

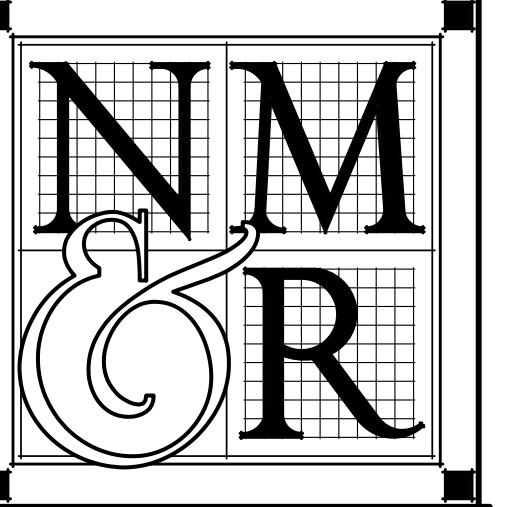
# HUMBOLDT COUNTY AGRICULTURAL CENTER ACCESSIBILITY IMPROVEMENTS

## 5630 S. BROADWAY STREET - EUREKA, CALIFORNIA

<h3>GENERAL NOTES</h3> <p><b>GENERAL:</b></p> <ol style="list-style-type: none"> <li>ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH ALL APPLICABLE ADOPTED ORDINANCES AND CODES. ANY DISCREPANCIES BETWEEN THESE CODES AND THE CONSTRUCTION DOCUMENTS SHOULD IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE COUNTY. THE CONSTRUCTION DOCUMENTS SHALL NOT BE CONSTRUED AS TO PERMIT WORK THAT DOES NOT COMPLY WITH THESE CODES.</li> <li>DIMENSIONS SHALL TAKE PREFERENCE OVER ITEMS AS GRAPHICALLY DEPICTED IN THESE DRAWINGS. DO NOT SCALE DRAWINGS. DIMENSIONS NOTED AS "CLEAR" (CLR) ARE TAKEN TO THE FACE OF FINISH MATERIALS. VERIFY DIMENSIONS OF PREFABRICATED AND MANUFACTURED ITEMS AND COORDINATE ROUGH OPENINGS ACCORDINGLY.</li> <li>WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, THE DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK SHOWN ON DRAWINGS. IF SIMILAR WORK IS NOT DETAILED IN DRAWINGS, WORK SHALL FOLLOW INDUSTRY STANDARDS AND MANUFACTURER'S RECOMMENDATIONS AS ACCEPTABLE TO THE COUNTY.</li> <li>ALL CONSTRUCTION SHALL BE IN STRICT CONFORMANCE WITH MANUFACTURER'S LATEST PUBLISHED SPECIFICATIONS AND INSTRUCTIONS. ALL DISCREPANCIES BETWEEN THESE SPECIFICATIONS AND INSTRUCTIONS AND THE CONTRACT DOCUMENTS, SHALL BE BROUGHT TO THE ATTENTION OF THE COUNTY IN WRITING PRIOR TO COMMENCING WORK.</li> <li>VERIFY ALL DIMENSIONS, EXISTING UTILITY LOCATIONS, AND EXISTING CONDITIONS AFFECTED BY THE CONTRACT PRIOR TO STARTING CONSTRUCTION. ANY DISCREPANCIES OR INCONSISTENCIES FOUND SHALL BE BROUGHT TO THE COUNTY'S ATTENTION BEFORE WORK PROCEEDS.</li> <li>AT WALLS INDICATED AS BEING OF FIRE-RATED CONSTRUCTION WHERE PROTECTION OF OPENINGS REQUIRED, MAINTAIN FIRE-RESISTIVE WALL CONSTRUCTION AT BUILT-IN FIXTURES AS REQUIRED BY APPLICABLE CODES</li> <li>THE OWNER WILL PROVIDE A SPECIAL INSPECTION BY A 3<sup>rd</sup> PARTY CASp (CALIFORNIA ACCESS SPECIALIST) INSPECTOR TO APPROVE UPDATES PRIOR TO FINAL INSPECTION.</li> </ol> <p>5630 S. BROADWAY &amp; 305-131-010-000, CG/W (COMMERCIAL GEN'L/COASTAL WETLANDS), HUMBOLDT, CA 95501, GROUP 'B' WITH ACCESSORY 'A-3'</p>	<h3>ZONING &amp; CODE ANALYSIS</h3> <p><b>PROJECT DESCRIPTION:</b> THIS PROJECT IS LOCATED IN HUMBOLDT COUNTY, IN THE CITY OF EUREKA. IT CONSISTS OF SITE, EXTERIOR AND INTERIOR ACCESSIBILITY IMPROVEMENTS, ROOF REPLACEMENT, DRAIN &amp; DOWNSPOUT REPLACEMENTS, MISC. SITE DEMOLITION, PAINTING OF BUILDING EXTERIOR AND INTERIORS, AND NEW FLOORING AND BASE INSTALLATION.</p> <p><b>SITE:</b></p> <table border="1"> <tr><td>STREET ADDRESS</td><td>5630 S. BROADWAY</td></tr> <tr><td>TAXPARCEL NO.</td><td>305-131-010-000</td></tr> <tr><td>COUNTY</td><td>HUMBOLDT</td></tr> <tr><td>ZONING</td><td>CG/W (COMMERCIAL GEN'L/COASTAL WETLANDS)</td></tr> <tr><td>COMMUNITY PLAN</td><td>HPAB</td></tr> <tr><td>ACREAGE</td><td>2.52</td></tr> <tr><td>USE/USE CODE</td><td>PUBLIC LAND, SCHOOLS, NON TAXABLE ENTITIES: 8000</td></tr> <tr><td>COASTAL ZONE?