

**RESOLUTION OF THE ZONING ADMINISTRATOR
OF THE COUNTY OF HUMBOLDT**

Resolution Number: 24-015

Record Number PLN-2023-18203-MOD1

Assessor's Parcel Number: 511-371-036

Resolution by the Zoning Administrator of the County of Humboldt certifying compliance with the California Environmental Quality Act and conditionally approving the Bigfoot Construction Coastal Development Permit and Special Permit Modification.

WHEREAS, the Humboldt County Zoning Administrator held a duly-noticed public hearing on July 20, 2023, and approved a Coastal Development Permit and Special Permit, for a two-story addition of approximately 764 square feet and remodel of an existing single-family residence including an upgrade to the existing septic system; and

WHEREAS, Bigfoot Construction submitted an application and evidence in support of approving a modification to an approved Coastal Development Permit and Special Permit, for a two-story addition and remodel of an existing single-family residence; and

WHEREAS, the Humboldt County Zoning Administrator held a duly-noticed public hearing on April 4, 2024, and reviewed, considered, and discussed the application for the Coastal Development Permit and Special Permit Modification, and reviewed and considered all evidence and testimony presented at the hearing.

Now, THEREFORE BE IT RESOLVED, that the Zoning Administrator makes all the following findings:

- 1. FINDING:** A Modification to a Coastal Development Permit (CDP) for a two-story addition of approximately 764 square feet and remodel of an existing single-family residence, consisting of changes to the roof pitch, and electrical upgrades. Also proposed was the demolition of an existing chimney and an upgrade to the existing septic system to accommodate a four-bath system, and the installation of a swim spa within the existing garage. The parcel is developed with a 1,461 square foot single family residence, a shop structure, an uncovered patio, and an on-site wastewater treatment system. The property is served with community water provided by the Patrick Creek Community Services District. A Special Permit is required for Design Review. The modification involves the demolition of the existing walls and the roof due to rot damage, and further alteration to roof pitch resulting in an increase in

building height to 32 feet, which is 11 feet greater than the 21-foot building height originally approved.

EVIDENCE: a) Project Files: PLN-2023-18203 and PLN-2023-18203-MOD1

2. FINDING: **CEQA.** The requirements of the California Environmental Quality Act have been met. The Humboldt County Zoning Administrator has considered the project and finds the proposed project is exempt from environmental review pursuant to Sections 15301 (Existing Facilities) and 15302 (Replacement or Reconstruction) of the State CEQA Guidelines.

EVIDENCE: a) The Class 1 exemption applies to the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use.

The Class 2 exemption applies to the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced.

b) A project can be disqualified from using a Categorical Exemption if any of the exceptions listed in 15300.2 apply. However, none of these exceptions apply to the proposed project.

COASTAL DEVELOPMENT PERMIT AND SPECIAL PERMIT MODIFICATION

3. FINDING: The proposed development is in is in conformance with all applicable policies and standards in the McKinleyville Area Plan (MCAP).

EVIDENCE: a) The purpose of the RX land use designation is to allow development of rural community neighborhoods not depending on urban levels of service, prohibiting the creation of any new parcels. The principal use is residential single-family with neighborhood commercial services. The modified project consists of a two-story addition of approximately 764 square feet and a remodel of an existing single-family residence including an upgrade to the existing septic system.

The property is served with community water provided by the Patrick Creek Community Services District.

- b) The parcel is within a Coastal Scenic Area. See Design Review Authority Findings discussion below.

4. FINDING: The proposed development is consistent with the purposes of the existing RA zone in which the site is located.

EVIDENCE: a) The following uses are principally permitted within the RA zone: Single Family Residential, Second Residential Unit, General Agriculture, Cottage Industry; subject to the Cottage Industry Regulations, and Minor Utilities to serve these uses. The modified project consists of a two-story addition of approximately 764 square feet and remodel of an existing single-family residence including an upgrade to the existing septic system on a currently developed lot.

- b) The proposed modification would not alter the findings made in the original approval in regard to development standards within the RA zoning district.

5. FINDING: §313-19.1 D – Design Review

The purpose of these regulations is to provide design review for conformance of new development with the policies and standards of the General Plan, and to provide for a design review process where neighborhoods within the same zone district desire to preserve or enhance the area's historical, cultural, or scenic values.

EVIDENCE: a) The modification to the addition and remodel of the residence remains consistent and compatible with the General Plan. Evidence of adherence to the Design Review findings is discussed below. The Neighborhood Design Survey, submitted by the applicant, provided information about the homes within the vicinity of the proposed project.

- b) The subject parcel is not within a designated Coastal Scenic View area but is within a Coastal Scenic Area. Setbacks from roads and property lines are appropriate for protection of the scenic and visual qualities of the site given the surrounding development, vegetation, and building height. The two-story addition, as modified, will increase the height of the residence to approximately 32 feet tall. The residence is not located between the closest public road and the coast. The west side of the parcel between the residence and the coast is covered with dense vegetation and the residence is on a bluff approximately

175 feet in elevation above Clam Beach Drive from which existing residences on the bluff are already visible.

The Neighborhood Design Survey submitted by the applicant profiled five homes within the general vicinity of the project. Of the homes surveyed, three had rustic architecture and two had contemporary architecture. Four of the homes surveyed utilized composite roofing and one utilized shake roofing. Three of the homes surveyed utilized wood for the exterior building siding and two utilized T-111 siding. Three of the houses surveyed exceed one story in height. The proposed addition and remodel of the residence as modified will be aesthetically cohesive with the design of surrounding homes. The visual impact of proposed development on neighboring parcels will be insignificant.

- c) The building site is level, and grading will not be necessary to facilitate construction. The project as modified will not result in alterations to existing natural landforms.
- d) Staff has determined that the visual impact of the proposed project on neighboring parcels will be insignificant. The proposed height modification is compatible with the RA zone, and within the range of the neighboring houses.
- e) The project as modified meets all setback requirements for the RA zone. There are not likely to be impacts to scenic or visual qualities of the area.

6. FINDING:

The Project and the conditions under which it may be operated or maintained will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity.

EVIDENCE:

- a) The proposed two-story addition and remodel modification will be compatible in appearance with the neighborhood and complies with all development standards of the zone district which are intended to protect public health, safety and welfare. Based on staff analysis and the findings made in this report, there is no evidence that the project modification will be materially injurious to properties or improvements in the vicinity.

7. **FINDING:** The proposed development does not reduce the residential density for any parcel below that utilized by the Department of Housing and Community Development in determining compliance with housing element law.

EVIDENCE: a) The existing parcel is currently developed with a permitted single-family residence. The project will not add to nor subtract from the Housing Inventory. The addition and improvements to the existing residence will have no effect on the Humboldt County Housing Element.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Humboldt County Zoning Administrator does hereby:

- Adopt the findings set forth in this resolution; and
- Approves the Bigfoot Construction Coastal Development Permit and Special Permit Modification subject to the conditions of approval attached hereto as Attachment 1A.

Adopted after review and consideration of all the evidence on **April 4, 2024.**

I, John Ford, Zoning Administrator of the County of Humboldt, do hereby certify the foregoing to be a true and correct record of the action taken on the above-entitled matter by said Zoning Administrator at a meeting held on the date noted above.



John H. Ford, Director
Zoning Administrator

CONDITIONS OF APPROVAL

Approval of the Coastal Development Permit and Special Permit Modification is conditioned upon the following terms and requirements which must be fulfilled.

1. All development shall be in accordance with approved plot plan. Changes to the approved design may be approved if in conformance with Section 312-11 - Minor Deviations.
2. The applicant shall work with the Humboldt County Department of Environmental Health and the Regional Water Quality Control Board to ensure that all of the work associated with the wastewater system upgrade conforms to both agency requirements.
3. Before any digging or excavation occurs, the applicant shall contact Underground Service Alert (USA) by dialing 811 a minimum of two working days prior to commencing any work to ensure that all existing underground utilities are identified and marked on-site.
4. All new and existing outdoor lighting shall be compatible with the existing setting and directed within the property boundaries.
5. New utilities shall be installed underground, when feasible.
6. Prior to issuance of a building permit in reliance of this Coastal Development Permit and Special Permit Modification, the applicant as landowner shall execute and record a deed restriction, in a form and content acceptable to the Planning Director and County Counsel, which shall provide that.
 - a. *The landowner agrees, on behalf of himself/herself and all successors and assigns, that no bluff or shoreline protective device(s) shall ever be constructed to protect the development approved pursuant to Permit Record Number PLN-2023-18203-MOD1, including, but not limited to, the renovated residence, including in the event that the development is threatened with damage or destruction from tsunami, waves, erosion, storm conditions, liquefaction, bluff retreat, landslides, or other coastal hazards in the future, and as may be exacerbated by sea-level rise. The landowner hereby waives, on behalf of their self and all successors and assigns, any rights to construct such devices that may exist under applicable law.*
 - b. *The landowner further agrees, on behalf of their self and all successors and assigns, that the landowner shall remove the permitted development and restore the site, if the County or any other government agency with legal jurisdiction has issued a final order, not overturned through any appeal or writ proceedings, determining that the development is currently and permanently unsafe for occupancy or use due to*

coastal hazards, and that there are no measures that could make the structures suitable for occupancy or use without the use of bluff or shoreline protective devices. If any portion of the permitted development at any time encroaches onto public property, the landowner shall remove the encroaching portion of the development. The landowner shall obtain a Coastal Development Permit (CDP) for removal of approved development, unless the Planning Director provides a written determination that no CDP is legally required.

- c. In the event that the edge of the bluff-top recedes to a point where any portion of the structure becomes threatened, but no government agency has ordered that the structures not be occupied or used, a geotechnical investigation shall be prepared by a licensed coastal engineer and geologist, retained by the landowner, that addresses whether any portions of the permitted development are threatened by coastal hazards. The report shall identify all those immediate or potential future measures that could stabilize the development without bluff or shoreline protective device(s), including, but not limited to, removal or relocation of portions of the development. The report shall be submitted to the Planning Director and the appropriate local government officials. If the geotechnical investigation concludes that any portion of the development is unsafe for operation or use, the landowner shall, within 90 days of submitting the investigation, apply for a CDP amendment to remedy the hazard.*
- d. Prior to removal/relocation, the landowner shall submit two copies of a Removal/Relocation Plan to the Planning Director for review and written approval. The Removal/Relocation Plan shall clearly describe the manner in which such development is to be removed/relocated and the affected area restored so as to best protect coastal resources, including the Pacific Ocean. In the event that portions of the development fall to the bluffs or ocean before they are removed/relocated, the landowner shall remove all recoverable debris associated with the development from the bluffs and ocean and lawfully dispose of the material in an approved disposal site. Such removal shall require a CDP.*

Ongoing Requirements/Development Restrictions which Must be Satisfied for the Life of the Project:

1. The applicant shall adhere to the recommendations set forth in the Engineering Geologic Assessment of Slope Stability Conditions Report for the subject parcel prepared by SHN Consulting Engineers & Geologists on August 26, 2022, and listed below.
 - Ensure that no concentrated drainage is directed toward the bluff.
 - Do not remove or disturb vegetation on the bluff face; it is acting to maintain stability of the bluff by intercepting rainfall and providing root reinforcement.

- Managing the height of trees on the slope is acceptable if the health or vitality of the tree is not compromised.
- Do not disturb the existing condition by significant excavation along the bluff edge or by disrupting shallow soils; in general, low impact management of the area along the bluff edge is critical.

Informational Notes:

1. The applicant is responsible for receiving all necessary permits and/or approvals from other state and local agencies.
2. This permit shall expire and become null and void at the expiration of one (1) year after all appeal periods have lapsed (see “Effective Date”); except where construction under a valid building permit or use in reliance on the permit has commenced prior to such anniversary date. The periods within which construction or use must be commenced may be extended as provided by Section 312-10.5 of the Humboldt County Code.
3. The applicant is required to pay for permit processing on a time and material basis as set forth in the schedule of fees and charges as adopted by ordinance of the Humboldt County Board of Supervisors. The Department will provide a bill to the applicant after the decision. Any and all outstanding Planning fees to cover the processing of the application to decision by the Hearing Officer shall be paid to the Humboldt County Planning Division, 3015 "H" Street, Eureka.
4. If cultural resources are encountered during construction activities, the contractor on site shall cease all work in the immediate area and within a 50-foot buffer of the discovery location. A qualified archaeologist as well as the appropriate Tribal Historic Preservation Officer(s) are to be contacted to evaluate the discovery and, in consultation with the applicant and lead agency, develop a treatment plan in any instance where significant impacts cannot be avoided.

The Native American Heritage Commission (NAHC) can provide information regarding the appropriate Tribal point(s) of contact for a specific area; the NAHC can be reached at 916-653-4082. Prehistoric materials may include obsidian or chert flakes, tools, locally darkened midden soils, ground stone artifacts, shellfish or faunal remains, and human burials. If human remains are found, California Health and Safety Code 7050.5 requires that the County Coroner be contacted immediately at 707-445-7242. If the Coroner determines the remains to be Native American, the NAHC will then be contacted by the Coroner to determine appropriate treatment of the remains pursuant to PRC 5097.98. Violators shall be prosecuted in accordance with PRC Section 5097.99

The applicant is ultimately responsible for ensuring compliance with this condition.

