

**PROJECT DESCRIPTION**

Parcel 110-251-038 to have <n> (2) bedroom (2) bathroom single family residence on a stepped perimeter foundation.

Project is served by the following utilities:

- Electrical: RID
- Gas: None
- Water: RID
- Plumbing Waste: Septic

Applicable codes:

- 2022 California Building Code (CBC),
- 2022 California Mechanical Code (CMC),
- 2022 California Plumbing Code (CPC),
- 2022 California Electric Code (CEC),
- 2022 California Green Building Code,
- 2022 California Energy Code CEnC

**PROJECT INFORMATION**

USE: R3

TYPE OF CONSTRUCTION: VB

STORIES: 2

HEIGHT: 34'-10"

TOTAL LIVING AREA: 1,719 SQ FT

SPRINKLERS: YES



Site Overview

**SITE CONDITIONS**

COASTAL ZONE: YES (A)

FLOOD ZONE: NO

SEISMIC ZONE: 2

FAULT LINES: NONE

MS4: YES

WETLANDS: NONE

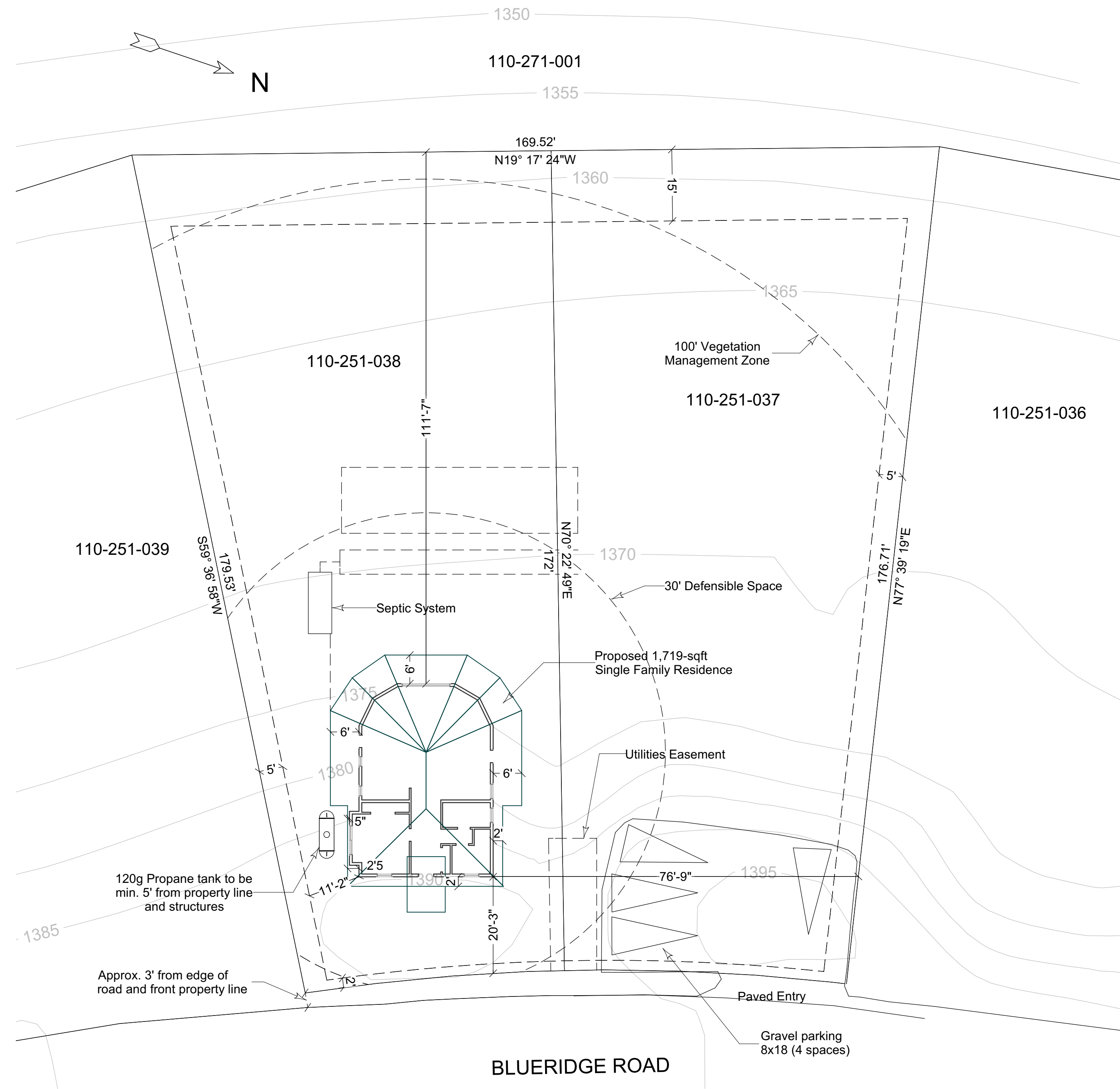
STREAMS: NONE

**PROJECT NOTES**

1. All work shall conform to the indicated codes and local ordinances in effect at the time of issuance of building permits.
2. All work shall be in conformance with manufacturer's specifications and recommendations.
3. Do not scale drawings. Written dimensions on the drawings shall take precedence over scaled drawings.