</td><td>YES</td></tr> </table> <p><b>BUILDING:</b></p> <table border="1"> <tr><td>BUILDING AREA</td><td>13,287 SF</td></tr> <tr><td>STORIES</td><td>ONE</td></tr> <tr><td>CONSTRUCTION TYPE</td><td>V-B, NON-SPRINKLERED</td></tr> <tr><td>OCCUPANCY CLASSIFICATION</td><td>GROUP 'B' WITH ACCESSORY 'A-3'</td></tr> </table> <p><b>CBC CHAPTER 5 AREA CALCS</b></p> <p>MIXED USE, NON-SEPARATED OCCUPANCIES (508.3) GROUP 'B' = CIVIC ADMIN, PROFESSIONAL SERVICES (ENGINEERS) GROUP 'A-3' = COMMUNITY HALLS</p> <p><b>ALLOWABLE BUILDING AREA (506.2)</b></p> <p>TYPE OF CONSTRUCTION: V-B, NON-SPRINKLERED GROUP 'B' = 9000 SF; GROUP 'A-3' = 6000 SF --&gt; GROUP 'A-3' DICTATES <math>A_a = [A_1 + (NS \times f)]</math> <math>A_a = [6000 + (6000 \times 0.75)]</math> <math>A_a = 10,500 SF &lt; 13,287 SF --&gt; LEGAL, NON-CONFORMING USE --&gt; NO AREA INCREASE</math></p> <p>FRONTAGE INCREASE FACTOR PER TABLE 506.3.3 IS 0.75; GREATER THAN 30 FT OF OPEN SPACE ON ALL SIDES</p> <p><b>CBC CHAPTER 10 EGRESS</b></p> <p>NO CHANGE IN BUILDING USE, AREA, OCCUPANT LOAD OR EXIT TRAVEL DISTANCE. TOTAL OCC. LOAD = 252 OCC.</p> <p>RECALCULATE EXIT WIDTH REQUIRED BASED ON CHANGING TWO EXITS (DOORS 100A &amp; 140) FROM 64" WIDE TO 32" WIDE:</p> <p>8 EXITS TOTAL: TOTAL WIDTH PROVIDED = 288" TOTAL WIDTH REQD = <math>252 \times 0.2 = 50.4" &lt; 288" --&gt; OK (1005.3.2)</math></p> <p><b>AREA OF REFUGE (1009.3)</b></p> <p>REQUIRED IN AN UNSPRINKLERED, NON-RESIDENTIAL BLDG: 30" x 52" SPACE --&gt; LEGAL, NON-CONFORMING CONDITION.</p> <p><b>STAIRWAY LANDINGS (1011.6)</b></p> <p>REQUIRED TO BE 48" MIN. PARALLEL TO DIRECTION OF TRAVEL. DOOR OPENING ONTO LANDINGS CANNOT REDUCE IT BY MORE THAN 1/2, OR 24" MAX. DOORS 100 AND 150 DO NOT COMPLY --&gt; LEGAL, NON-CONFORMING CONDITION. DOOR 100A TO BE MADE COMPLIANT IN ORDER TO INSTALL COMPLIANT HANDRAILS.</p> <p><b>EXTERIOR STAIR OUTDOOR CONDITIONS (1011.7.2)</b></p> <p>OUTDOOR STAIRWAYS AND OUTDOOR APPROACHES TO STAIRWAYS SHALL BE DESIGNED SO THAT WATER WILL NOT ACCUMULATE ON WALKING SURFACES. 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<h3>CODES / STANDARDS</h3> <p><b>JURISDICTION:</b> HUMBOLDT COUNTY</p> <p>ALL WORK PERFORMED AND PRODUCTS FURNISHED SHALL COMPLY WITH THE FOLLOWING CODES ADOPTED BY THE COUNTY OF REDDING:</p> <ul style="list-style-type: none"> <li>2022 CA BUILDING CODE</li> <li>2022 CA ELECTRICAL CODE</li> <li>2022 CA ENERGY CODE</li> <li>2022 CA EXISTING BUILDING CODE</li> <li>2022 FIRE CODE</li> <li>2022 CA MECHANICAL CODE</li> <li>2022 CA PLUMBING CODE</li> </ul> <p>THIS PROJECT IS NOT LOCATED IN ANY FIRE HAZARD SEVERITY ZONE WITHIN A STATE RESPONSIBILITY AREA, OR IN A WILDLAND-URBAN INTERFACE FIRE AREA; IT IS WITHIN THE CITY OF REDDING FIRE DEPT'S JURISDICTION.</p> <p>SEE CODE ANALYSIS ON THIS SHEET</p>	<p>NO CHANGE IN BUILDING USE, AREA, OCCUPANT LOAD OR EXIT TRAVEL DISTANCE. TOTAL OCC. LOAD = 252 OCC.</p> <p>RECALCULATE EXIT WIDTH REQUIRED BASED ON CHANGING TWO EXITS (DOORS 100A &amp; 140) FROM 64" WIDE TO 32" WIDE:</p> <p>8 EXITS TOTAL: TOTAL WIDTH PROVIDED = 288" TOTAL WIDTH REQD = <math>252 \times 0.2 = 50.4" &lt; 288" --&gt; OK (1005.3.2)</math></p> <p>REQUIRED IN AN UNSPRINKLERED, NON-RESIDENTIAL BLDG: 30" x 52" SPACE --&gt; LEGAL, NON-CONFORMING CONDITION.</p> <p>STAIRWAY LANDINGS (1011.6)</p> <p>REQUIRED TO BE 48" MIN. PARALLEL TO DIRECTION OF TRAVEL. DOOR OPENING ONTO LANDINGS CANNOT REDUCE IT BY MORE THAN 1/2, OR 24" MAX. DOORS 100 AND 150 DO NOT COMPLY --&gt; LEGAL, NON-CONFORMING CONDITION. DOOR 100A TO BE MADE COMPLIANT IN ORDER TO INSTALL COMPLIANT HANDRAILS.</p> <p>EXTERIOR STAIR OUTDOOR CONDITIONS (1011.7.2)</p> <p>OUTDOOR STAIRWAYS AND OUTDOOR APPROACHES TO STAIRWAYS SHALL BE DESIGNED SO THAT WATER WILL NOT ACCUMULATE ON WALKING SURFACES. EXISTING STAIRS DO NOT COMPLY --&gt; LEGAL, NON-CONFORMING CONDITION.</p>	<h3>DEFERRED SUBMITTALS</h3> <p>NONE ANTICIPATED</p>	<h3>VICINITY MAP</h3> <p>PROJECT SITE</p> <p>N</p> <p>Hwy 101</p> <p>Elk River Rd</p> <p>S. Broadway</p> <p>Humboldt Hill</p> <p>Humboldt County, Environs of Eureka, CA</p>																																																																														