Location Map



GENERAL CONSTRUCTION NOTES
ALL BUILDING MUST COMPLY WITH THE FOLLOWING

2019 CALIFORNINA RESIDENTIAL BUILDING CODE
 2019 CALIFORNIA PLUMBING CODE
 2019 CALIFORNIA ENERGY CODE

PROJECT DISCRPTION

DEMOLISH EXISTING FIREPLACE
 CHANGE THE ROOF PITCH IN LIVING ROOM AREA
 ADDITION TO THE NORTH SIDE
 UPGRADE EXISTING SEPTIC SYSTEM
 UPGRADE ELECTRICAL

SEE A0.2 FOR REVISION

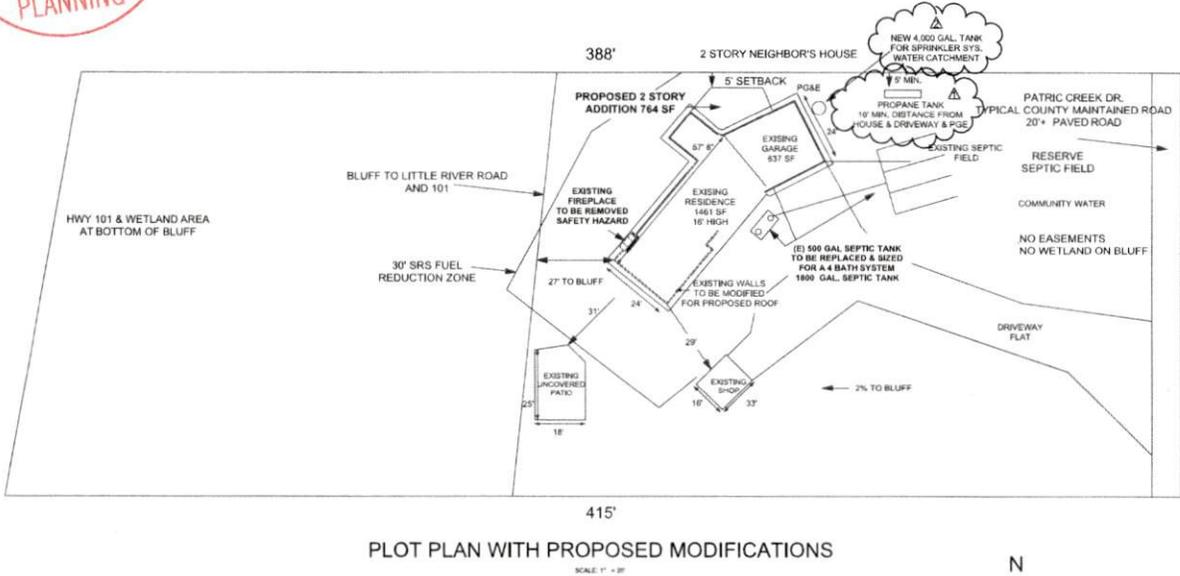
PROJECT NOTES

SITE ADDRESS 522 PATRICK CR.
 MCKINLEYVILLE, CALIF. 95519

ZONING RX
 APN 511-371-036
 LOT AREA 1.24 ACRES
 EASEMENTS NONE
 BUILDING SITE 2% ON TOP OF BLUFF
 VEGETATION NO MAJOR CHANGE
 CREEKS NONE ON TOP BLUFF
 WATER COMMUNITY
 ELECTRICITY PG&E
 TELEPHONE SBC OVERHEAD
 GAS PROPANE
 TV CABLE
 CURBS & GUTTERS N/A
 GRADING NONE
 WTR STORAGE N/A

SHEET INDEX

A.0	PLOT PLAN
A0.1	NOTES
A0.2	REVISION NOTES
A1.0	FOUNDATION PLAN
A1.1	FLOOR PLAN
A1.2	FRAMING PLAN
A1.3	ROOF FRAMING PLAN
A2.1	ELEVATION E & S
A2.2	ELEVATION W & N
A3.1	SECTIONS
A4.0	ELECTRICAL PLAN
A4.1	SWIM SPA PLAN
A4.2	1.22.24 NOTES
S.1	STRUCTURAL OLD
S.2	SITE GEOTECH
S.3	SHEAR PLAN NEW
T24	ENERGY PLAN OLD



PLOT PLAN WITH PROPOSED MODIFICATIONS

SCALE: 1" = 20'

N

TJ DESIGN COMPANY

DRAWN BY:
 T.J. Design Company
 Tom Hopkins
 PO Box 291
 Trinidad, Calif. 95570
 707-845-5130

T Hopkins

CONTRACTOR
 OWNER - CONTRACTOR

ENGINEER

Roshawan Beere Addition
 5222 Patrick Cr. APN 511-371-036
 McKinleyville, Calif. 95519

OWNER
 ROSHAWAN BEERE
 707-502-6008
 don_roshawan@yahoo.com

REVISIONS

2/1/2023	BLD-2022-274807
10/25/2023	BLD-2022-274807
1/22/2024	BLD-2023-274807

SHEET TITLE
 PLOT PLAN

A.0

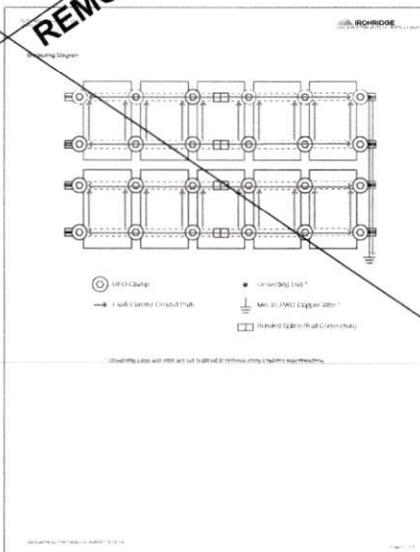
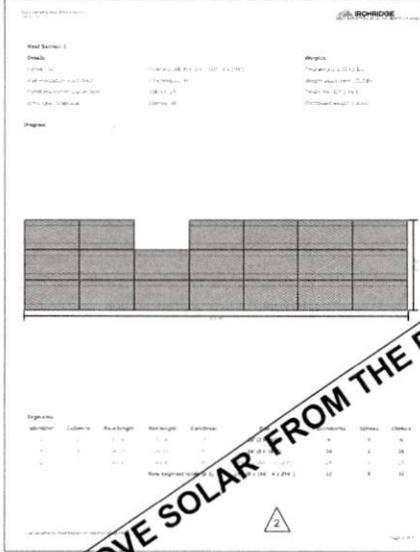
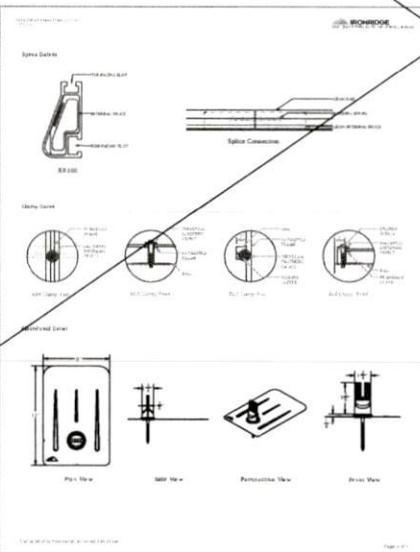
GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA ELECTRICAL CODE, 2019 CALIFORNIA ENERGY CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA MECHANICAL CODE, TITLE 24 ENERGY CODE AND ALL OTHER APPLICABLE CALIFORNIA AND MAJIN COUNTY REGULATIONS.
2. THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE FOLLOWING ITEMS DURING CONSTRUCTION: EXISTING LANDSCAPING, TREES AND PLANT MATERIAL, ADJACENT FEATURES, EXISTING STRUCTURES, STREET PAVING, UTILITIES AND OTHER IMPROVEMENTS INTENDED TO REMAIN.
3. PRIOR TO COMMENCING WORK, THE CONTRACTOR AND APPROPRIATE SUBCONTRACTORS SHALL PERFORM A THOROUGH INSPECTION OF THE SITE AND THE EXISTING BUILDING TO VERIFY EXISTING CONDITIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THE DRAWINGS. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES TO BE CAIRED, REMOVED OR RELOCATED INCLUDING WATER, SEWER, GAS, ELECTRICAL, SUBSURFACE DRAINAGE, TELEPHONE AND CABLE. COORDINATE ANY UTILITY SHUT-OFF WITH THE ARCHITECT AND OWNER 48 HOURS PRIOR TO SHUT DOWN.
4. THE DESIGN, LAYOUT AND INSTALLATION OF BRACING MEMBERS AND ALL TEMPORARY SUPPORTS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAD NOT BEEN PROVIDED BY THE ARCHITECT OR THE STRUCTURAL ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFE AND PROFESSIONAL INSTALLATION OF ACREMENTIONED SUPPORT SYSTEMS AND FOR THE STABILITY OF THE EXISTING STRUCTURE AT ALL TIMES DURING THE COURSE OF THE WORK.
5. THESE ARCHITECTURAL DRAWINGS ARE PROVIDED AS A "BUILD SET" OF PLANS WHICH DO NOT INCLUDE AN EXTENSIVE OR EXACTING LEVEL OF DETAIL. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A FULLY OPERATIONAL, CODE COMPLIANT, WATERPROOF STRUCTURE WHICH MEETS THE DESIGN INTENT OF THE ARCHITECTURAL AND ENGINEERING DRAWINGS AT A HIGH LEVEL OF QUALITY CONFORMENT WITH INDUSTRY STANDARDS FOR CUSTOM RESIDENTIAL CONSTRUCTION.
6. STRUCTURAL OBSERVATION SHALL BE REQUIRED BY THE ENGINEER FOR CONFORMANCE WITH THE APPROVED STRUCTURAL PLANS. THE OWNER SHALL EMPLOY A REGISTERED DESIGN PROFESSIONAL TO PERFORM STRUCTURAL OBSERVATION AS DEFINED IN SECTION 1704 OF THE 2019 CBC. STRUCTURAL OBSERVATION AND /OR SPECIAL INSPECTION ARE NOT A SUBSTITUTE FOR INSPECTION BY THE BUILDING OFFICIAL OR BUILDING INSPECTOR. ANY WORK REQUIRING SPECIAL INSPECTION THAT IS INSTALLED OR COVERED WITHOUT APPROVAL OF THE BUILDING OFFICIAL, THE SPECIAL INSPECTOR AND THE DESIGN ENGINEER IS SUBJECT TO REMOVAL.
7. PLACE AND SECURE ALL ANCHOR BOLTS AND OTHER ITEMS TO BE CAVED IN CONCRETE FOR FOUNDATION INSPECTION. PRIOR TO POURING CONCRETE, SET SETTING ANCHOR BOLTS OR REINFORCING AFTER PLACEMENT OF CONCRETE IS NOT ALLOWED.
8. DRAWINGS SHALL NOT BE SCALED. WRITTEN DIMENSIONS SHALL GOVERN. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED. REPORT ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK. DETAILS NOT FULLY SHOWN SHALL BE OF SAME NATURE AS OTHER SIMILAR CONDITIONS.
9. ALL EXPOSED WOOD DECK AND STAIR FRAMING MEMBERS SHALL BE PRESSURE TREATED DOUGLAS FIR.
10. ALL SILL PLATES SHALL BE 3x PRESSURE TREATED DOUGLAS FIR.
11. PROVIDE COMBUSTION AIR AND VENTING FOR ALL FUEL BURNING EQUIPMENT AT NEW MECHANICAL EQUIPMENT IN ACCORDANCE WITH 2019 CALIFORNIA MECHANICAL CODE.
12. PROVIDE TANKLESS WATER HEATERS WHERE NOTED IN THE DRAWINGS. NO PRESSURE / TEMPERATURE RELIEF VALVE OR OVERFLOW DRAIN IS REQUIRED.
13. PROVIDE A NON-REMOVABLE BACK FLOW PREVENTION DEVICE ON ALL EXTERIOR HOSE BIBBS AND LAWN SPRINKLER IRRIGATION SYSTEMS.
14. PROVIDE FIRE BLOCADING AT ALL WALL CAVITIES GREATER THAN 12" VERTICAL AND ALL FLOOR / CEILING CAVITIES GREATER THAN 12" HORIZONTAL PER CBC 706.
15. ANY DRY DRAB, WASTE AND VENT PIPING LOCATED WITHIN THE RESIDENCE SHALL BE CAST IRON UNLESS OTHERWISE AUTHORIZED BY THE ARCHITECT.
16. A LISTED NON-REMOVABLE BACKFLOW PREVENTER OR ATMOSPHERIC VACUUM BREAKER INSTALLED AT LEAST 4' ABOVE THE HIGHEST POINT OF USAGE SHALL PROTECT HOSE BIBBS PER CPC 603.4.7.
17. ROOF VALLEYS: FLASHINGS SHALL BE MINIMUM 24 OR GALVANIZED SHEET METAL OVER MINIMUM 30" WIDE UNDERLAYMENT OF NO. 72 ASTM CAP SHEET RUNNING FULL LENGTH OF THE VALLEY PER CBC 704.1.5.
18. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAF AND DEBRIS IN THE GUTTER.
19. THIS PROJECT IS NOT WITHIN A NOISE CRITICAL AREA (NCA) CONTOUR OR (S) DB) AS SHOWN ON THE GENERAL PLAN.
20. BUILDER SHALL PROVIDE OPERATION MANUALS FOR MAINTAINING APPLIANCES TO THE OWNER AT OR BEFORE THE FINAL INSPECTION.
21. THE MOISTURE CONTENT OF ALL WOOD FRAMING SHALL NOT EXCEED 19% BEFORE IT IS ENCLOSED IN CONSTRUCTION. MOISTURE CONTENT MUST BE VERIFIED BY THE CONTRACTOR USING ONE OF THE