4. All construction and installation of equipment, materials, and appurtenances of all trades shall be constructed and installed per strict manufacturer's recommendations, specifications, and procedures. Contractor shall be responsible for the coordination of consultant drawings and documentation of all trades prior to installation or construction of equipment, materials, and appurtenances.
5. All workmanship shall be performed by skilled mechanics using the best standard practices of trade.
6. Any conflict with these plans and existing conditions or building codes shall be brought to the immediate attention of the draftsman or engineer, in writing.
7. No proposed landscaping.
8. See Tree Removal Plan for trees to be removed.
9. No proposed grading beyond foundation construction.

**POST PROJECT IMPERVIOUS SURFACE AREA**

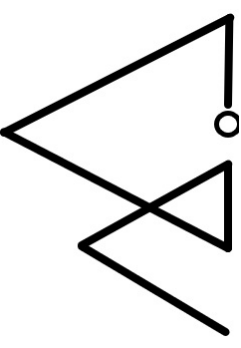
SFR (w/ roof overhang)	1,784 sq. ft.
Driveway	0 sq. ft. - Gravel Driveway
<b>Total</b>	<b>1,784 sq. ft.</b>



Site Plan  
1/16" = 1'

REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION

Blue Hammer Home Design  
bluehammerhomedesign@gmail.com



Sheet Name  
**SITE PLAN**

Single-Family Residence  
Client: Aurel Coza & Bianca Guirgiu  
Phone: 530-260-9838  
Email: aurel.coza@gmail.com  
Address: 634 Blue Ridge Rd, Shelter Cove CA  
APN: 110-251-038

DATE:

9/21/2024

DRAWN BY:

JOE MARENCHI

SHEET

**C2**

**MEANS OF EGRESS NOTES**

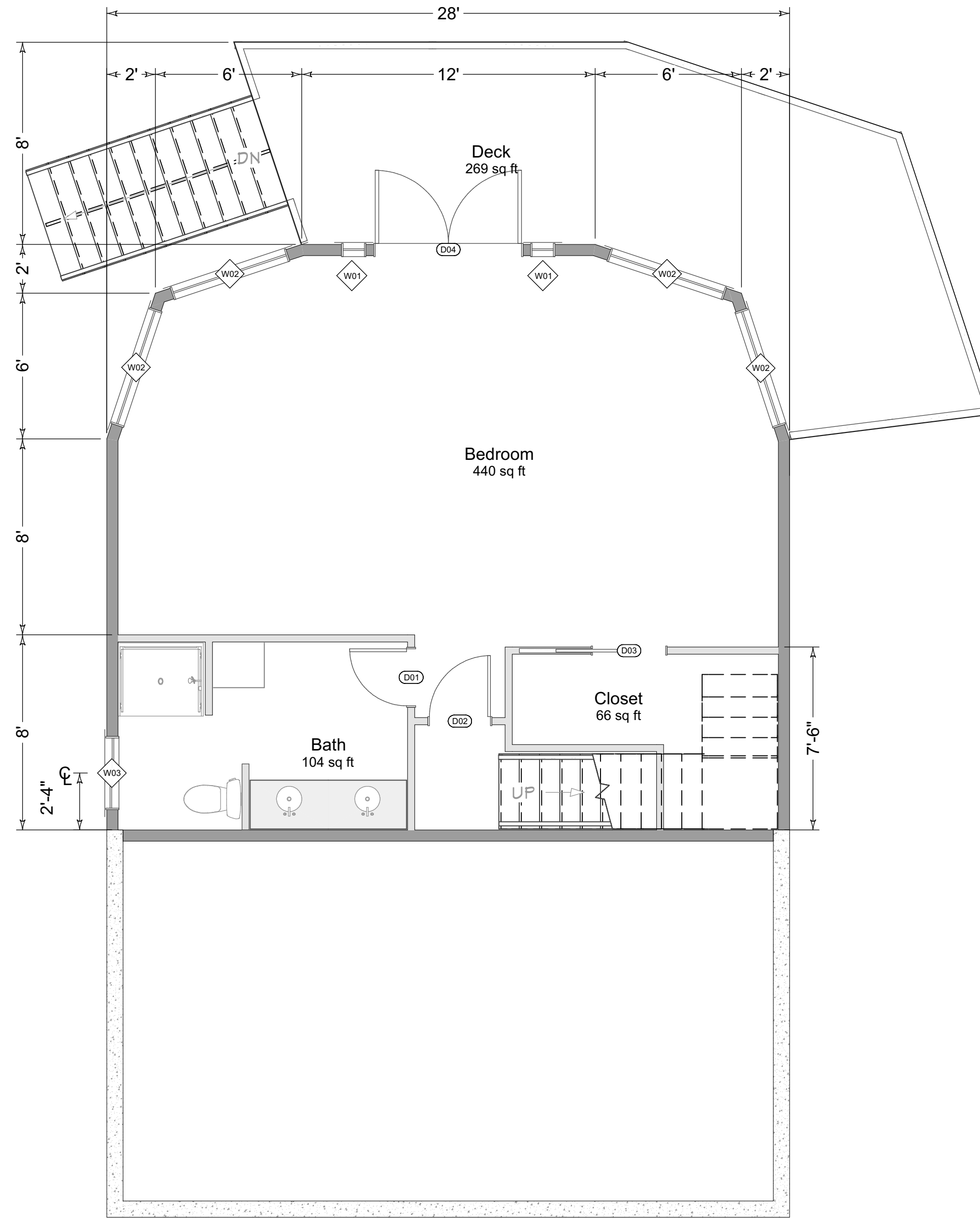
- Provide at least one side-hinged egress door from each dwelling unit not less than 3' wide and 6'-8" high with minimum 32 inches width clear. Egress door shall be readily openable from inside without the use of a key or special knowledge or effort CRC311.2.
- For habitable levels or basements located more than one story above or more than one story below an egress door, the maximum travel distance from any occupied point to a stairway or ramp that provides egress from such habitable level or basement, shall not exceed 50 feet. CRC311.4.
- The means of egress shall provide a continuous and unobstructed path of vertical and horizontal egress travel from all portions of the dwelling to the required egress door without requiring travel through a garage. CRC311.1.
- Landings or finished floors at the required egress door shall be not more than 1 1/2 inches lower than the top of the threshold. CRC311.3.1.
- Landings shall be at least as wide as the door or stairway served and shall be 36" minimum in the direction of travel. CRC311.3.
- A continuous handrail shall be provided on at least one side of each continuous run of treads or flight with four or more risers. CRC311.7.8.
- Handrail height, measured vertically from the sloped plane adjoining the tread nosing or finish surface of ramp slope, shall be not less than 34" and not more than 38". Handrails adjacent to a wall shall have a space of at least 1'-1/2" between the wall and the handrail. CRC311.7.8.1, CRC311.7.8.3.
- Winder treads shall comply with CRC311.7.5.2.1.
- Spiral stairs shall comply with CRC311.7.10.1.
- Ramps with a slope more than 1 unit vertical in 12 units horizontal shall be provided with handrails on at least one side. CRC311.8.1.3.
- Doors other than the required egress door shall be provided with landings or floors not more than 7-3/4 inches below the top of the threshold. Exception: A top landing is not required where a stairway of not more than two risers is located on the exterior side of the door, provided that the door does not swing over the stairway. CRC311.3.2.