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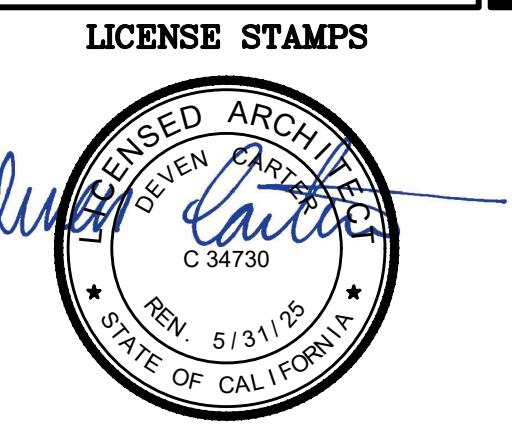




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http://www.nmrdesign.com

CONSULTANTS



PROJECT NAME  
ACCESSIBILITY  
IMPROVEMENTS  
FOR

HUMBOLDT CO  
AGRICULTURE  
BUILDING

5830 S. BROADWAY  
EUREKA, CA

SHEET TITLE  
CALGREEN 2022  
NON-RESIDENTIAL  
MANDATORY MEASURES

DRAWING STATUS  
CONSTRUCTION  
DOCUMENTS  
BUILDING DEPT SUBMITTAL

REVISIONS  
Sym. Description By Date

Drawn By KAJ  
Checked By  
Date Drawn 2025-01-31  
Scale N/A  
Job No. 17-6430  
SHEET No.

G010

# 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES

## GREEN BUILDING NOTES

• PROVIDED BY GENERAL CONTRACTOR, U.O.N.  
SEE CA GREEN BUILDING CODE (GBC) FOR FULL REQUIREMENTS

### CONSTRUCTION WASTE REDUCTION

- CA GBC 5.408.1 - CONSTRUCTION WASTE MANAGEMENT. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH SECTION 5.408.1.1, 5.408.1.2 OR 5.408.1.3. OR MEET A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, WHICHEVER IS MORE STRINGENT.
- CA GBC 5.408.1.2 - WASTE MANAGEMENT COMPANY. THAT CAN PROVIDE VERIFIABLE DOCUMENTATION THAT THE PERCENTAGE OF CONSTRUCTION AND DEMOLITION WASTE DIVERTED FROM THE LANDFILL COMPLIES WITH THIS SECTION.
- CA GBC 5.408.1.3 - WASTE REDUCTION ALTERNATIVE. THE COMBINED WEIGHT OF NEW CONSTRUCTION DISPOSAL THAT DOES NOT EXCEED TWO POUNDS PER SQUARE FOOT OF BUILDING AREA MAY BE DEEMED TO MEET THE 65 PERCENT MINIMUM REQUIREMENT AS APPROVED BY THE ENFORCING AGENCY.
- CA GBC 5.408.1.4 - DOCUMENTATION. DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH SECTIONS 5.408.1.1 THROUGH 5.408.1.3. THE WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE ACCESSIBLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY.
- CA GBC 5.408.2 - UNIVERSAL WASTE. VERIFICATION SHALL BE PROVIDED THAT UNIVERSAL WASTE ITEMS AS SPECIFIED IN THIS SECTION AS WELL AS OTHER CALIFORNIA PROHIBITED UNIVERSAL WASTE MATERIALS ARE DISPOSED OF PROPERLY AND ARE DIVERTED FROM LANDFILLS.
- CA GBC 5.408.3 - EXCAVATED SOIL AND CLEARING DEBRIS, 100 PERCENT OF TREES, STUMPS, ROCKS AND ASSOCIATED VEGETATION AND SOILS RESULTING PRIMARILY FROM LAND CLEARING SHALL BE REUSED OR RECYCLED, FOR A PHASED PROJECT, SUCH MATERIAL MAY BE STOCKPILED ON SITE UNTIL THE STORAGE SITE IS DEVELOPED.

### BUILDING MAINTENANCE AND OPERATION

- CA GBC 5.410.1 - RECYCLING BY OCCUPANTS. PROVIDE READILY ACCESSIBLE AREAS THAT SERVE THE ENTIRE BUILDING AND ARE IDENTIFIED IN THE DENOMINATOR OF THE FRACTION FOR THE HAZARDOUS MATERIALS FOR RECYCLING, INCLUDING (AT A MINIMUM, PAPER, CORRUGATED CARDBOARD, GLASS, PLASTICS, ORGANIC WASTE, AND METALS OR MEET A LAWFULLY ENACTED LOCAL RECYCLING ORDINANCE, IF MORE RESTRICTIVE, SEE EXCEPTIONS) WITH ADDITIONS" REQUEST.
- CA GBC 5.410.1.1 - FUNCTIONAL PERFORMANCE TESTING. FUNCTIONAL PERFORMANCE TESTS SHALL DEMONSTRATE THE CORRECT INSTALLATION AND OPERATION OF EACH COMPONENT, SYSTEM AND SYSTEM TO SYSTEM INTERFACE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. FUNCTIONAL PERFORMANCE TESTING REPORTS SHALL CONTAIN INFORMATION ADDRESSING EACH OF THE BUILDING COMPONENTS TESTED, THE TESTING METHODS USED, AND INCLUDE ANY READINGS AND ADJUSTMENTS MADE. BY G.C.
- CA GBC 5.410.2 - DOCUMENTATION AND TRAINING. A SYSTEMS MANUAL AND SYSTEMS OPERATIONS TRAINING ARE REQUIRED, INCLUDING OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) REQUIREMENTS IN CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS. BY G.C.
- CA GBC 5.410.2.1 - SYSTEMS MANUAL. DOCUMENTATION OF THE OPERATIONAL ASPECTS OF THE BUILDING SHALL BE COMPLETED WITHIN THE SYSTEMS MANUAL AND DELIVERED TO THE BUILDING OWNER OR REPRESENTATIVE. BY G.C.
- CA GBC 5.410.2.2 - SYSTEMS OPERATIONS TRAINING. A PROGRAM FOR TRAINING OF THE APPROPRIATE MAINTENANCE STAFF FOR EACH EQUIPMENT TYPE AND/OR SYSTEM SHALL BE DEVELOPED AND DOCUMENTED IN THE COMMISSIONING REPORT. BY G.C.
- CA GBC 5.410.2.6 - COMMISSIONING REPORT. A REPORT OF COMMISSIONING PROCESS ACTIVITIES UNDERTAKEN THROUGH THE DESIGN AND CONSTRUCTION PHASES OF THE BUILDING PROJECT SHALL BE COMPLETED AND PROVIDED TO THE OWNER OR REPRESENTATIVE. BY DESIGN TEAM.