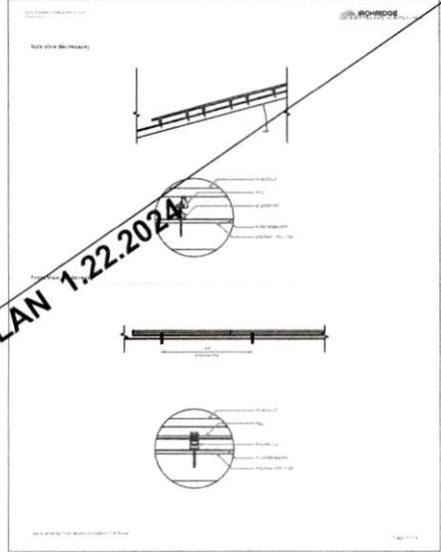
GENERAL NOTES

FOUNDATION

Item	Description	Quantity	Unit
1	4" Dia. Cast-in-Place Concrete	1	Foundation
2	4" Dia. Cast-in-Place Concrete	1	Foundation
3	4" Dia. Cast-in-Place Concrete	1	Foundation
4	4" Dia. Cast-in-Place Concrete	1	Foundation
5	4" Dia. Cast-in-Place Concrete	1	Foundation
6	4" Dia. Cast-in-Place Concrete	1	Foundation
7	4" Dia. Cast-in-Place Concrete	1	Foundation
8	4" Dia. Cast-in-Place Concrete	1	Foundation
9	4" Dia. Cast-in-Place Concrete	1	Foundation
10	4" Dia. Cast-in-Place Concrete	1	Foundation
11	4" Dia. Cast-in-Place Concrete	1	Foundation
12	4" Dia. Cast-in-Place Concrete	1	Foundation
13	4" Dia. Cast-in-Place Concrete	1	Foundation
14	4" Dia. Cast-in-Place Concrete	1	Foundation
15	4" Dia. Cast-in-Place Concrete	1	Foundation
16	4" Dia. Cast-in-Place Concrete	1	Foundation
17	4" Dia. Cast-in-Place Concrete	1	Foundation
18	4" Dia. Cast-in-Place Concrete	1	Foundation
19	4" Dia. Cast-in-Place Concrete	1	Foundation
20	4" Dia. Cast-in-Place Concrete	1	Foundation
21	4" Dia. Cast-in-Place Concrete	1	Foundation
22	4" Dia. Cast-in-Place Concrete	1	Foundation
23	4" Dia. Cast-in-Place Concrete	1	Foundation
24	4" Dia. Cast-in-Place Concrete	1	Foundation
25	4" Dia. Cast-in-Place Concrete	1	Foundation
26	4" Dia. Cast-in-Place Concrete	1	Foundation
27	4" Dia. Cast-in-Place Concrete	1	Foundation
28	4" Dia. Cast-in-Place Concrete	1	Foundation
29	4" Dia. Cast-in-Place Concrete	1	Foundation
30	4" Dia. Cast-in-Place Concrete	1	Foundation
31	4" Dia. Cast-in-Place Concrete	1	Foundation
32	4" Dia. Cast-in-Place Concrete	1	Foundation
33	4" Dia. Cast-in-Place Concrete	1	Foundation
34	4" Dia. Cast-in-Place Concrete	1	Foundation
35	4" Dia. Cast-in-Place Concrete	1	Foundation
36	4" Dia. Cast-in-Place Concrete	1	Foundation
37	4" Dia. Cast-in-Place Concrete	1	Foundation
38	4" Dia. Cast-in-Place Concrete	1	Foundation
39	4" Dia. Cast-in-Place Concrete	1	Foundation
40	4" Dia. Cast-in-Place Concrete	1	Foundation
41	4" Dia. Cast-in-Place Concrete	1	Foundation
42	4" Dia. Cast-in-Place Concrete	1	Foundation
43	4" Dia. Cast-in-Place Concrete	1	Foundation
44	4" Dia. Cast-in-Place Concrete	1	Foundation
45	4" Dia. Cast-in-Place Concrete	1	Foundation
46	4" Dia. Cast-in-Place Concrete	1	Foundation
47	4" Dia. Cast-in-Place Concrete	1	Foundation
48	4" Dia. Cast-in-Place Concrete	1	Foundation
49	4" Dia. Cast-in-Place Concrete	1	Foundation
50	4" Dia. Cast-in-Place Concrete	1	Foundation
51	4" Dia. Cast-in-Place Concrete	1	Foundation
52	4" Dia. Cast-in-Place Concrete	1	Foundation
53	4" Dia. Cast-in-Place Concrete	1	Foundation
54	4" Dia. Cast-in-Place Concrete	1	Foundation
55	4" Dia. Cast-in-Place Concrete	1	Foundation
56	4" Dia. Cast-in-Place Concrete	1	Foundation
57	4" Dia. Cast-in-Place Concrete	1	Foundation
58	4" Dia. Cast-in-Place Concrete	1	Foundation
59	4" Dia. Cast-in-Place Concrete	1	Foundation
60	4" Dia. Cast-in-Place Concrete	1	Foundation
61	4" Dia. Cast-in-Place Concrete	1	Foundation
62	4" Dia. Cast-in-Place Concrete	1	Foundation
63	4" Dia. Cast-in-Place Concrete	1	Foundation
64	4" Dia. Cast-in-Place Concrete	1	Foundation
65	4" Dia. Cast-in-Place Concrete	1	Foundation
66	4" Dia. Cast-in-Place Concrete	1	Foundation
67	4" Dia. Cast-in-Place Concrete	1	Foundation
68	4" Dia. Cast-in-Place Concrete	1	Foundation
69	4" Dia. Cast-in-Place Concrete	1	Foundation
70	4" Dia. Cast-in-Place Concrete	1	Foundation
71	4" Dia. Cast-in-Place Concrete	1	Foundation
72	4" Dia. Cast-in-Place Concrete	1	Foundation
73	4" Dia. Cast-in-Place Concrete	1	Foundation
74	4" Dia. Cast-in-Place Concrete	1	Foundation
75	4" Dia. Cast-in-Place Concrete	1	Foundation
76	4" Dia. Cast-in-Place Concrete	1	Foundation
77	4" Dia. Cast-in-Place Concrete	1	Foundation
78	4" Dia. Cast-in-Place Concrete	1	Foundation
79	4" Dia. Cast-in-Place Concrete	1	Foundation
80	4" Dia. Cast-in-Place Concrete	1	Foundation
81	4" Dia. Cast-in-Place Concrete	1	Foundation
82	4" Dia. Cast-in-Place Concrete	1	Foundation
83	4" Dia. Cast-in-Place Concrete	1	Foundation
84	4" Dia. Cast-in-Place Concrete	1	Foundation
85	4" Dia. Cast-in-Place Concrete	1	Foundation
86	4" Dia. Cast-in-Place Concrete	1	Foundation
87	4" Dia. Cast-in-Place Concrete	1	Foundation
88	4" Dia. Cast-in-Place Concrete	1	Foundation
89	4" Dia. Cast-in-Place Concrete	1	Foundation
90	4" Dia. Cast-in-Place Concrete	1	Foundation
91	4" Dia. Cast-in-Place Concrete	1	Foundation
92	4" Dia. Cast-in-Place Concrete	1	Foundation
93	4" Dia. Cast-in-Place Concrete	1	Foundation
94	4" Dia. Cast-in-Place Concrete	1	Foundation
95	4" Dia. Cast-in-Place Concrete	1	Foundation
96	4" Dia. Cast-in-Place Concrete	1	Foundation
97	4" Dia. Cast-in-Place Concrete	1	Foundation
98	4" Dia. Cast-in-Place Concrete	1	Foundation
99	4" Dia. Cast-in-Place Concrete	1	Foundation
100	4" Dia. Cast-in-Place Concrete	1	Foundation



SOLAR NOTES



Roof Structure Details

Item	Description	Quantity	Unit
1	2x12 Joist	1	Roof
2	2x12 Joist	1	Roof
3	2x12 Joist	1	Roof
4	2x12 Joist	1	Roof
5	2x12 Joist	1	Roof
6	2x12 Joist	1	Roof
7	2x12 Joist	1	Roof
8	2x12 Joist	1	Roof
9	2x12 Joist	1	Roof
10	2x12 Joist	1	Roof
11	2x12 Joist	1	Roof
12	2x12 Joist	1	Roof
13	2x12 Joist	1	Roof
14	2x12 Joist	1	Roof
15	2x12 Joist	1	Roof
16	2x12 Joist	1	Roof
17	2x12 Joist	1	Roof
18	2x12 Joist	1	Roof
19	2x12 Joist	1	Roof
20	2x12 Joist	1	Roof
21	2x12 Joist	1	Roof
22	2x12 Joist	1	Roof
23	2x12 Joist	1	Roof
24	2x12 Joist	1	Roof
25	2x12 Joist	1	Roof
26	2x12 Joist	1	Roof
27	2x12 Joist	1	Roof
28	2x12 Joist	1	Roof
29	2x12 Joist	1	Roof
30	2x12 Joist	1	Roof
31	2x12 Joist	1	Roof
32	2x12 Joist	1	Roof
33	2x12 Joist	1	Roof
34	2x12 Joist	1	Roof
35	2x12 Joist	1	Roof
36	2x12 Joist	1	Roof
37	2x12 Joist	1	Roof
38	2x12 Joist	1	Roof
39	2x12 Joist	1	Roof
40	2x12 Joist	1	Roof
41	2x12 Joist	1	Roof
42	2x12 Joist	1	Roof
43	2x12 Joist	1	Roof
44	2x12 Joist	1	Roof
45	2x12 Joist	1	Roof

C:\Users\lhamt\OneDrive\Documents\Drafting\Projects\Patrick Cr\Patrick Cr25_.dgn

DEM0 EXISTING FIREPLACE
EXISTING WALLS AND ROOF DEMO'D DUE TO ROT. & FDN CONNECTION
NEW 9' DF WALLS, EXCEPT 3 WALLS IN GARAGE TO REMAIN
NEW 4/12 PITCH ROOFS ON ALL
ADDITION TO THE NORTH SIDE
UPGRADE EXISTING SEPTIC SYSTEM
UPGRADE ELECTRICAL
SPRINKLER FIRE PROTECTION

ALL BUILT TO CODE

REVISED PROJECT DISCRIPTION

**INSULATION COMMENTS
PER LICENSED CONTRACTOR**

Here is how we would approach an unventilated attic space:

- *R-15 Closed Cell foam sprayed to the underside of the roof sheathing and on the gable ends. Foam will be sprayed down the blocking to seal against the top plate. Any existing ventilation will be sealed.
- *R-XX Unfaced Fiberglass Batts installed over the foam or in the ceiling flats to achieve the minimum R-XX callout on the T-24

Let me know if there is anything else you need.

Thanks,
Robert

WINDOW & DOOR

1	4 X 2-6 HS TEMP
3	3 X 3 HS
3	4 X 4 FXD
3	4 X 4 HS
2	6 X 4 HS
3	3'2" X 5 w 2' HS
1	3 X 5 w 2' HS
2	3 X 4-6" w 2" HS T
4	6 X 5 HS
2	4 X 6 w 2' HS T
1	6 X 8 PD T
1	12 X 8 XOOX PD T
1	6 X 8 FRENCH DR T

Milgard Ultra C650
windows and doors
180 LowE and Argon,
Nail Fin installation

NEW EXTERIOR WALLS WILL HAVE HARDI SHINGLES OR SHIP LAP SIDING
& TYVEK WRAP
5/8 GYP INTERIOR W PAINT



DESIGNED BY:
T.J. Design Company
Tom Hopkins
PO Box 231
Treadwell, Calif. 95570
707-645-6130
T Hopkins

CONTRACTOR
OWNER - CONTRACTOR

ENGINEER

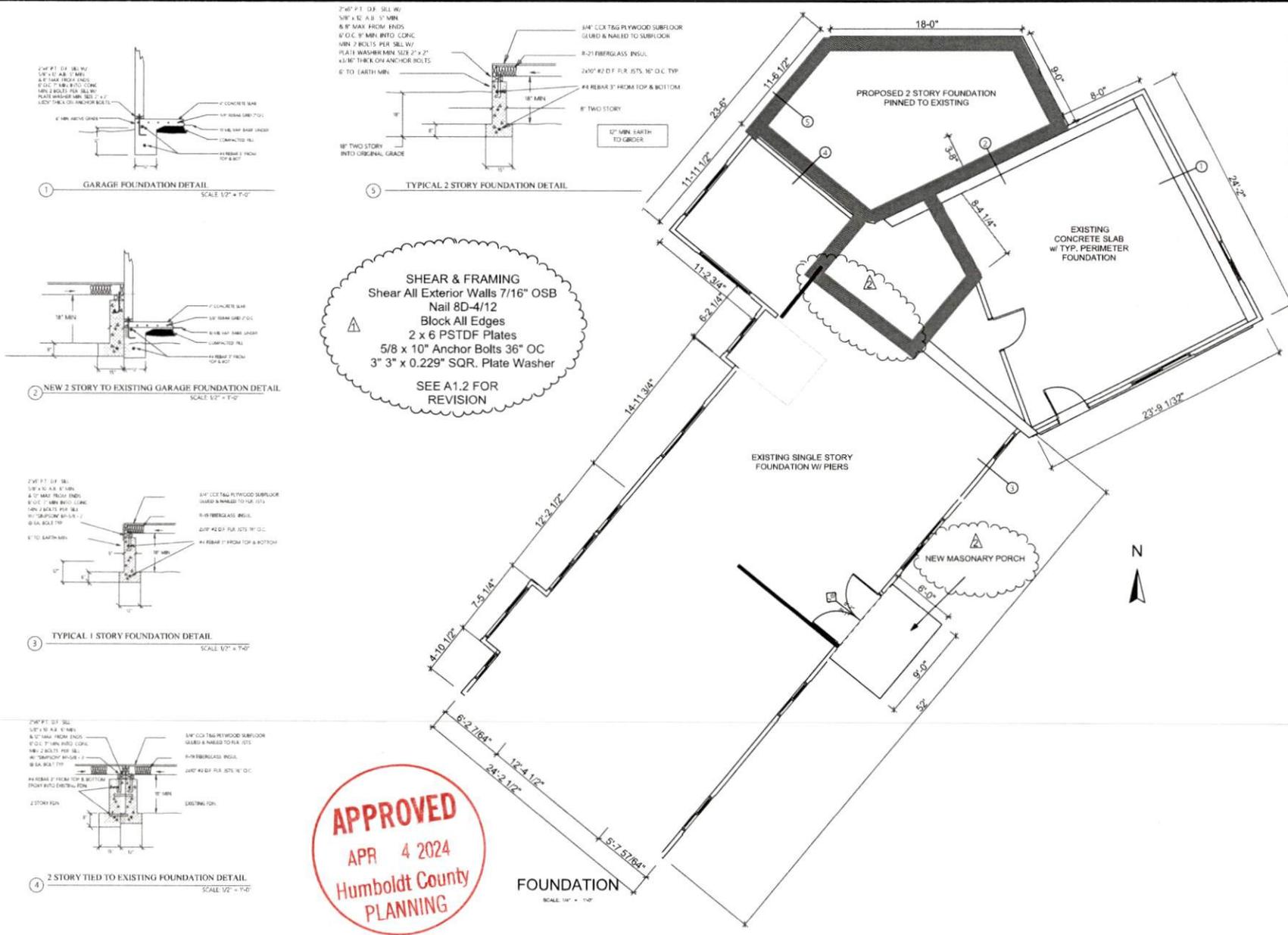
Roshawan Beere Addition
5222 Patrick Cr. APN 511-371-036
McKinleyville, Calif. 95519