**AGING IN PLACE NOTES**

- Reinforcement Scope. At least one bathroom on the entry level shall be provided with reinforcement. Where there is no bathroom on the entry level, at least one bathroom on the second or third floor of the dwelling shall be provided with reinforcement.
- Reinforcement Material and Height. Reinforcement shall not be less than 2 by 8-inch and shall be located between 32 inches (812.8 mm) and 39 1/4 inches (997 mm) above the finished floor flush with the wall framing.
- Water Closet Reinforcement. Water closet reinforcement shall be installed on both side walls of the fixture, or one side wall and the back wall. Where the water closet is not placed adjacent to a side wall capable of accommodating a grab bar, the bathroom shall have provisions for installation of floor-mounted, foldaway or similar alternate grab bar reinforcements approved by the enforcing agency.
- Shower Reinforcement. Shower reinforcement shall be continuous where wall framing is provided. Shower enclosures that do not permit installation of reinforcement and/or grab bars shall be permitted, provided reinforcement for installation of floor-mounted grab bars or an alternate method is approved by the enforcing agency.
- Bath/Shower Reinforcement. Bathtub and combination bathtub/shower reinforcement shall be continuous on each end of the bathtub and the back wall. Additionally, back wall reinforcement for a lower grab bar shall be provided with the bottom edge located no more than 6 inches (152.4 mm) above the bathtub rim. Bathtubs with no surrounding walls, or where wall panels do not permit the installation of reinforcement shall be permitted, provided reinforcement for installation of floor-mounted grab bars adjacent to the bathtub or an alternate method is approved by the enforcing agency.
- Electrical Outlet/Switch Control Heights. Electrical receptacle outlets, switches and controls (including controls for heating, ventilation and air conditioning) intended to be used by occupants shall be located no more than 48 inches (1219.2 mm) measured from the top of the outlet box and not less than 15 inches (381 mm) measured from the bottom of the outlet box above the finish floor.
- Interior Doors. Effective July 1, 2024, at least one bathroom and one bedroom on the entry level shall provide a doorway with a net clear opening of not less than 32 inches (812.8 mm), measured with the door positioned at an angle of 90 degrees from the closed position; or, in the case of a two- or three-story single family dwelling, on the second or third floor of the dwelling if a bathroom or bedroom is not located on the entry level.
- Doorbell Buttons. Doorbell buttons or controls, when installed, shall not exceed 48 inches (1219.2 mm) above exterior floor or landing, measured from the top of the doorbell button assembly. Where doorbell buttons integrated with other features are required to be installed above 48 inches (1219.2 mm) measured from the exterior floor or landing, a standard doorbell button or control shall also be provided at a height not exceeding 48 inches (1219.2 mm) above exterior floor or landing, measured from the top of the doorbell button or control.

NUMBER	COMMENTS	QTY	DESCRIPTION	SIZE	BOTTOM FLOOR	EGRESS	TEMPERED
W01		2	FIXED GLASS	1060FX	8"	1	YES
W02		4	FIXED GLASS	5040FX	32"	1	YES
W03		1	LEFT SLIDING	3030LS	44"	1	YES
W04		1	FIXED GLASS	3030FX	44"	2	YES
W05		1	FIXED GLASS	3040FX	32"	2	YES
W06		6	FIXED GLASS	5358FX	22"	2	YES
W07		1	LEFT SLIDING	3030LS	44"	2	YES
W08		1	LEFT SLIDING	6040LS	32"	2	YES
W09		1	SINGLE CASEMENT-HL	2030SC	44"	2	YES
W10		1	SINGLE CASEMENT-HR	2030SC	44"	2	YES
W11		2	SINGLE HUNG	3040SH	32"	2	YES