### TESTING AND ADJUSTING

- CA GBC 5.410.4 - TESTING AND ADJUSTING. A WRITTEN PLAN OF PROCEDURES FOR TESTING AND ADJUSTING THE HVAC SYSTEMS WILL BE DEVELOPED AND FOLLOWED FOR HVAC SYSTEMS AND CONTROLS, INDOOR AND OUTDOOR LIGHTING CONTROLS, AND WATER HEATING SYSTEMS. TESTING AND ADJUSTING PROCEDURES WILL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND APPLICABLE STANDARDS.
- CA GBC 5.410.4.1 - HVAC BALANCING. IN ADDITION TO TESTING AND ADJUSTING, BEFORE A NEW SPACE-CONDITIONING SYSTEM SERVING A BUILDING OR SPACE IS OPERATED FOR NORMAL USE, THE SYSTEM SHALL BE BALANCED IN ACCORDANCE WITH THE PROCEDURES DEFINED BY THE TESTING, ADJUSTING AND BALANCING BUREAU NATIONAL STANDARDS, THE NATIONAL ENVIRONMENTAL BALANCING BUREAU PROcedural STANDARDS, ASSOCIATED AIR BALANCE COUNCIL NATIONAL STANDARDS OR AS APPROVED BY THE ENFORCING AGENCY.
- CA GBC 5.410.4.4 - REPORTING. AFTER COMPLETION OF TESTING, ADJUSTING AND BALANCING, A FINAL REPORT OF TESTING WILL BE PROVIDED BY THE INDIVIDUAL RESPONSIBLE FOR PERFORMING THE SERVICES. THESE REPORTS WILL BE PROVIDED TO THE ENFORCING AGENCY.
- CA GBC 5.410.4.5 - OPERATION AND MAINTENANCE. THE BUILDING OWNER OR REPRESENTATIVE WILL BE PROVIDED WITH A DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF GUARANTEES/WARRANTIES FOR EACH SYSTEM.

### FINISH MATERIAL CONTROL

- CA GBC 5.504.1, ITEM 1 - ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS AND CAULKS SHALL COMPLY WITH AIR QUALITY MANAGEMENT DISTRICT RULES PER SCAQMD RULE 1168 VOC LIMITS. SEE GBC FOR FULL REQUIREMENTS.
- CA GBC 5.504.4.1, ITEM 2 - AEROSOL ADHESIVES AND SMALLER UNIT SIZES OF ADHESIVES AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN ONE POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH SCAQMD VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS OF CCR TITLE 17 COMMENCING WITH SECTION 6407.
- CA GBC 5.504.4.3 - ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH GREEN BUILDING CODE 5.504.4.3. VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY.
- CA GBC 5.504.4.4 - CARPET SYSTEMS, INCLUDING CUSHION AND ADHESIVE, TO COMPLY WITH GREEN BLDG CODE 5.504.4 REQUIREMENTS SUCH AS CRI GREEN LABEL PLUS AND OTHER OPTIONS LISTED.
- CA GBC 5.504.4.5 - COMPOSITE WOOD PRODUCTS - HARDWOOD PLYWOOD, PARTICLE BOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE PER GREEN BUILDING CODE TABLE 5.504.4.5. VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY.
- CA GBC 5.504.4.6 - RESILIENT FLOORING SYSTEMS SHALL COMPLY WITH THE VOC EMISSION LIMITS DEFINED IN THE 2012 CHIPS CRITERIA AND LISTED ON ITS HIGH PERFORMANCE PRODUCTS DATABASE. DOCUMENTATION SHALL BE PROVIDED VERIFYING THAT RESILIENT FLOORING MATERIALS MEET THE POLLUTANT EMISSION LIMITS.
- CA GBC 5.504.4.7 - THERMAL INSULATION. COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350).

CA GBC 5.504.8 - ACOUSTICAL CEILINGS AND WALL PANELS. COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350).

### QUALIFICATIONS

- CA GBC 102 - INSTALLED TRAINING. HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS INCLUDING DUCTS AND EQUIPMENT BY A NATIONALLY OR REGIONALLY RECOGNIZED TRAINING OR CERTIFICATION PROGRAM. UNCERTIFIED PERSONS MAY PERFORM HVAC INSTALLATIONS WHEN UNDER THE DIRECT SUPERVISION AND RESPONSIBILITY OF A PERSON TRAINED AND CERTIFIED TO INSTALL HVAC SYSTEMS OR CONTRACTOR LICENSED TO INSTALL HVAC SYSTEMS.

### COMPLIANCE FORMS AND WORKSHEETS

- ALL COMPLIANCE FORMS AND WORKSHEETS IN CHAPTER 8 OF CA GBC FOR NON RESIDENTIAL CONSTRUCTION NEED TO BE COMPLETED BY CONTRACTOR OR SUBCONTRACTORS AND SUBMITTED TO THE ENFORCING AGENCY.

### MANDATORY

## CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL

**301.1 SCOPE.** Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

**301.2 NONRESIDENTIAL ADDITIONS AND ALTERATIONS [BSC-CG].** The provisions of this section apply to additions and alterations to nonresidential buildings. The provisions of this section shall not apply to alterations with a permit valuation of \$200,000 or above (for occupancies within the authority of California Building Standards Commission as defined in Civil Code Section 110) or to buildings within the authority of the State Architect pursuant to Section 105, comply with Section 5.106.4.1.

**301.3.2 Waste diversion.** The requirements of Section 5.408 shall be required for additions and alterations whenever a permit is required for work.

**301.4.1 Nonresidential additions and alterations that cause updates to plumbing fixtures only.** Note: On January 1, 2014, the minimum required real property, as defined in Civil Code Section 110, shall have a minimum plumbing fixture rating with appropriate water-conserving plumbing fixtures under specific circumstances. See Civil Code Section 110.1 et seq. for definitions, types of commercial real property affected, effectiveness of fixtures, circumstances necessitating replacement of noncompliant plumbing fixtures, and duties and responsibilities for ensuring compliance.