OWNER
ROSHAWAN BEERE
707-502-6006
dar_roshawan@yahoo.com

REVISIONS
2/11/2023 BLD-2023-274807
10/25/2023 BLD-2023-274807
1/22/2024 BLD-2023-274807

SHEET TITLE
REV. NOTES

A.0.2



SHEAR & FRAMING
 Shear All Exterior Walls 7/16" OSB
 Nail 8D-4/12
 Block All Edges
 2 x 6 PSTDF Plates
 5/8 x 10" Anchor Bolts 36" OC
 3" 3" x 0.229" SQR. Plate Washer

SEE A1.2 FOR REVISION

APPROVED
 APR 4 2024
 Humboldt County
 PLANNING

T.I. DESIGN COMPANY

DRAWN BY:
 T.I. Design Company
 Tom Hopkins
 PO Box 281
 Ferndale, Calif. 95570
 707-845-6130
 T.Hopkins

CONTRACTOR
 OWNER - CONTRACTOR

ENGINEER

Roshawan Beere Addition
 5222 Patrick Cr. APN 511-371-036
 McKinleyville, Calif. 95519

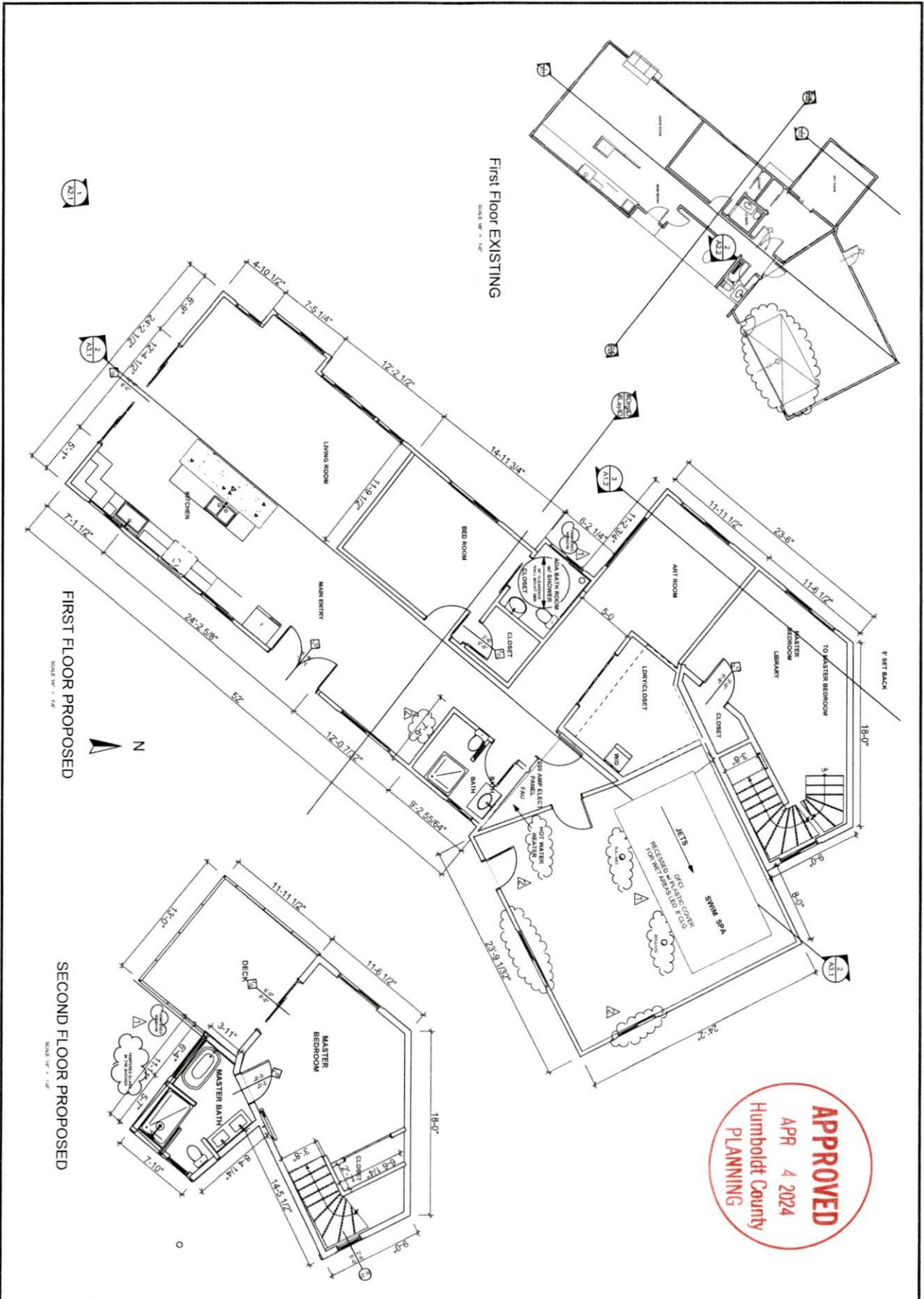
OWNER
 ROSHAWAN BEERE
 707-502-6008
 rbeere_rshawan@roshawan.com

REVISIONS

2/1/2023	BLD-2022-074807
10/25/2023	BLD-2022-074807
1/22/2024	BLD-2022-074807

SHEET TITLE
FOUNDATION PLAN

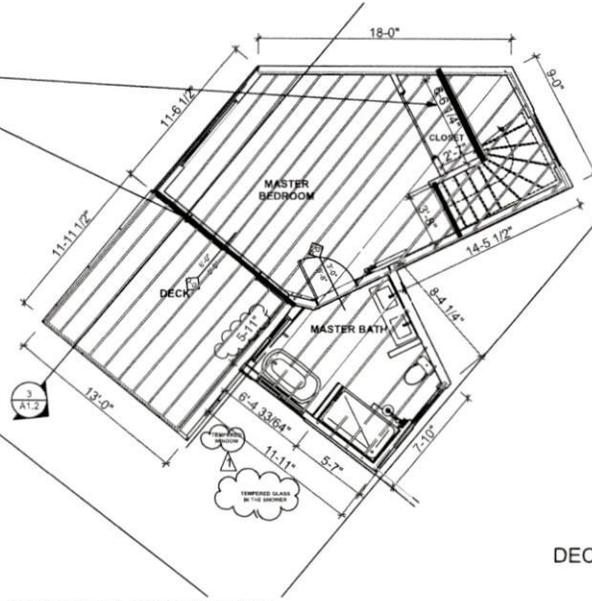
AO.1



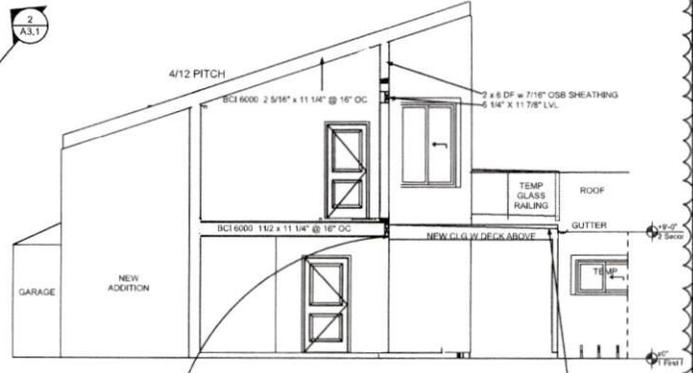
	T. BRENNAN COMPANY 11. Linnup Company PO Box 251 Humboldt, CA 95510 T. Brennan	ENGINEER
	CONTRACTOR OWNER - CONTRACTOR	CONTRACTOR
Roshawan Beere Addition 5222 Patrick Cr. APN 511-371-036 McKinleyville, Calif. 95519		
OWNER ROSHAWAN BEERE 707-502-8008 info@roshawanbeere.com		
PERMITS A 10/25/2023 A 10/25/2023 A 10/25/2023 A 10/25/2023		
SHEET TITLE FLOOR PLANS		
A1.1		

FLOOR FRAMING
 1 1/2"x 11 1/4" BCI 6000
 @ 16" OC
 5 1/4" X 11 7/8" LVL
 3/4" CDX Ply on top
 5/8" GYPSUM below

SHEAR & FRAMING
 Shear All Exterior Walls 7/16" OSB
 6x12 df HEADER
 Nail PLY 8D-4" @ EDGE
 12" @ FIELD
 Block All Edges
 2 x 6 PSTDF Plates
 5/8 x 10" Anchor Bolts 36" OC
 3" 3" x 0.229" SQR. Plate Washer



SECOND FLOOR FRAMING
 SCALE: 1/4" = 1'-0"



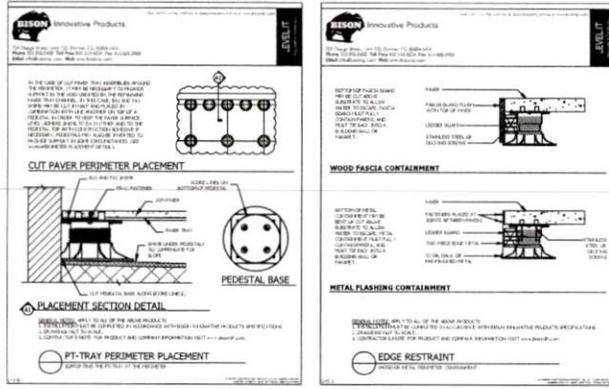
DECK CEILING SECTION
 SCALE: 1/4" = 1'-0"

2x12 DF #2 @ 16" OC ripped to get
 1/4" per ft. slope for TORCH DWN ROOFING
 under Bison Adjustable Decking
 5 1/4" X 11 7/8" LVL
 2 x 6 DF w 3/4" OSB SHEATHING
 Water Drains to a Gutter

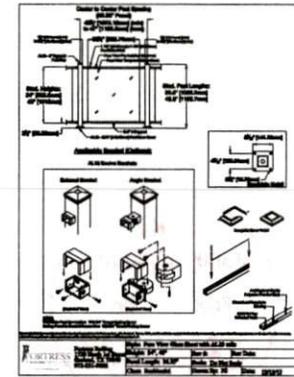
Residential Floor Span Tables
 About Floor Performance

Span	Load	Notes
12'-0"	10 psf	...
12'-6"	10 psf	...
13'-0"	10 psf	...
13'-6"	10 psf	...
14'-0"	10 psf	...
14'-6"	10 psf	...
15'-0"	10 psf	...
15'-6"	10 psf	...
16'-0"	10 psf	...
16'-6"	10 psf	...
17'-0"	10 psf	...
17'-6"	10 psf	...
18'-0"	10 psf	...
18'-6"	10 psf	...
19'-0"	10 psf	...
19'-6"	10 psf	...
20'-0"	10 psf	...
20'-6"	10 psf	...
21'-0"	10 psf	...
21'-6"	10 psf	...
22'-0"	10 psf	...
22'-6"	10 psf	...
23'-0"	10 psf	...
23'-6"	10 psf	...
24'-0"	10 psf	...
24'-6"	10 psf	...
25'-0"	10 psf	...
25'-6"	10 psf	...
26'-0"	10 psf	...
26'-6"	10 psf	...
27'-0"	10 psf	...
27'-6"	10 psf	...
28'-0"	10 psf	...
28'-6"	10 psf	...
29'-0"	10 psf	...
29'-6"	10 psf	...
30'-0"	10 psf	...
30'-6"	10 psf	...
31'-0"	10 psf	...
31'-6"	10 psf	...
32'-0"	10 psf	...
32'-6"	10 psf	...
33'-0"	10 psf	...
33'-6"	10 psf	...
34'-0"	10 psf	...
34'-6"	10 psf	...
35'-0"	10 psf	...
35'-6"	10 psf	...
36'-0"	10 psf	...
36'-6"	10 psf	...
37'-0"	10 psf	...
37'-6"	10 psf	...
38'-0"	10 psf	...
38'-6"	10 psf	...
39'-0"	10 psf	...
39'-6"	10 psf	...
40'-0"	10 psf	...
40'-6"	10 psf	...
41'-0"	10 psf	...
41'-6"	10 psf	...
42'-0"	10 psf	...
42'-6"	10 psf	...
43'-0"	10 psf	...
43'-6"	10 psf	...
44'-0"	10 psf	...
44'-6"	10 psf	...
45'-0"	10 psf	...
45'-6"	10 psf	...
46'-0"	10 psf	...
46'-6"	10 psf	...
47'-0"	10 psf	...
47'-6"	10 psf	...
48'-0"	10 psf	...
48'-6"	10 psf	...
49'-0"	10 psf	...
49'-6"	10 psf	...
50'-0"	10 psf	...
50'-6"	10 psf	...
51'-0"	10 psf	...
51'-6"	10 psf	...
52'-0"	10 psf	...
52'-6"	10 psf	...
53'-0"	10 psf	...
53'-6"	10 psf	...
54'-0"	10 psf	...
54'-6"	10 psf	...
55'-0"	10 psf	...
55'-6"	10 psf	...
56'-0"	10 psf	...
56'-6"	10 psf	...
57'-0"	10 psf	...
57'-6"	10 psf	...
58'-0"	10 psf	...
58'-6"	10 psf	...
59'-0"	10 psf	...
59'-6"	10 psf	...
60'-0"	10 psf	...
60'-6"	10 psf	...
61'-0"	10 psf	...
61'-6"	10 psf	...
62'-0"	10 psf	...
62'-6"	10 psf	...
63'-0"	10 psf	...
63'-6"	10 psf	...
64'-0"	10 psf	...
64'-6"	10 psf	...
65'-0"	10 psf	...
65'-6"	10 psf	...
66'-0"	10 psf	...
66'-6"	10 psf	...
67'-0"	10 psf	...
67'-6"	10 psf	...
68'-0"	10 psf	...
68'-6"	10 psf	...
69'-0"	10 psf	...
69'-6"	10 psf	...
70'-0"	10 psf	...
70'-6"	10 psf	...
71'-0"	10 psf	...
71'-6"	10 psf	...
72'-0"	10 psf	...
72'-6"	10 psf	...
73'-0"	10 psf	...
73'-6"	10 psf	...
74'-0"	10 psf	...
74'-6"	10 psf	...
75'-0"	10 psf	...
75'-6"	10 psf	...
76'-0"	10 psf	...
76'-6"	10 psf	...
77'-0"	10 psf	...
77'-6"	10 psf	...
78'-0"	10 psf	...
78'-6"	10 psf	...
79'-0"	10 psf	...
79'-6"	10 psf	...
80'-0"	10 psf	...
80'-6"	10 psf	...
81'-0"	10 psf	...
81'-6"	10 psf	...
82'-0"	10 psf	...
82'-6"	10 psf	...
83'-0"	10 psf	...
83'-6"	10 psf	...
84'-0"	10 psf	...
84'-6"	10 psf	...
85'-0"	10 psf	...
85'-6"	10 psf	...
86'-0"	10 psf	...
86'-6"	10 psf	...
87'-0"	10 psf	...
87'-6"	10 psf	...
88'-0"	10 psf	...
88'-6"	10 psf	...
89'-0"	10 psf	...
89'-6"	10 psf	...
90'-0"	10 psf	...
90'-6"	10 psf	...
91'-0"	10 psf	...
91'-6"	10 psf	...
92'-0"	10 psf	...
92'-6"	10 psf	...
93'-0"	10 psf	...
93'-6"	10 psf	...
94'-0"	10 psf	...
94'-6"	10 psf	...
95'-0"	10 psf	...
95'-6"	10 psf	...
96'-0"	10 psf	...
96'-6"	10 psf	...
97'-0"	10 psf	...
97'-6"	10 psf	...
98'-0"	10 psf	...
98'-6"	10 psf	...
99'-0"	10 psf	...
99'-6"	10 psf	...
100'-0"	10 psf	...
100'-6"	10 psf	...

