response Received:</b>	01/15/2021
<b>Reviewer:</b>	AWILSON1
<b>Status:</b>	Note
<b>Comments:</b>	Called Bridgett to advise that pre-site for 01/18/2021 has been cancelled due to a county holiday, advised her that we wanted to reschedule for 1/20 but asked her to call back to confirm before I schedule since we can only do a limited number of Pre-Sites per day in this district. I did advise that this was a first come first serve situation with scheduling and it is time sensitive.
<b>Resend:</b>	No
<b>Required:</b>	No
<b>Group:</b>	State
<b>Agency:</b>	RWQCB
<b>Sent:</b>	12/18/2020
<b>Resend:</b>	No
<b>Required:</b>	No
<b>Group:</b>	Regional
<b>Agency:</b>	NCUAQMD
<b>Sent:</b>	12/18/2020
<b>Resend:</b>	No
<b>Required:</b>	No

<b>Group:</b>	Regional
<b>Agency:</b>	School District
<b>Other Name:</b>	Southern Humboldt JUSD
<b>Sent:</b>	12/18/2020
<b>Resend:</b>	No
<b>Required:</b>	No
<b>Group:</b>	State
<b>Agency:</b>	Cal Fish & Wildlife
<b>Sent:</b>	12/18/2020
<b>Resend:</b>	No
<b>Required:</b>	No
<b>Group:</b>	State
<b>Agency:</b>	CalFire
<b>Sent:</b>	12/18/2020
<b>Response Received:</b>	01/12/2021
<b>Reviewer:</b>	Tim Meyers
<b>Status:</b>	Rejected
<b>Comments:</b>	CALFIRE cannot support this project. It appears from the airphoto that trees were removed in 2013. A CALFIRE harvest document should have been obtained prior to removing the trees. More information is required for a proper evaluation. A Registered Professional Forester may be required to advise the landowner of necessary permits from CALFIRE.
<b>Resend:</b>	No
<b>Required:</b>	No
<b>Group:</b>	State
<b>Agency:</b>	CalTrans Dist 1
<b>Sent:</b>	12/18/2020
<b>Resend:</b>	No
<b>Required:</b>	No
<b>Group:</b>	State
<b>Agency:</b>	CA Division of Water Rights
<b>Sent:</b>	12/18/2020
<b>Resend:</b>	No
<b>Required:</b>	No
<b>Parcel Information</b>	
<b>Parcel Number:</b>	<b>ACTIVE/INACTIVE:</b>
218-081-003-000	Active
<b>Airport Compatibility Zone:</b>	<b>Airport Name:</b>
N	
<b>County Code 333-1:</b>	<b>Coastal Zone:</b>
N	N
<b>Community Plan:</b>	<b>FAR77 Airport Code:</b>
Inland GP	N
<b>Flood Zone:</b>	<b>Geologic Report:</b>
N	
<b>Longitude:</b>	<b>MS4:</b>
-123.6023	No
<b>Old APN:</b>	<b>Parcel Legal Status:</b>
	LP,1:1
<b>Recorder Case:</b>	<b>Slope Stability:</b>
16135	3
<b>State Fire Responsibility:</b>	
Y	

**We have reviewed the above application and recommend the following (please check one):**

The Department has no comment at this time.

Suggested conditions attached.

Applicant needs to submit additional information. List of Items attached.

Recommend denial.

Other comments.

Date:

Name:

**Forester Comments:**

Date:

Name:

**Battalion Chief Comments:**

**Summary:**



**From:** [Meghan Ryan](#)  
**To:** ["Tim.Meyers@fire.ca.gov"](mailto:Tim.Meyers@fire.ca.gov)  
**Cc:** [Megan Marruffo](#); [Johnson, Cliff](#)  
**Subject:** APPS #13356 - Hog Trap Farms, LLC- APN: 218 -081-003 - Humboldt County  
**Date:** Wednesday, May 12, 2021 12:00:00 PM  
**Attachments:** [13356 ref. CalFire 01.12.2021.pdf](#)  
**Importance:** High

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Good afternoon, Tim – I hope this email finds you well. I wanted to follow up with you regarding CAL FIRE comments for Hog Trap Farms, LLC, project near the community of New Harris. The project will be conditioned as follows to address timber conversion on the subject parcel:

The project is conditioned to require the property be evaluated to determine the amount of timber conversion that occurred prior to and after the CMMLUO baseline date of January 1, 2016, and any measures determined to be necessary by the RPF to mitigate for the unauthorized timber conversion shall be implemented. The applicant/owner will be responsible for mitigating the environmental impacts not analyzed in the environmental document prepared for the CMMLUO. Additionally, the applicant/owner shall be required to re-stock an area onsite equivalent to the amount of area converted after the CMMLUO baseline date a rate of 3:1. The report shall include monitoring and reporting requiring a minimum of 3 years of monitoring at an 85% success rate and submission of annual monitoring reports at the time of the annual inspection.

If this condition does not address your concerns, or if you would like to revise the condition or add any additional requirements, please let me know.

This project is projected for hearing on June 3, 2021.

Please let me know if you have any questions.

I appreciate your time.

Best,  
Meghan



Meghan Ryan  
Planning Director  
LACO Associates  
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*Advancing the quality of life for generations to come*  
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