**301.4.2 Waste diversion.** The requirements of Section 5.408 shall be required for additions and alterations whenever a permit is required for work.

**301.4.3 Renovation project intended to address accessibility shortfalls.** Note: Additional information on recommended bicycle accommodations may be obtained from Sacramento Area Bicycle Advocates.

**301.4.4 Bicycle parking [BSC-CG].** Comply with Sections 5.106.4.1 and 5.106.4.1.2; or meet the applicable local requirements for bicycle parking.

**301.4.4.1 Short-term bicycle parking.** If the new project or an addition or alteration is anticipated to generate visitor traffic, provide permanently anchored bicycle racks within 200 feet of the visitors' entrance, readily visible to passers-by, for 5% of new visitor motorized vehicle parking spaces being added, with a minimum of one two-bike capacity rack.

**301.4.4.2 Long-term bicycle parking.** For new buildings with tenant spaces that have 10 or more tenant-occupants, provide secure bicycle parking for 5 percent of the tenant-occupant vehicular parking spaces with a minimum of one bicycle parking facility.

**301.4.4.3 For additions and alterations that add 10 or more tenant-occupant vehicular parking spaces, provide secure bicycle parking for 5 percent of the tenant vehicular parking spaces being added, with a minimum of one bicycle parking facility.**

**301.4.4.4 For new shell buildings in phased projects provide secure bicycle parking for 5 percent of the anticipated tenant-occupant vehicular parking spaces with a minimum of one bicycle parking facility.**

**301.4.4.5 Acceptable bicycle parking facility for Sections 5.106.4.1.2, 5.106.4.1.3, and 5.106.4.1.4 shall be compliant with the standards listed below:**

**3. Covered, lockable enclosures with permanently anchored racks for bicycles;**

**3. Lockable bicycle rooms with permanently anchored racks; or**

**3. Lockable, permanently anchored bicycle lockers.**

**301.4.5 Additional information on recommended bicycle accommodations may be obtained from Sacramento Area Bicycle Advocates.**

**5.106.4.2.4 Bicycle parking [D5A-SS].** For public schools and community colleges, comply with Sections 5.106.4.2.1 and 5.106.4.2.2.

**5.106.4.2.5 Additional information on recommended bicycle accommodations may be obtained from Sacramento Area Bicycle Advocates.**

**5.106.4.2.6 Light pollution reduction.** [N] - Indoor lighting systems shall be designed and installed to comply with the following:

**1. The minimum requirements in the California Energy Code for Lighting Zones 0-4 as defined in Chapter 10, Section 10-14 of the California Administrative Code; and**

**2. Back (B) ratings as defined in IES TM-15-11 (shown in Table A-1 in Chapter 8).**

**3. Uplight and Glare ratings as defined in California Energy Code (shown in Tables 130-2-A and 130-2-B in Chapter 10).**

**4. Allowable BUG ratings not exceeding those shown in Table 5.106.8, [N] or Comply with a local ordinance lawfully enacted pursuant to Section 101.7, whichever is more stringent.**

**Exceptions:**

**1. On a case-by-case basis where the local enforcing agency has determined compliance with this section is not feasible based upon one of the following conditions:**

**a. Where there is no local utility power supply;**

**b. Where the local utility is unable to supply adequate power;**

**c. Where the existing building is not connected to the local enforcement agency substantiating the local utility infrastructure design requirements, directly related to the implementation of Section 5.106.3.5, may adversely impact the construction cost of the project;**

**2. Parking spaces accessible only by automated mechanical car parking systems are not required to comply with this code section**

**5.106.5.1 EV capable spaces.** [N] EV capable spaces shall be provided in accordance with Table 5.106.5.1 and the following requirements:

**1. Raceways complying with the California Electrical Code and no less than 1-inch (25 mm) diameter shall be provided and shall originate at a service panel or a subpanel(s) serving the area of the required termination and shall be terminated to the proposed location of the EV capable space.**

**2. A service panel or subpanel (s) shall be provided with panel space and electrical load capacity to support the required number of EV capable spaces.**

**3. The electrical system and any on-site distribution transformer shall have sufficient capacity to supply full rated amperage at each EV capable space.**

**4. The service panel or subpanel (s) shall identify the reserved overcurrent protection devices as "EV CAPABLE." The raceway termination shall be permanently and visibly marked as "EV CAPABLE."**

**Note:** A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by an enforcement agency. See vehicle Code Section 22511.2 for further details.

### SECTION 5 NONRESIDENTIAL MANDATORY MEASURES

#### DIVISION 5.1 PLANNING AND DESIGN

##### SECTION 5.101 GENERAL

**5.101.1 SCOPE.** The provisions of this chapter outline planning, design and development methods that include environmentally responsible site selection, building design, building siting and development to protect, restore and enhance the environmental quality of the site and respect the integrity of adjacent properties.

##### SECTION 5.102 DEFINITIONS

###### 5.102.1 DEFINITIONS

The following terms are defined in Chapter 2 (and are included here for reference)

**CUTOFF LUMINARIES.** Luminaires whose light distribution is such that the candela per 1000 lamp lumens does not numerically exceed 25 (2.5 percent) at an angle of 90 degrees above nadir, and 100 (10 percent) at a vertical angle of 80 degrees above nadir. This applies to all lateral angles around the luminaire.

###### LOW-EMITTING AND FUEL-EFFICIENT VEHICLES.

Eligible vehicles are limited to the following:

1. Zero Emission Vehicle (ZEV), which uses advanced technology P2EV (enhanced AT ZEV) or transitional zero emission vehicles (TZEV) regulated under CCR, Title 13, Section 1982.

2. High-efficiency vehicles, regulated by U.S. EPA, bearing a fuel economy and greenhouse gas rating of 09 to 10 as regulated under 40 CFR Section 600. Subpart D.