BCI SPAN BOOK
 MAX SPAN = 17'



BISON DECK DETAIL FOR SUPPORT



GLASS RAILING

APPROVED
 APR 4 2024
 Humboldt County
 PLANNING

TJ DESIGN COMPANY
 DRAWN BY: T.J. Design Company
 Tom Hopkins
 PO Box 251
 Trinitas, Calif. 95570
 707-846-1150
 T Hopkins

CONTRACTOR
 OWNER - CONTRACTOR

ENGINEER

OWNER
 ROSHAWAN BEEBE
 707-502-6008
 bsb_rshawan@bshb.com

REVISIONS

2/1/2023	BLD-2022-574807
10/25/2023	BLD-2022-574807
1/22/2024	BLD-2022-574807

SHEET TITLE
 FRAMING

A1.2

Roshawan Beere Addition
 5222 Patrick Cr. APN 511-371-036
 McKinleyville, Calif. 95519

C:\Users\Tom\OneDrive\Documents\Drafting Projects\Patrick_Cr\Patrick_Cr25_1.in

ROOF FRAMING
 2 5/16" 11 1/4" BCI 6000 1.8
 5 1/4" x 11 7/8" LVL Beams
 IN RED

**ALL ROOFS ARE ARE FLAT
 NON VENTING
 w/ SPRAY FOAM & RIGID
 INSULATION AS NEEDED TO
 MEET TITLE 24**

**BCI 6000 1.8 SERIES
 16" OC = 27'7"**

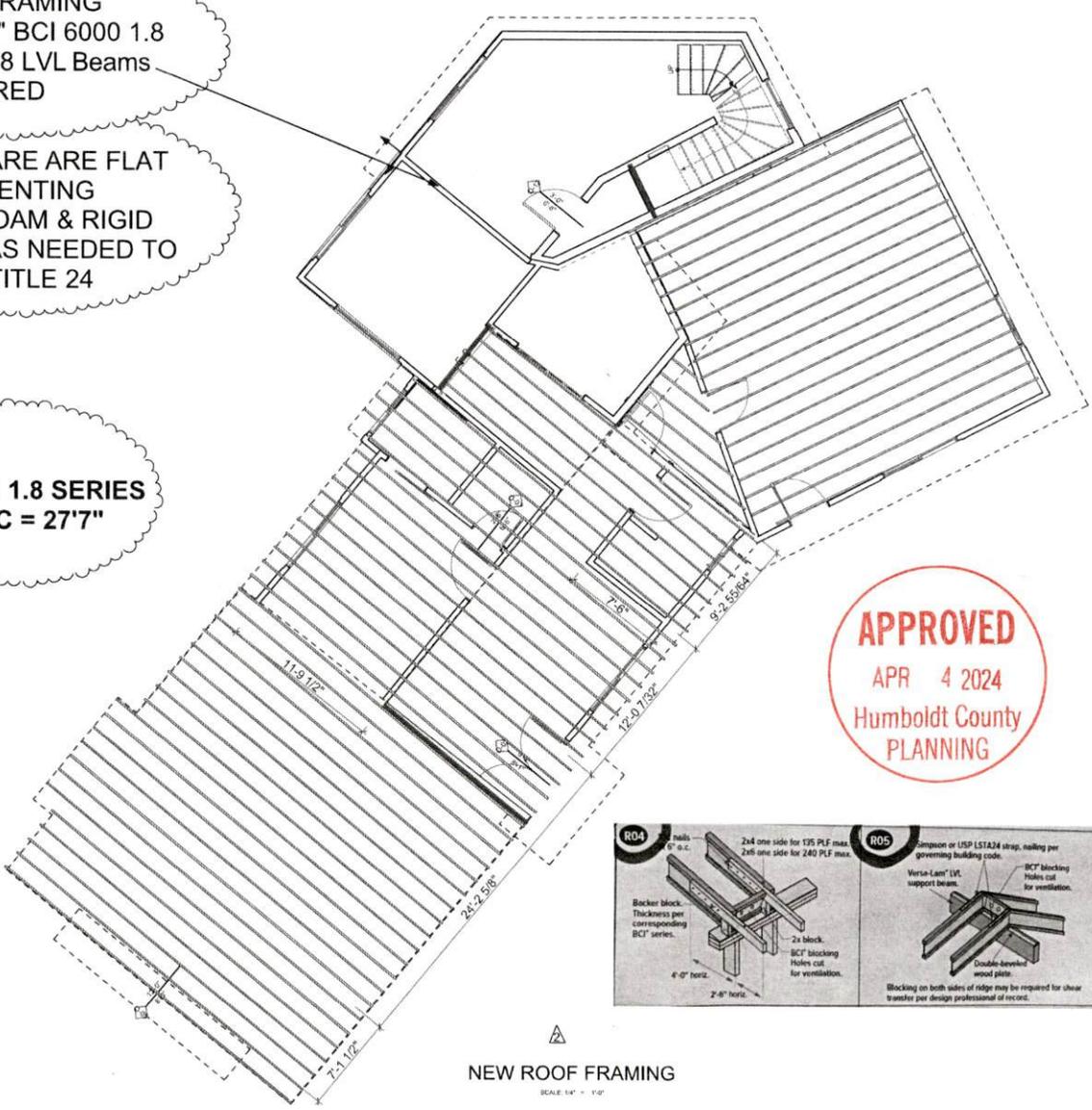
Roof Span Tables 15

Maximum clear span in feet and inches, based on horizontal spans.

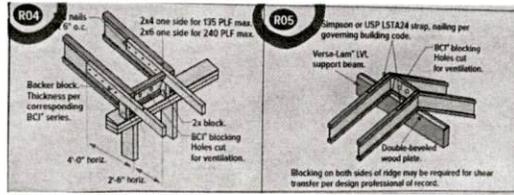
		115% and 125% Load Duration											
		BCI 5000 L7 Series 2" Flange Width						BCI 6000 1.8 Series 2 1/2" Flange Width					
Span Length ft.	Span Width ft.	115%		125%		115%		125%		115%		125%	
		BCI 5000 L7	BCI 5000 L7	BCI 5000 L7	BCI 5000 L7	BCI 6000 1.8	BCI 6000 1.8	BCI 6000 1.8	BCI 6000 1.8	BCI 6000 1.8	BCI 6000 1.8	BCI 6000 1.8	BCI 6000 1.8
10	10	10	10	10	10	10	10	10	10	10	10	10	10
15	10	10	10	10	10	10	10	10	10	10	10	10	10
20	10	10	10	10	10	10	10	10	10	10	10	10	10
25	10	10	10	10	10	10	10	10	10	10	10	10	10
30	10	10	10	10	10	10	10	10	10	10	10	10	10
35	10	10	10	10	10	10	10	10	10	10	10	10	10
40	10	10	10	10	10	10	10	10	10	10	10	10	10
45	10	10	10	10	10	10	10	10	10	10	10	10	10
50	10	10	10	10	10	10	10	10	10	10	10	10	10
10	15	10	10	10	10	10	10	10	10	10	10	10	10
15	15	10	10	10	10	10	10	10	10	10	10	10	10
20	15	10	10	10	10	10	10	10	10	10	10	10	10
25	15	10	10	10	10	10	10	10	10	10	10	10	10
30	15	10	10	10	10	10	10	10	10	10	10	10	10
35	15	10	10	10	10	10	10	10	10	10	10	10	10
40	15	10	10	10	10	10	10	10	10	10	10	10	10
45	15	10	10	10	10	10	10	10	10	10	10	10	10
50	15	10	10	10	10	10	10	10	10	10	10	10	10
10	20	10	10	10	10	10	10	10	10	10	10	10	10
15	20	10	10	10	10	10	10	10	10	10	10	10	10
20	20	10	10	10	10	10	10	10	10	10	10	10	10
25	20	10	10	10	10	10	10	10	10	10	10	10	10
30	20	10	10	10	10	10	10	10	10	10	10	10	10
35	20	10	10	10	10	10	10	10	10	10	10	10	10
40	20	10	10	10	10	10	10	10	10	10	10	10	10
45	20	10	10	10	10	10	10	10	10	10	10	10	10
50	20	10	10	10	10	10	10	10	10	10	10	10	10
10	25	10	10	10	10	10	10	10	10	10	10	10	10
15	25	10	10	10	10	10	10	10	10	10	10	10	10
20	25	10	10	10	10	10	10	10	10	10	10	10	10
25	25	10	10	10	10	10	10	10	10	10	10	10	10
30	25	10	10	10	10	10	10	10	10	10	10	10	10
35	25	10	10	10	10	10	10	10	10	10	10	10	10
40	25	10	10	10	10	10	10	10	10	10	10	10	10
45	25	10	10	10	10	10	10	10	10	10	10	10	10
50	25	10	10	10	10	10	10	10	10	10	10	10	10

Tables values are limited to three members and are based on a roof pitch of 12:12. Check the local building code for other construction details that may apply.
 Tables values represent the most restrictive of single or multiple span applications. Member length span ends with the BCI "C" suffix if the length of any span is less than half the length of an adjacent span.
 Tables values represent maximum spacing for joists, rafters and wall studs by joist height of 10, 12, 14, 16, 18, 20, 22, 24, 26, 28, 30, 32, 34, 36, 38, 40, 42, 44, 46, 48, 50, 52, 54, 56, 58, 60, 62, 64, 66, 68, 70, 72, 74, 76, 78, 80, 82, 84, 86, 88, 90, 92, 94, 96, 98, 100, 102, 104, 106, 108, 110, 112, 114, 116, 118, 120, 122, 124, 126, 128, 130, 132, 134, 136, 138, 140, 142, 144, 146, 148, 150, 152, 154, 156, 158, 160, 162, 164, 166, 168, 170, 172, 174, 176, 178, 180, 182, 184, 186, 188, 190, 192, 194, 196, 198, 200, 202, 204, 206, 208, 210, 212, 214, 216, 218, 220, 222, 224, 226, 228, 230, 232, 234, 236, 238, 240, 242, 244, 246, 248, 250, 252, 254, 256, 258, 260, 262, 264, 266, 268, 270, 272, 274, 276, 278, 280, 282, 284, 286, 288, 290, 292, 294, 296, 298, 300, 302, 304, 306, 308, 310, 312, 314, 316, 318, 320, 322, 324, 326, 328, 330, 332, 334, 336, 338, 340, 342, 344, 346, 348, 350, 352, 354, 356, 358, 360, 362, 364, 366, 368, 370, 372, 374, 376, 378, 380, 382, 384, 386, 388, 390, 392, 394, 396, 398, 400, 402, 404, 406, 408, 410, 412, 414, 416, 418, 420, 422, 424, 426, 428, 430, 432, 434, 436, 438, 440, 442, 444, 446, 448, 450, 452, 454, 456, 458, 460, 462, 464, 466, 468, 470, 472, 474, 476, 478, 480, 482, 484, 486, 488, 490, 492, 494, 496, 498, 500, 502, 504, 506, 508, 510, 512, 514, 516, 518, 520, 522, 524, 526, 528, 530, 532, 534, 536, 538, 540, 542, 544, 546, 548, 550, 552, 554, 556, 558, 560, 562, 564, 566, 568, 570, 572, 574, 576, 578, 580, 582, 584, 586, 588, 590, 592, 594, 596, 598, 600, 602, 604, 606, 608, 610, 612, 614, 616, 618, 620, 622, 624, 626, 628, 630, 632, 634, 636, 638, 640, 642, 644, 646, 648, 650, 652, 654, 656, 658, 660, 662, 664, 666, 668, 670, 672, 674, 676, 678, 680, 682, 684, 686, 688, 690, 692, 694, 696, 698, 700, 702, 704, 706, 708, 710, 712, 714, 716, 718, 720, 722, 724, 726, 728, 730, 732, 734, 736, 738, 740, 742, 744, 746, 748, 750, 752, 754, 756, 758, 760, 762, 764, 766, 768, 770, 772, 774, 776, 778, 780, 782, 784, 786, 788, 790, 792, 794, 796, 798, 800, 802, 804, 806, 808, 810, 812, 814, 816, 818, 820, 822, 824, 826, 828, 830, 832, 834, 836, 838, 840, 842, 844, 846, 848, 850, 852, 854, 856, 858, 860, 862, 864, 866, 868, 870, 872, 874, 876, 878, 880, 882, 884, 886, 888, 890, 892, 894, 896, 898, 900, 902, 904, 906, 908, 910, 912, 914, 916, 918, 920, 922, 924, 926, 928, 930, 932, 934, 936, 938, 940, 942, 944, 946, 948, 950, 952, 954, 956, 958, 960, 962, 964, 966, 968, 970, 972, 974, 976, 978, 980, 982, 984, 986, 988, 990, 992, 994, 996, 998, 1000.