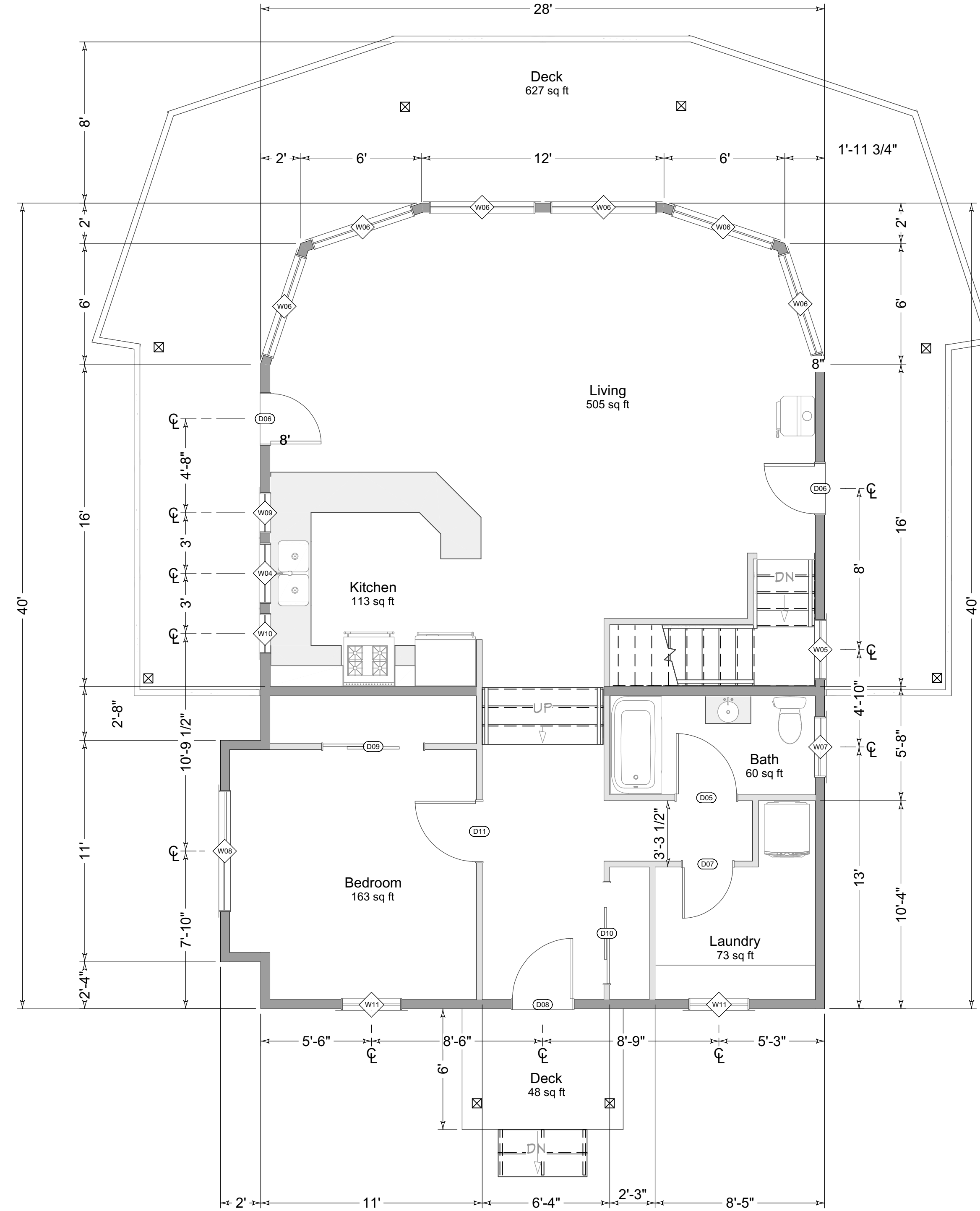
**Window Schedule**



**1st Floor  
Scale: 1/4" = 1'**

NUMBER	COMMENTS	QTY	FLOOR	SIZE	DESCRIPTION
D01		1	1	2468 R IN	HINGED-DOOR P04
D02		1	1	2668 R IN	HINGED-DOOR P04
D03		1	1	3068 L	POCKET-DOOR P04
D04		1	1	6068 L/R EX	EXT. DOUBLE HINGED-DOOR E21
D05		1	2	3068 L IN	HINGED-DOOR P04
D06		2	2	2668 R EX	EXT. HINGED-DOOR E21
D07		1	2	2668 R IN	HINGED-DOOR P04
D08		1	2	3068 R EX	EXT. HINGED-DOOR E21
D09		1	2	5068 L IN	SLIDER-DOOR P04
D10		1	2	5068 R IN	SLIDER-DOOR P04
D11		1	2	3068 R IN	HINGED-DOOR P04

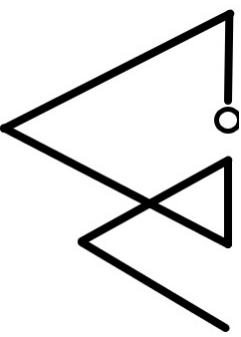
**Door Schedule**



**2nd Floor  
Scale: 1/4" = 1'**

NUMBER	DATE	REVISION TABLE	DESCRIPTION

**Blue Hammer Home Design**  
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**FLOOR PLAN**

Single-Family Residence  
Client: Aurel Coza & Bianca Gurgiu  
Phone: 530-260-9838  
Email: aurel.coza@gmail.com  
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9/20/2024