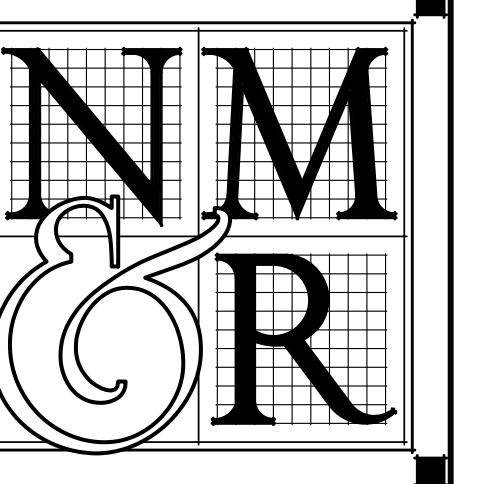
**NEIGHBORHOOD ELECTRIC VEHICLE (NEV).** A motor vehicle that meets the definition of "low-speed vehicle" either in Section 385.5 of the Vehicle Code or in 49 CFR 571.500 (as it existed on July 1, 2000), and is certified to zero-emission vehicle standards.



# 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES

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ARCHITECTS + ENGINEERS

300 KNOLLCREST DRIVE  
REDDING, CA. 96002  
(530) 222-3300 (530) 222-3538 FAX  
http://www.nmrdesign.com

CONSULTANTS



PROJECT NAME

ACCESSIBILITY  
IMPROVEMENTS  
FOR  
HUMBOLDT CO  
AGRICULTURE  
BUILDING

5830 S. BROADWAY  
EUREKA, CA

SHEET TITLE  
CALGREEN 2022  
NON-RESIDENTIAL  
MANDATORY MEASURES

DRAWING STATUS  
CONSTRUCTION  
DOCUMENTS  
BUILDING DEPT SUBMITTAL

REVISIONS  
Sym. Description By Date

Drawn By	KAJ
Checked By	
Date Drawn	2025-01-31
Scale	N/A
Job No.	17-6430

SHEET No.

G012

MANDATORY

SEE SHEET G010  
GREEN BUILDING  
REQUIREMENTS,  
NOTE D1-D2

**5.504.4 FINISH MATERIAL POLLUTANT CONTROL.** Finish materials shall comply with Sections 5.504.4.1 through 5.504.6.

**5.504.4.1 Adhesives, sealants and caulk.** Adhesives, sealants, and caulk used on the project shall meet the requirements of the following:

- 1. Adhesives, adhesive primers, adhesives, sealants, and caulk shall comply with local or regional air quality management district rules where applicable or SCAGMR Rule 168 VOC limits, as shown in Tables 5.504.4.1 and 5.504.4.2. Such products also shall comply with the Rule 1165 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products as specified in subsection 2, below.
- 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds in units of product, less packaging, which do not weigh more than one pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with Section 64507.

## TABLE 5.504.4.1 - ADHESIVE VOC LIMIT<sub>13</sub>

Less Water and Less Exempt Compounds in Grams per Liter

ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVES	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT SPECIFICALLY LISTED	50
<b>SPECIAL APPLICATIONS</b>	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
<b>SUBSTRATE SPECIFIC APPLICATIONS</b>	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

## TABLE 5.504.4.2 - SEALANT VOC LIMIT

Less Water and Less Exempt Compounds in Grams per Liter

SEALANTS	CURRENT VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
<b>SEALANT PRIMERS</b>	
ARCHITECTURAL	
NONPOROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

NOTE: FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THESE TABLES, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

SEE SHEET G010  
GREEN BUILDING  
REQUIREMENTS,  
NOTE D3

**5.504.4.3 Paints and coatings.** Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Coatings Suggested Control Measure, as shown in Table 5.504.4.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 5.504.4.3 shall be determined by the enforcement agency. Documentation shall include, but is not limited to, the following:

1. Manufacturer's product specification  
2. Field verification of on-site product containers

## TABLE 5.504.4.3 - SEALANT VOC LIMIT

Less Water and Less Exempt Compounds in Grams per Liter

COATING CATEGORY	CURRENT VOC LIMIT
FLAT COATINGS	50
NONFLAT COATINGS	100
NONFLAT HIGH GLOSS COATINGS	150

5.504.4.3.1 **Aerosol Paints and coatings.** Aerosol paints and coatings shall meet the PWRM1 limits for ROC in Section 9432(c)(3) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 9432(c)(2) and (d)(2) of California Code of Regulations, Title 17, commencing with Section 9432, and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8 Rule 49.

## TABLE 5.504.4.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS<sub>13</sub>

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS

COATING CATEGORY	CURRENT VOC LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIFORNIA CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16 INCHES (8 MM).

3. MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION

## TABLE 5.504.4.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS<sub>13</sub>

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS

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COATING CATEGORY	CURRENT VOC LIMIT
FLAT COATINGS	50
NONFLAT COATINGS	100
NONFLAT HIGH GLOSS COATINGS	150

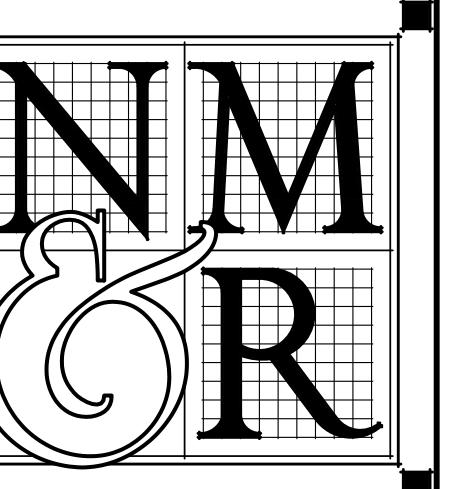
1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIFORNIA CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.

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3. MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION

## TABLE 5.504.4.3 - VOC CONTENT LIMITS





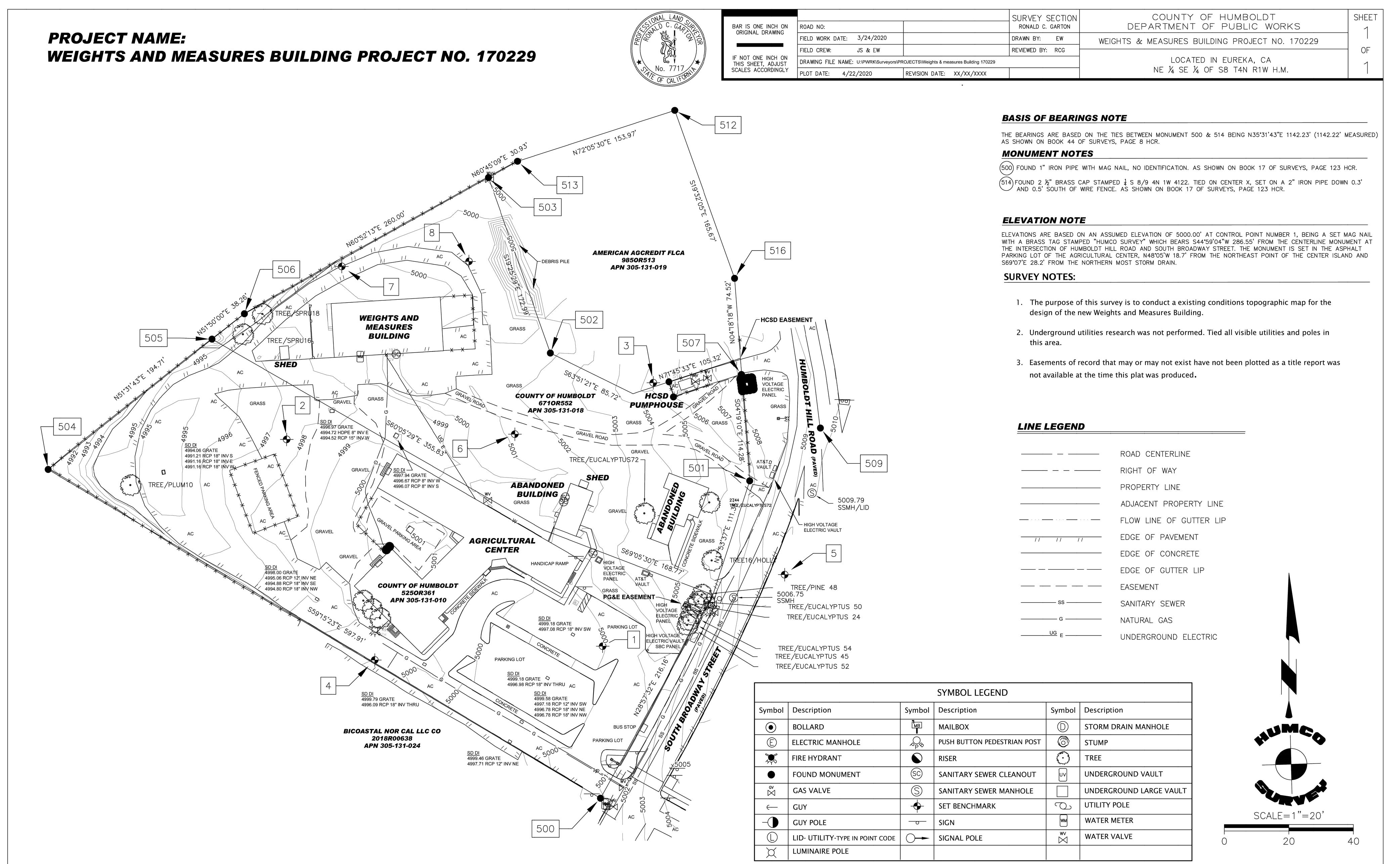
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REDDING, CA. 96002

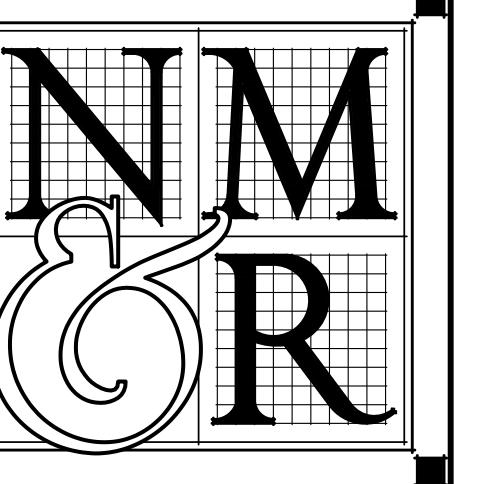
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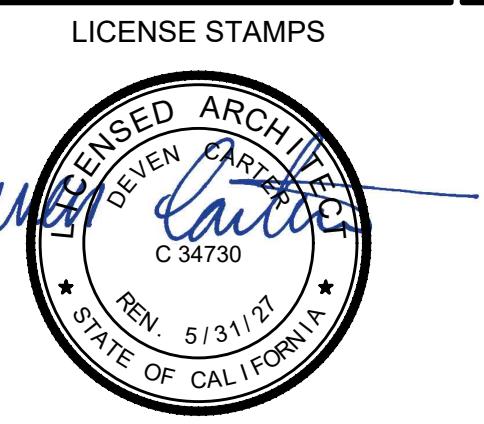