**BCI SPAN BOOK
 MAX ROOF RAFTER SPAN = 26'6"
 in LIVING ROOM**



APPROVED
 APR 4 2024
 Humboldt County
 PLANNING



T.I. DESIGN COMPANY
 DRAWN BY:
 T.I. Design Company
 Tom Hopkins
 PO Box 291
 Trinidad, Calif. 96570
 707-846-6130
 T Hopkins

CONTRACTOR
 OWNER - CONTRACTOR

ENGINEER

Roshawan Beere Addition
 5222 Patrick Cr. APN 511-371-036
 McKinleyville, Calif. 95519

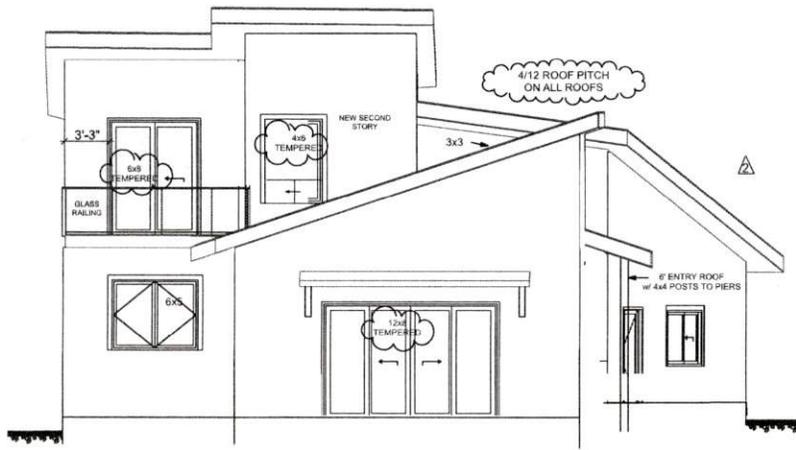
OWNER
 ROSHAWAN BEERE
 707-502-6008
 ron_roshan@yahoo.com

REVISIONS
 3/1/2023
 10/25/2023
 1/22/2024

SHEET TITLE
 ROOF FRAMING

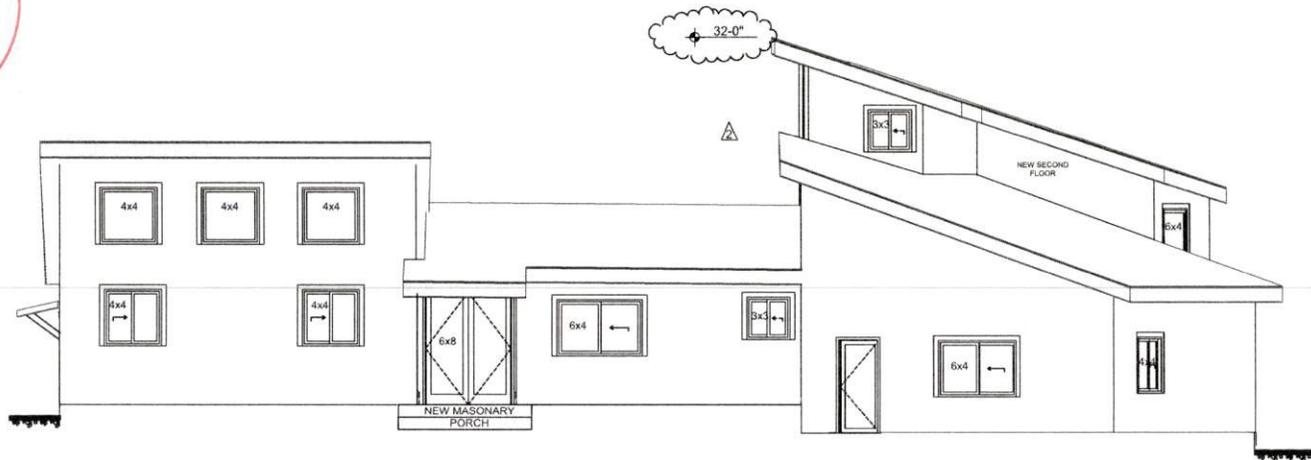
A1.3

C:\Users\TJH\OneDrive\Documents\Drafting\Projects\Patrick Cr\Patrick Cr25_.rvt



SOUTH ELEVATION

SCALE 1/4" = 1'-0"



EAST ELEVATION

SCALE 1/4" = 1'-0"

APPROVED
 APR 4 2024
 Humboldt County
 PLANNING



T.J. DESIGN COMPANY
 DRAWN BY:
 T.J. Design Company
 Tom Hopkins
 PO Box 281
 Trinidad, Calif. 95570
 707-446-5130
 T Hopkins

CONTRACTOR
 OWNER - CONTRACTOR

ENGINEER

Roshawan Beere Addition
 5222 Patrick Cr. APN 511-371-036
 McKinleyville, Calif. 95519

OWNER
 ROSHAWAN BEERE
 707-502-6008
 dm_rshawn@yahoo.com

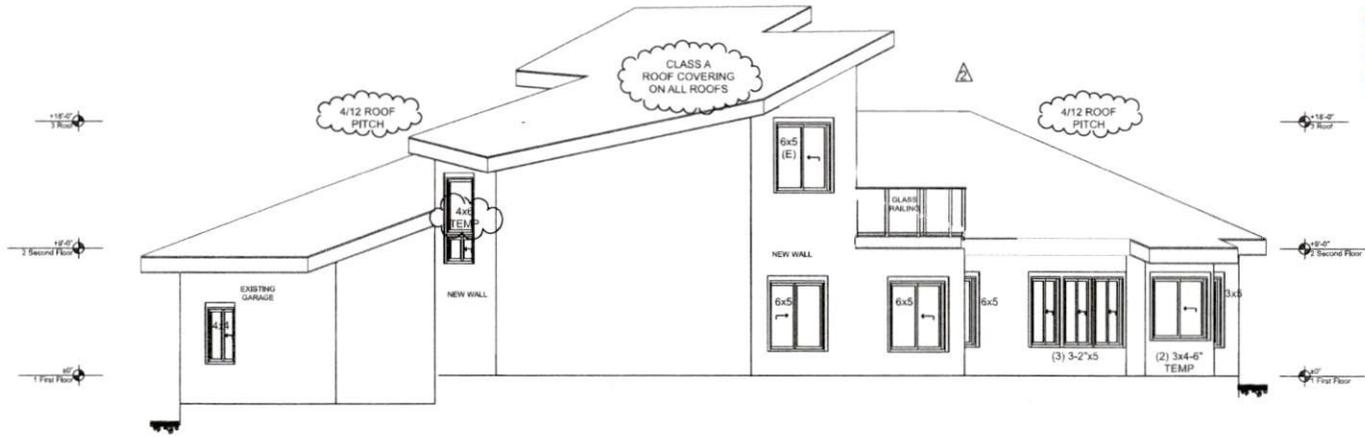
REVISIONS

2/1/2023	BLD-2022-574807
10/25/2023	BLD-2022-574807
1/22/2024	BLD-2022-574807

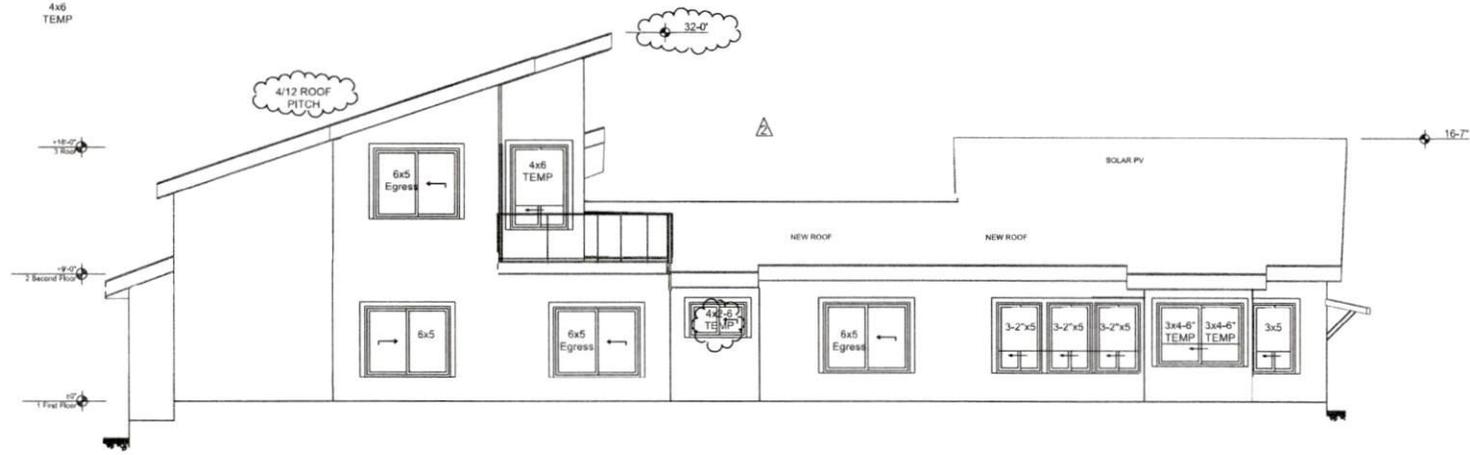
SHEET TITLE
 ELEVATIONS E & S

A2.1

C:\Users\lrbm\OneDrive\Documents\Drafting\Projects\Patrick Cr\Patrick Cr25_.rvt



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

APPROVED
 APR 4 2024
 Humboldt County
 PLANNING

TJ DESIGN COMPANY
 DRAWN BY:
 T.J. Design Company
 Tom Hopkins
 PO Box 281
 Trinidad, Calif. 95570
 707-845-5130
 T.Hopkins

CONTRACTOR
 OWNER - CONTRACTOR

ENGINEER

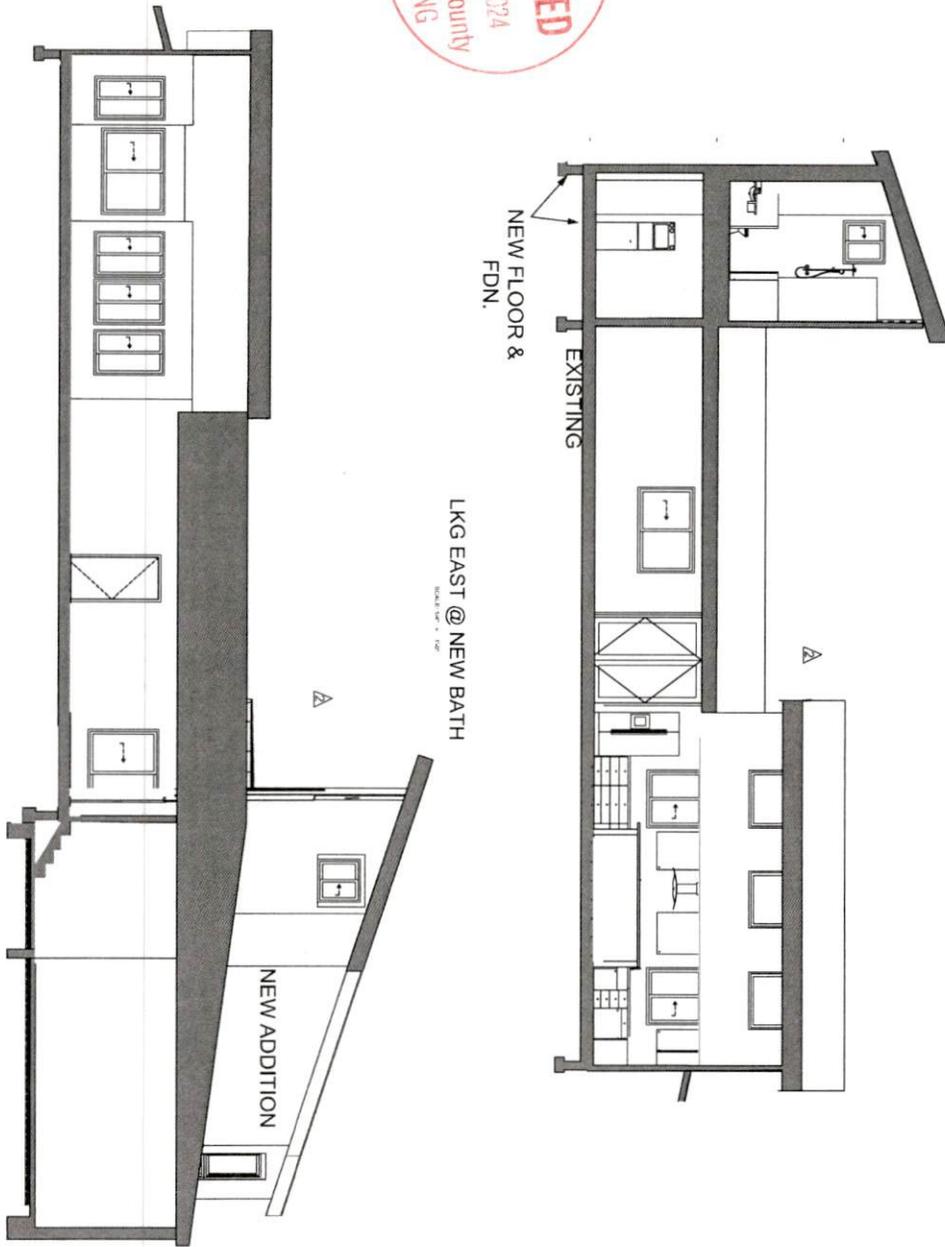
Roshawan Beere Addition
 5222 Patrick Cr. APN 511-371-036
 McKinleyville, Calif. 95519

OWNER
 ROSHAWAN BEERE
 707-502-6008
 don_rshawan@yahoo.com

REVISIONS	
2/1/2023	BLD-2023-274807
10/25/2023	BLD-2023-274807
1/22/2024	BLD-2023-274807

SHEET TITLE
 ELEVATION W & N

A2.2



LKG EAST @ NEW BATH

LKG WEST LIV RM

SCALE 1/4" = 1'-0"