DRAWN BY:

JOE MARENCHI

SHEET

**A3**

**EXTERIOR SIDING NOTES**

1. A No. 15 felt complying with ASTM D226, Type 1 water-resistant barrier shall be applied over studs or sheathing of all exterior walls with flashing. It shall be applied horizontally, with the upper layer lapped over the lower layer not less than 2 inches (51 mm), and where joints occur, shall be lapped not less than 6 inches (152 mm).
2. The nominal thickness and attachment of exterior wall coverings shall be in accordance with Table R703.3(1), the wall covering material requirements of this section, and the wall covering manufacturer's installation instructions.
3. Exterior wall coverings and roof overhang soffits shall be securely fastened with aluminum, galvanized, stainless steel or rust-preventative coated nails or staples in accordance with Table R703.3(1) or with other approved corrosion-resistant fasteners in accordance with the wall covering manufacturer's installation instructions. Nails and staples shall comply with ASTM F1667.

**WILDLAND URBAN INTERFACE (WUI) NOTES**

1. Project to be in conformance with CBC 7A, CRC R337.
2. Minimum class A roofing.
3. Defensible space must be signed off prior to sheetrock inspection.
4. Exterior siding shall be "hardiplank".
5. Exterior wall vents shall be Vulcan vents for WUI (listing no. 8165-2192:0500) per State Fire Marshal Listed WUI Products Handbook.
6. Exterior door shall be non-combustible construction or 1-3/8" solid core, or 20 min. Fire rated.
7. Windows shall be tempered one one side.
8. Decking surfaces shall be an approved product.
9. Vegetation management compliance CBC 708.2.1.
10. No. 72 valley flash underlayment cap sheet running full length of valley unless roof cover is interwoven.
11. Eave & soffit vents shall be a listed product (must be fire rated to preclude ember & flame entrance).
12. Roof gutters shall be provided with a means to prevent accumulation of leaves.



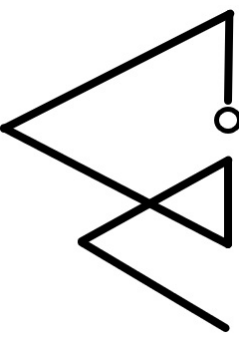
**Left**  
1/4 in = 1 ft



**Rear**  
1/4 in = 1 ft

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

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**Home Design**  
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**ELEVATIONS**

Client: Aurel Coza & Bianca Gurgiu  
Phone: 530-260-9838  
Email: aurel.coza@gmail.com  
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**A1**



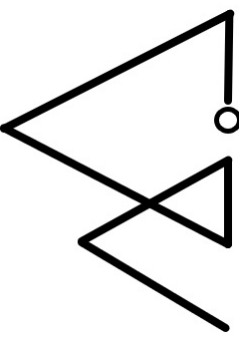
**Right**  
1/4 in = 1 ft



**Front**  
1/4 in = 1 ft

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION

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Sheet Name  
**ELEVATIONS**

Single-Family Residence

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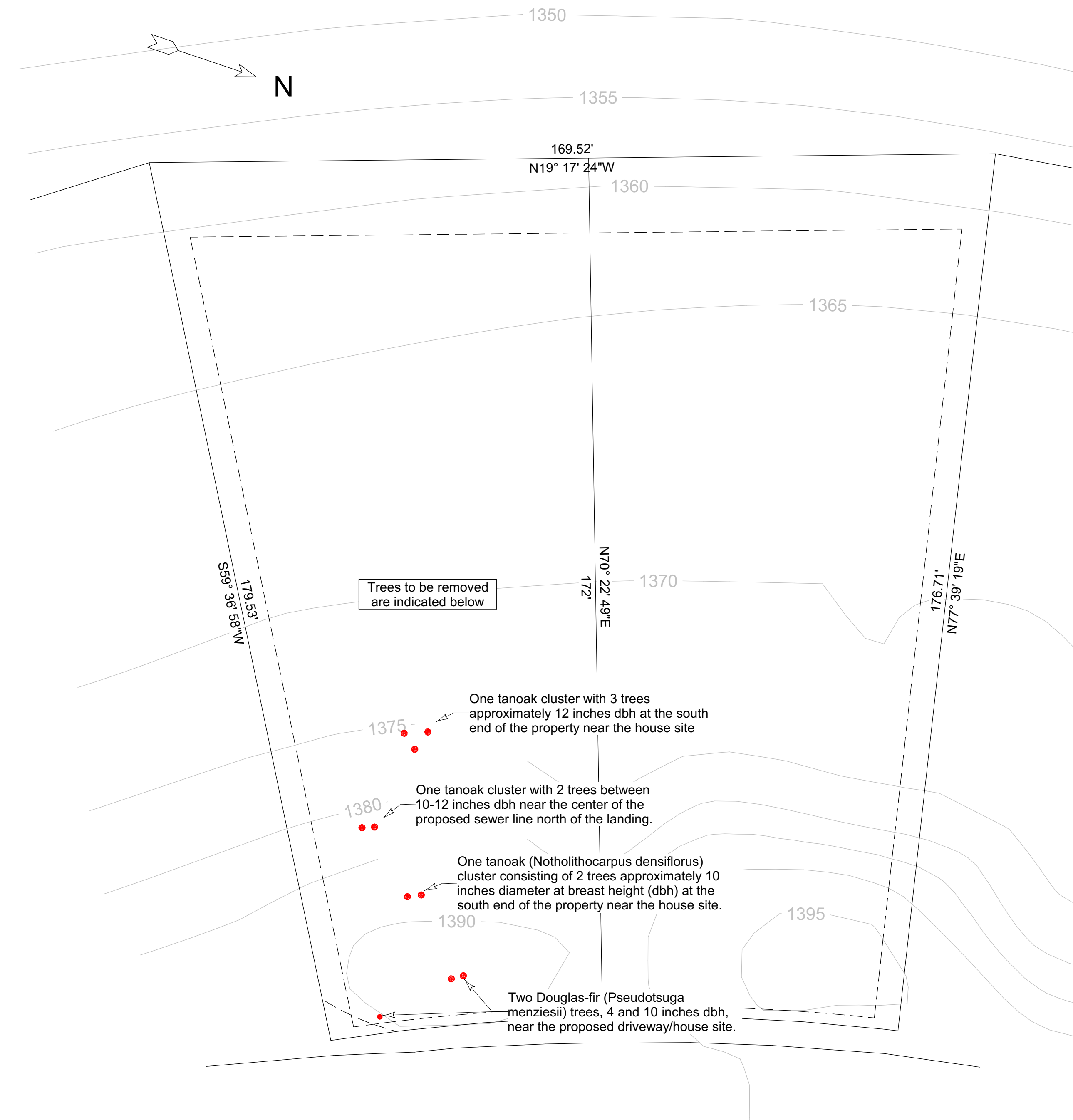
JOE MARENCHI

SHEET

**A2**

**TREE REMOVAL NOTES**

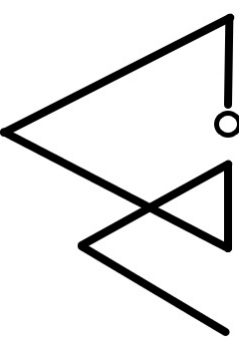
1. One tanoak (*Notholithocarpus densiflorus*) cluster consisting of 2 trees approximately 10 inches diameter at breast height (dbh) at the south end of the property near the house site.
2. One tanoak cluster with 3 trees approximately 12 inches dbh at the south end of the property near the house site.
3. One tanoak cluster with 2 trees between 10-12 inches dbh near the center of the proposed sewer line north of the landing.
4. Two Douglas-fir (*Pseudotsuga menziesii*) trees, 4 and 10 inches dbh, near the proposed driveway/house site.
5. Additionally, a Douglas-fir approximately 2 feet in diameter may need to be removed due to its location within the home's wildfire defensive perimeter.
6. Trees to be removed from the property, especially the large Douglas-fir in the defensive perimeter, should be removed outside the nesting season to avoid disruption of nesting activities.
7. If possible, the larger Douglas-fir that may be in the defensive perimeter should be maintained.



**Tree Removal Plan**  
1/16 in = 1 ft

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Blue Hammer  
Home Design  
bluehammerhomedesign@gmail.com



Sheet Name  
**TREE REMOVAL PLAN**

Single-Family Residence  
Client: Aurel Coza & Bianca Gurigiu  
Phone: 530-260-9838  
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DATE:

9/20/2024

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JOE MARENGHI

SHEET