McKinstry Company
 11, Shiloh Company
 PO Box 251
 Ukiah, CA 95178
 T Hopkins

CONTRACTOR

OWNER - CONTRACTOR

ENGINEER

Roshawan Beere Addition
 5222 Patrick Cr. APN 511-371-036
 McKinleyville, Calif. 95519

OWNER
 ROSHAWAN BEERE
 707-502-8008
 rbeere@roshawanbeere.com

REVISIONS

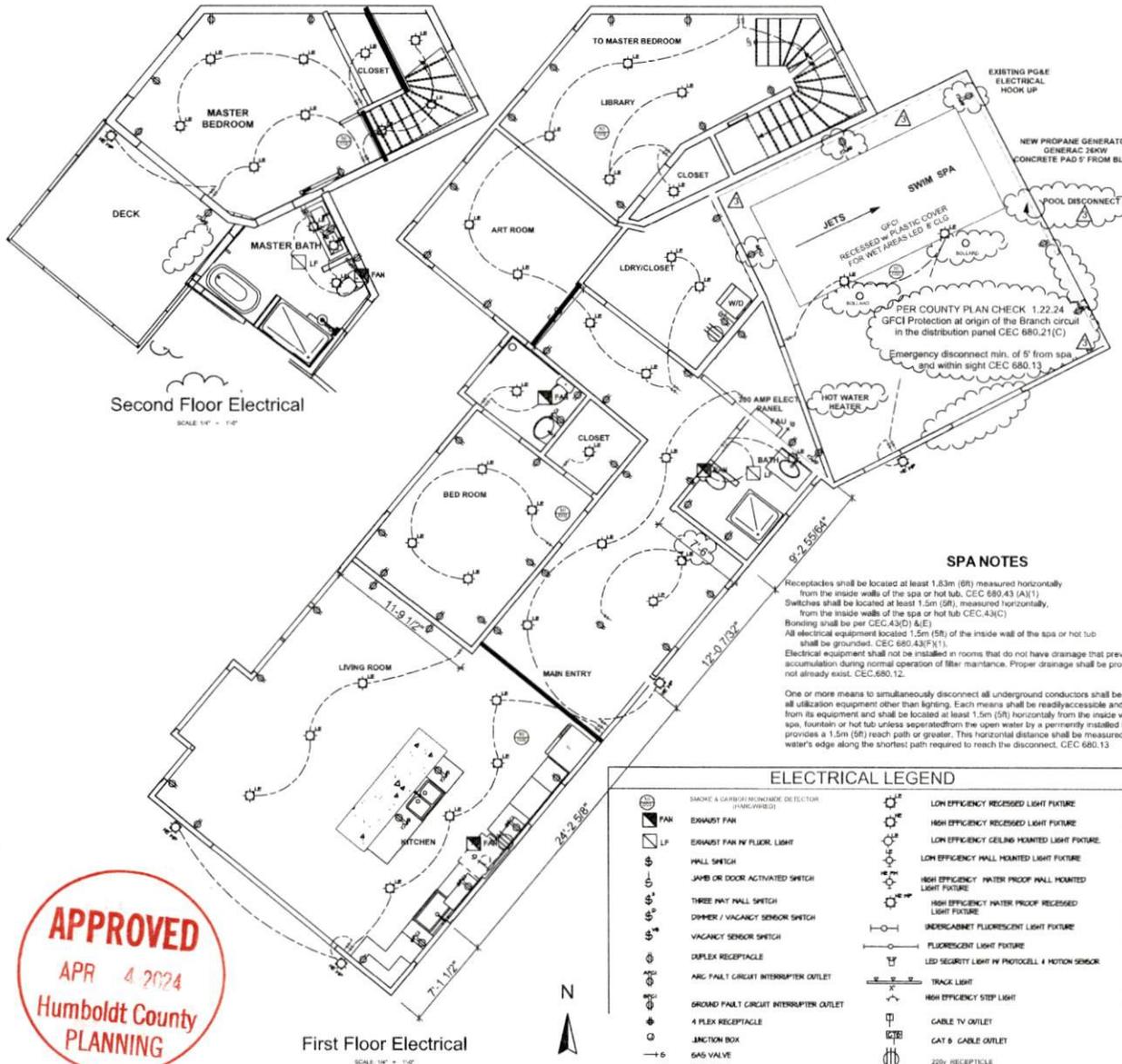
Δ	2/10/23	BCS/SS/ST/MB
Δ	10/25/2023	BCS/SS/ST/MB
Δ	10/25/2023	BCS/SS/ST/MB
Δ	10/25/2023	BCS/SS/ST/MB

SHEET TITLE
 SECTIONS

A3.1

ELECTRICAL NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2016 CALIFORNIA ELECTRICAL CODE, THE CEC 2016 RESIDENTIAL LIGHTING STANDARDS, THE NEC AND ALL LOCAL JURISDICTION AMENDMENTS AND STATE OF CALIFORNIA REGULATIONS.
- ALL NEW LIGHTING IN NEW ADDITIONS AND AREAS OF REMODEL SHALL BE HIGH EFFICACY (HEI) WITH 148 COMPLIANT LAMPS AND CONTROLLED BY DIMMER SWITCH OR VACANCY SENSOR.
- ALL RECEPTACLES 120 VOLT, 15 AND 20 AMP SHALL BE LISTED TAMPER RESISTANT RECEPTACLES PER CEC 406.11. RECEPTACLE OUTLET LOCATIONS SHALL COMPLY WITH CEC 210.52.
- PROVIDE GFCI PROTECTED OUTLETS AT ALL 120 VOLT, 15 AND 20 AMP RECEPTACLES INSTALLED IN KITCHEN, LAUNDRY, FAMILY, LIVING, BEDROOMS AND OTHER AREAS AS DESCRIBED IN CEC 210.8A.
- RECEPTACLES AT KITCHEN COUNTERTOPS SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM A RECEPTACLE. PER CEC 210.52C. TYPICAL MOUNTING HEIGHT FOR COUNTERTOP RECEPTACLES IS 42" ABOVE FINISH FLOOR TO CENTER OF BOX MOUNT IN HORIZONTAL POSITION.
- ANY EXISTING SMOKE ALARMS THAT ARE MORE THAN 10 YEARS OLD WILL BE REPLACED. INSTALL NEW SMOKE DETECTORS IN ACCORDANCE WITH CEC 814 AT LOCATIONS INDICATED ON THE DRAWINGS WHERE DETECTOR OCCURS AT SLOPED CEILING, MOUNT WITHIN 12" OF THE HIGHEST POINT. VERIFY THAT INSTALLED LOCATION IS A MINIMUM OF 30 FEET HORIZONTAL DISTANCE FROM PERMANENT COOKING EQUIPMENT. VERIFY THAT NO DETECTORS ARE INSTALLED WITHIN 36" OF THE TIP OF ANY CEILING FAN.
- PROVIDE ARC FAULT PROTECTION FOR ALL OUTLETS IN LOCATIONS DESCRIBED IN NEC 210.12 (A) INCLUDING: KITCHEN, LAUNDRY, FAMILY, LIVING, BEDROOMS, DINING, ETC.
- PROVIDE MANUFACTURER TECHNICAL SPECIFICATIONS FOR ALL LED FIXTURES TO CONFIRM COMPLIANCE WITH CA ENERGY CODE 119 REGARDING CERTIFICATION OF LED FIXTURES.
- PROVIDE AT LEAST TWO SEPARATE 20 AMP CIRCUITS FOR SMALL APPLIANCES IN KITCHEN, PANTRY, DINING ROOM AND SIMILAR AREAS, WITH NO OTHER OUTLETS ON THE CIRCUITS PER CEC 210.11 (C)(1) AND 210.52 (B).
- ALL OUTDOOR LIGHTING SHALL BE HIGH EFFICACY FIXTURES CONTROLLED BY BOTH A MANUAL SWITCH AND A PHOTOCELL WITH MOTION DETECTOR.
- ALL HARDWIRED LIGHTING IN BEDROOMS, HALLWAYS, STAIRS, DINING ROOM, FAMILY ROOM AND ALL OTHER ROOMS MUST BE CONTROLLED BY A MANUAL-ON OCCUPANT SENSOR, OR CONTROLLED BY A DIMMER.
- RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET FROM A RECEPTACLE OUTLET PER CEC 210.52 (A).
- CONTROL SWITCH FOR EXHAUST FAN AT BATHROOMS AND KITCHEN FOR INDOOR AIR QUALITY AND MECHANICAL VENTILATION SHALL OPERATE SEPARATELY FROM LIGHTING SWITCH PER CALIFORNIA ENERGY CODE SECTION 150.0.
- FOR ANY DWELLING WITH FUEL BURNING APPLIANCE OR WITH AN ATTACHED GARAGE, CARBON MONOXIDE ALARMS SHALL BE PROVIDED OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF ANY BEDROOM AND ON EVERY LEVEL INCLUDING BASEMENTS. CARBON MONOXIDE ALARMS MUST BE HARDWIRED WITH BATTERY BACKUP AND MUST BE INTERCONNECTED. CARBON MONOXIDE ALARMS MUST BE INSTALLED PER MANUFACTURER SPECIFICATIONS. WHERE MORE THAN ONE CARBON MONOXIDE DETECTOR IS REQUIRED, THE ALARM SHALL BE INTERCONNECTED IN A MANNER THAT THE ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT PER CEC 813.1.
- ALL PERMANENTLY INSTALLED HIGH EFFICACY LUMINAIRES SHALL BE SWITCHED SEPARATELY FROM LOW EFFICACY LUMINAIRES.
- EXHAUST FANS SHALL BE SWITCHED SEPARATELY EXCEPT WHEN LIGHTING INTEGRAL TO THE FAN IS INSTALLED THAT MEETS REQUIREMENTS OF SECTION 150 (K) 2.
- ALL RECESSED LIGHTING FIXTURES IN SPACES WHERE INSULATION IS REQUIRED SHALL BE IC RATED AND SHALL BE AIRTIGHT.
- PROVIDE ONE 20AMP CIRCUIT DEDICATED TO EACH BATHROOM PER CEC 210.11(C)
- MOUNT WALL SWITCHES 48" TO CENTERLINE ABOVE SUB FLOOR UNLESS NOTED OTHERWISE. MOUNT RECEPTACLE OUTLETS 12" TO CENTERLINE ABOVE SUB FLOOR UNLESS NOTED OTHERWISE.
- KITCHEN ISLANDS AND PENINSULAS SHALL BE PROVIDED WITH AT LEAST ONE GFCI PROTECTED RECEPTACLE WHICH SHALL BE INSTALLED NOT MORE THAN 12" BELOW THE COUNTERTOP WHERE THE COUNTERTOP EXTENDS NO MORE THAN 6" BEYOND ITS SUPPORT BASE PER CEC 210.52 (B) (3) (C).
- ALL 15 AND 20 AMP RECEPTACLES INSTALLED IN A WET LOCATION OR OUTDOORS SHALL BE GFCI PROTECTED AND HAVE AN ENCLOSURE THAT IS WEATHERPROOF PER CEC 406.8 (B) (1). INSTALL AT LEAST ONE OUTDOOR OUTLET ACCESSIBLE AT GRADE LEVEL, IN FRONT AND BACK OF DWELLING.
- CONTRACTOR SHALL PROVIDE UFER OR OTHER APPROVED GROUND PER CEC 250, OR VERIFY COMPLIANCE OF EXISTING GROUND.
- ALL LIGHTING ATTACHED TO THE RESIDENCE OR TO OTHER BUILDINGS ON THE SAME LOT MUST BE HIGH EFFICACY, AND MUST BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND ONE OF THE THE FOLLOWING:
 - PHOTOCONTROL AND MOTION SENSOR.
 - PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL.
 - ASTRONOMICAL TIME CLOCK CONTROL THAT AUTOMATICALLY TURNS THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS.
- THE EXISTING DWELLING UNIT IS EQUIPPED WITH A 4.5KW ROOF MOUNTED SOLAR PV SYSTEM INSTALLED IN 2016. INCLUDED IN THE SCOPE OF THIS PROJECT THE EXISTING SYSTEM WILL BE REMOVED AND THEN REINSTALLED IN ACCORDANCE WITH CEC 110.10.



APPROVED
 APR 4 2024
 Humboldt County
 PLANNING

ELECTRICAL LEGEND	
	SMOKE & CARBON MONOXIDE DETECTOR (HARDWIRED)
	EXHAUST FAN
	EXHAUST FAN W/ FLOOR LIGHT
	WALL SWITCH
	JAMB OR DOOR ACTIVATED SWITCH
	THREE WAY WALL SWITCH
	DIMMER / VACANCY SENSOR SWITCH
	VACANCY SENSOR SWITCH
	DUPLEX RECEPTACLE
	ARC FAULT CIRCUIT INTERRUPTER OUTLET
	GROUND FAULT CIRCUIT INTERRUPTER OUTLET
	4 PLEX RECEPTACLE
	JUNCTION BOX
	GAS VALVE
	HOSE BIBB
	LOW EFFICIENCY RECESSED LIGHT FIXTURE
	HIGH EFFICIENCY RECESSED LIGHT FIXTURE
	LOW EFFICIENCY CEILING MOUNTED LIGHT FIXTURE
	LOW EFFICIENCY WALL MOUNTED LIGHT FIXTURE
	HIGH EFFICIENCY WATER PROOF WALL MOUNTED LIGHT FIXTURE
	HIGH EFFICIENCY WATER PROOF RECESSED LIGHT FIXTURE
	UNDERCABINET FLUORESCENT LIGHT FIXTURE
	FLUORESCENT LIGHT FIXTURE
	LED SECURITY LIGHT W/ PHOTOCELL & MOTION SENSOR
	TRACK LIGHT
	HIGH EFFICIENCY STEP LIGHT
	CABLE TV OUTLET
	CAT 5 CABLE OUTLET
	220v RECEPTACLE

TJ DESIGN COMPANY

DRAWN BY:
T.J. Design Company
Tom Hoare
PO Box 281
Tweed, Calif. 95570
707-845-6130

T. Hopkins

CONTRACTOR
OWNER - CONTRACTOR

ENGINEER

OWNER

ROSHAWAN BEERE
707-502-6008
dr_rshaw@qshaw.com

REVISIONS

1	2/1/2023	4072023-274807
2	10/25/2023	BLD-2023-274807
3	1/22/2024	BLD-2023-274807

SHEET TITLE

ELECTRICAL

A4.0

C:\Users\Tom\OneDrive\Documents\Drafting\Projects\Patrick_CRP\Patrick_CRP25_01.dwg

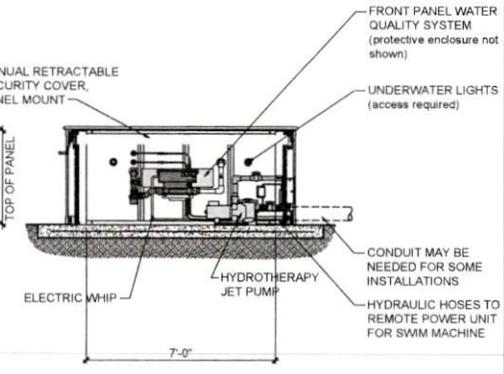
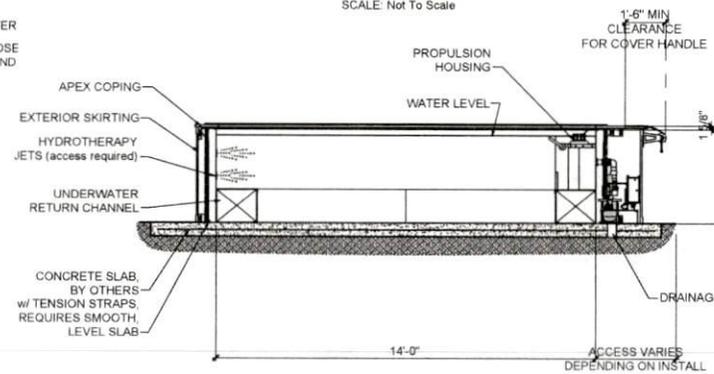
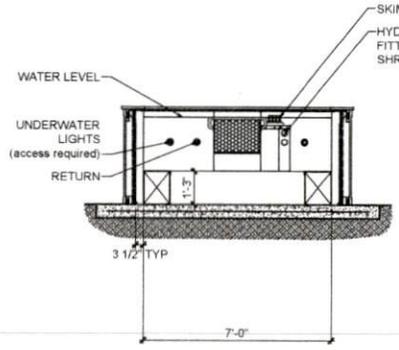
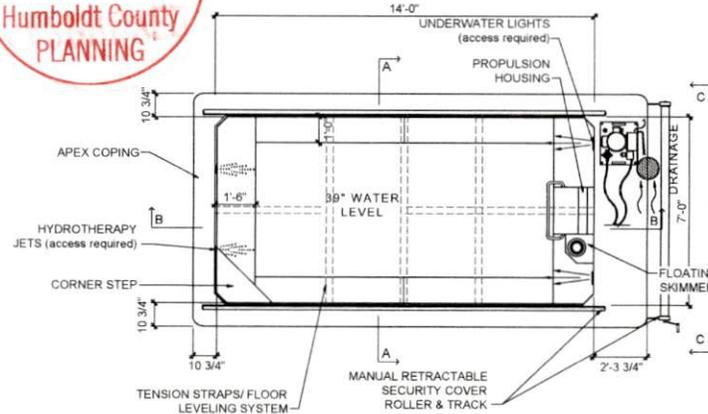
GENERAL NOTES:

- POOL SITE MUST BE CAPABLE OF SUPPORTING A LOAD OF 75 LB/SF FOR EVERY FOOT OF POOL HEIGHT. IF POURING A CONCRETE SLAB, IT SHOULD EXTEND A MINIMUM OF 6 IN BEYOND THE POOL'S BOTTOM FLANGE. THE EQUIPMENT END SHOULD EXTEND ENOUGH TO SUPPORT POOLSIDE EQUIPMENT IF NEEDED - SEE PERTINENT DETAILS.
- CONTRACTOR TO VERIFY SITE CONDITIONS PRIOR TO INSTALLATION.
- ACCESS MUST BE MAINTAINED TO THE WATER-QUALITY SYSTEM, AS WELL AS TO THE POWER UNIT. WHEN A HYDRAULIC TREADMILL OR AN AUTOMATIC RETRACTABLE SECURITY COVER IS SPECIFIED & TO THE EXTERIOR OF THE PANEL WHERE OPTIONAL JETS AND/OR LIGHTS ARE INSTALLED.
- ENDLESS POOLS CANNOT STRESS ENOUGH THE NECESSITY OF DRAINAGE AT THE POOL SITE. FLOOR DRAINS OR SUMP SYSTEMS SHOULD BE LOCATED ADJACENT TO THE POOL AND TESTED TO ENSURE WATER DRAINS PROPERLY.
- THE POOL SHOULD BE BONDED TO ITS ASSOCIATED EQUIPMENT & SLAB OR DECKING, IF APPLICABLE, IN ACCORDANCE WITH LOCAL CODE.
- THE ENDLESS POOL SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES. REQUIRED PERMITTING IS THE SOLE RESPONSIBILITY OF THE OWNER.
- THE ENTIRE ENDLESS POOL SYSTEM IS ETL LISTED, REF #2001779 AND CONFORMS TO UL STANDARD #1563. INDIVIDUALLY, ALL ELECTRICAL COMPONENTS OF THE ENDLESS POOL ARE UL or CSA APPROVED.
- ALL ELECTRIC CIRCUITS MUST BE GFCI/RCD PROTECTED.
- THIS DRAWING MAY NOT REFLECT ALL THE OPTIONS SELECTED BY THE OWNER.



POOL CONFIGURATION
(For Additional Information, Request Appropriate Detail Drawings from your Design Representative)

- Width 7 ft Inside Dimension
- Length 14 ft Inside Dimension
- Height 42 in Panel
- Tension Straps/ Floor Leveling System (Detail EP-2.1)
- Patterned Liner (Color: Grey Mosaic)
- Skirting (Color: Weathered Grey)
- Apex Coping (Color: Arctic Ice)
- Underwater Return Channel (Color: Sapphire)
- Manual Retractable Security Cover, Front Skirting Mount (Details Sect 6)
- Poolside Water Quality System (Details EP-7.0 thru 7.2, EP-3.6)
- Corner Step, Rear Right Side (Details EP-8.4, EP-8.5, EP-8.6)
- Rear Hydrotherapy Jets (Detail EP-7.4A)
- Front Underwater Lights (Detail EP-7.3)
- Hydraulic Power Unit, 5 HP (Detail EP-7.1.0)



FULLY ABOVE GROUND ORIGINAL MODULAR SWIM SPA

PRELIMINARY SPA PLANS



Client Name: **Danielle Graham**
Client Address: 5222 Patrick Creek Dr
McKinleyville, CA 95519
Client #: 2707211

DRAWING NO.

T. DESIGN COMPANY
DRAWN BY: T.J. Design Company
Tom Hopkins
PO Box 251
Troy, CA 95570
707-646-6130
T.Hopkins

CONTRACTOR
OWNER - CONTRACTOR

ENGINEER

Roshawan Beere Addition
5222 Patrick Cr. APN 511-371-036
McKinleyville, Calif. 95519

OWNER
ROSHAWAN BEERE
707-502-6008
beer_r@roshan.com

REVISIONS
2/12/2023
BLD-2023-274807
1/9/25/2023
BLD-2023-274807
1/25/2024
BLD-2023-274807

SHEET TITLE
SWIM SPA

A4.1

C:\Users\toni\OneDrive\Documents\Drafting Projects\Patrick_Cr\25_pdn

The Endless Pool and Code Requirements

The entire Endless Pool system is ETL listed, Ref. #2001779 and conforms to UL Standard #1563. Individually, all electrical components of the Endless Pool are UL and/or CSA approved. As defined by the International Swimming Pool and Spa Code (ISPS/C), the Endless Pool is considered an Exercise Spa. That is to say, it is a "variant of a spa in which the design and construction includes specific features and equipment to produce a water flow intended to allow recreational physical activity including, but not limited to, swimming in place." The appropriate governing standard is dependent on the installation method and the requirements and definitions used by the local governing bodies.

General Description of an Endless Pool

An Endless Pool is a free-standing, steel panel, vinyl lined pool or spa. Filled with water, the standard Endless Pool exerts an evenly distributed foot of 200 lbs. per square foot, with a total weight of 10 tons. The water depth of the standard Endless Pool is 30" with 24" above the perimeter return channels, and has a surface area of less than 100 square feet. A current is generated in the pool spa by a 16" diameter propeller hidden inside a protective housing. The water is kept warm and clean using industry standard equipment, including a 108-watt Circulating Pump, Cartridge Filter and Electric or Gas Heater.

Filling and Draining

The standard flat bottom 7' x 14' Endless Pool contains 2,500 gallons of water and is typically filled with a garden hose and drained by siphoning through a garden hose or using a hose or sump pump to pump the water out. The pool or spa is usually partially drained and refilled every three years for programmed service. There is no connection to household plumbing.

Electric Requirements

All electrical equipment must be wired, bonded and grounded in accordance with local code by a licensed electrician. The entire Endless Pool system is ETL listed, Ref. #2001779 and conforms to UL Standard #1563. Individually, all electrical components of the Endless Pool are UL and/or CSA approved.

All pool equipment including the 4 kW electric heater, circulating pump and 5 HP hydraulic power unit runs off one 30 amp, single phase, GFCI protected, 220 volt service. This is the same type of circuit that is used for electric clothes dryers. A maximum of 10AWG wire should be used for all field wiring. We recommend you install a shut-off within 5' of where you intend to place your power unit.

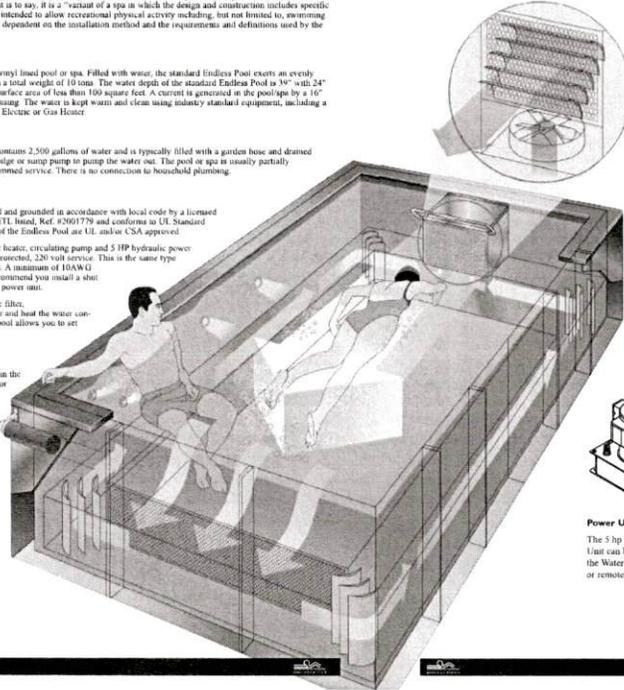
The Water Quality System uses a cartridge type filter, electric heater and super-efficient pump to filter and heat the water continuously. A digital controller mounted on the pool allows you to set the temperature with the press of a button.

Safety Considerations

There are no protrusions or other obstructions in the swimming area, which may cause entrapment or entanglement of the user.

The safety cover that is available with the Endless Pool complies with ASTM F 1348 as required by the APSP standards.

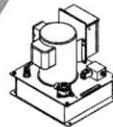
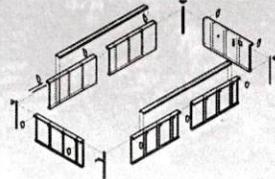
The skimmer filter is fitted with a release valve, and an anti-entrapment faceplate to eliminate any entrapment hazard.



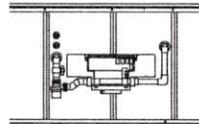
Transportability

Unlike a standard swimming pool, the Endless Pool can be disassembled and relocated. The Endless Pool is delivered to the job site in kit form for bolt-together assembly. The Endless Pool can be unbolted and moved with the homeowner should they relocate.

Your Endless Pool installation may be classified as an exercise spa or pool based upon your local ordinances, local code office interpretation, and definitions contained in the National Electric Code, Article 680, "Swimming Pools, Fountains, and Similar Installations," the National Spa and Pool Institute and the International Residential Code.



Power Unit
The 5 hp Hydraulic Power Unit can be located beside the Water Quality System or remotely.



Water Filtration
The Water Quality System is mounted on the front panel of the pool and is pre-plumbed for ease of installation.



2008 VGB Compliant (APSP-16)



DRAWN BY:
T.J. Design Company
Tom Hopkins
PO Box 231
Trendad, Calif. 95570
707-845-6130
T Hopkins

CONTRACTOR
OWNER - CONTRACTOR

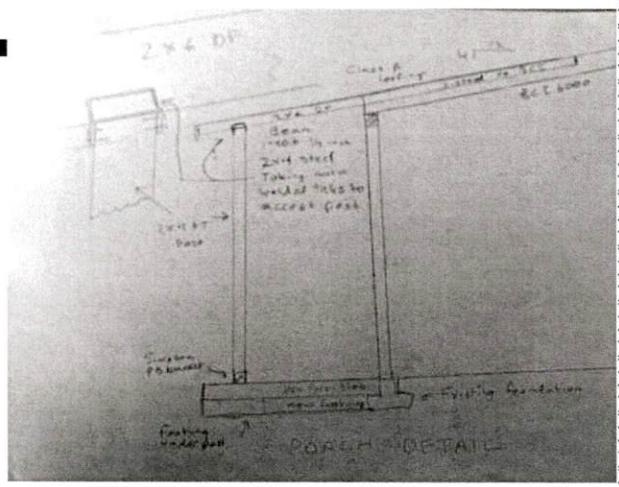
ENGINEER

Roshawan Beere Addition
5222 Patrick Cr. APN 511-371-036
McKinleyville, Calif. 95519

OWNER
ROSHAWAN BEERE
707-502-6008
don_roshawan@yahoo.com

REVISIONS	
2/12/2023	BLD-2022-374807
10/25/2023	BLD-2022-374807
1/22/2024	BLD-2022-374807

SHEET TITLE
1.22.24 NOTES



Porch Drawing

A4.2