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## CONSULTANTS



PROJECT NAME

# ACCESSIBILITY IMPROVEMENTS FOR UMBOLDT CO AGRICULTURE BUILDING

S. BROADWAY  
EUREKA, CA

SHEET TITLE  
E CONSTRUCTION  
D ACCESSIBILITY  
DETAILS

AWING STATUS  
SERVICED

CONSTRUCTION  
DOCUMENTS  
BUILDING DEPT SUBMITTAL  
REVISIONS

scription By Date

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own By KAJ

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Drawn 2025-11-24

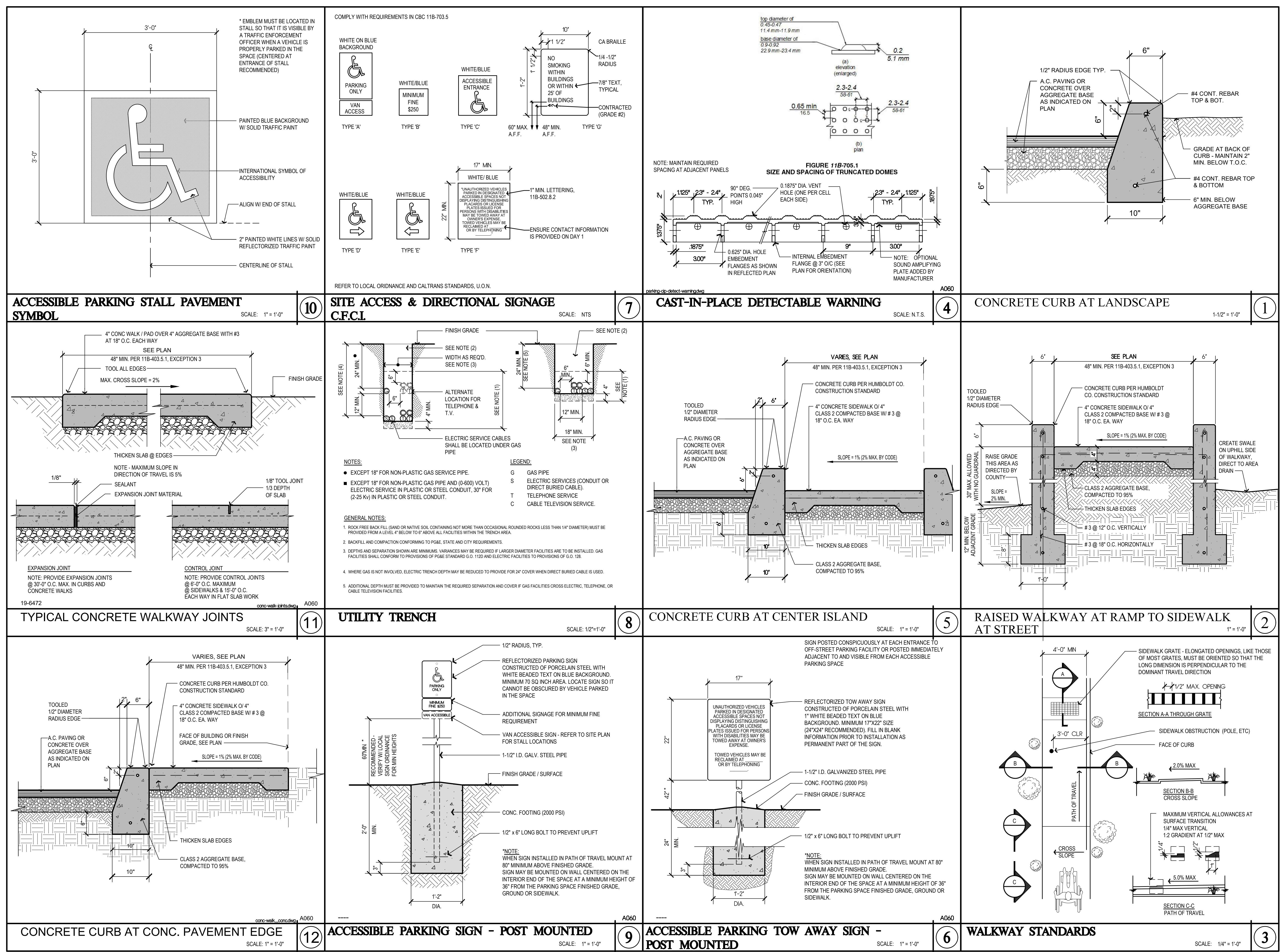
AS NOTED

NO. 17-6430

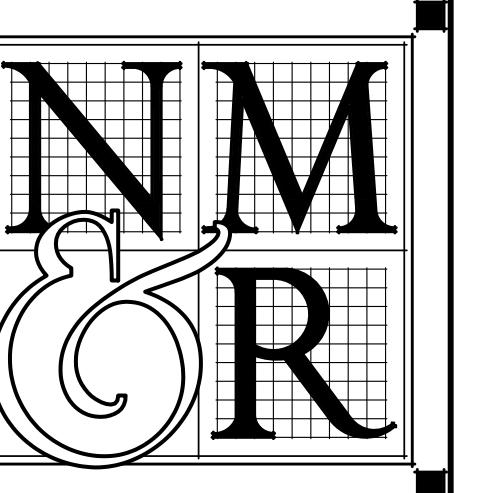
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A060

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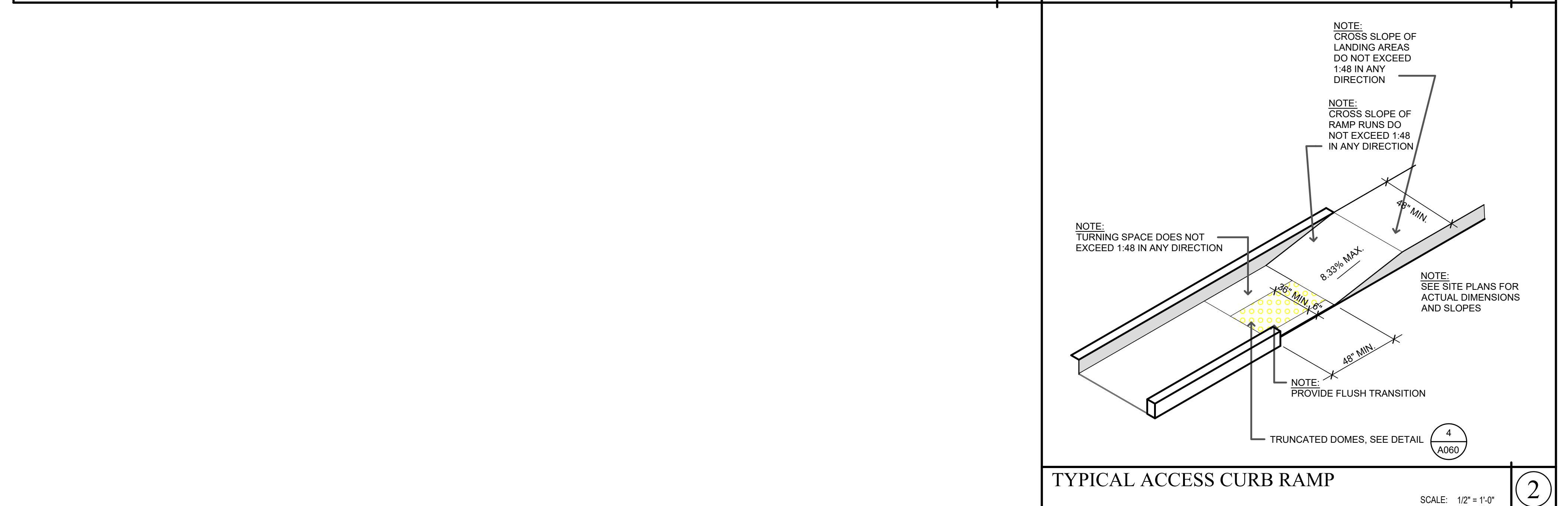
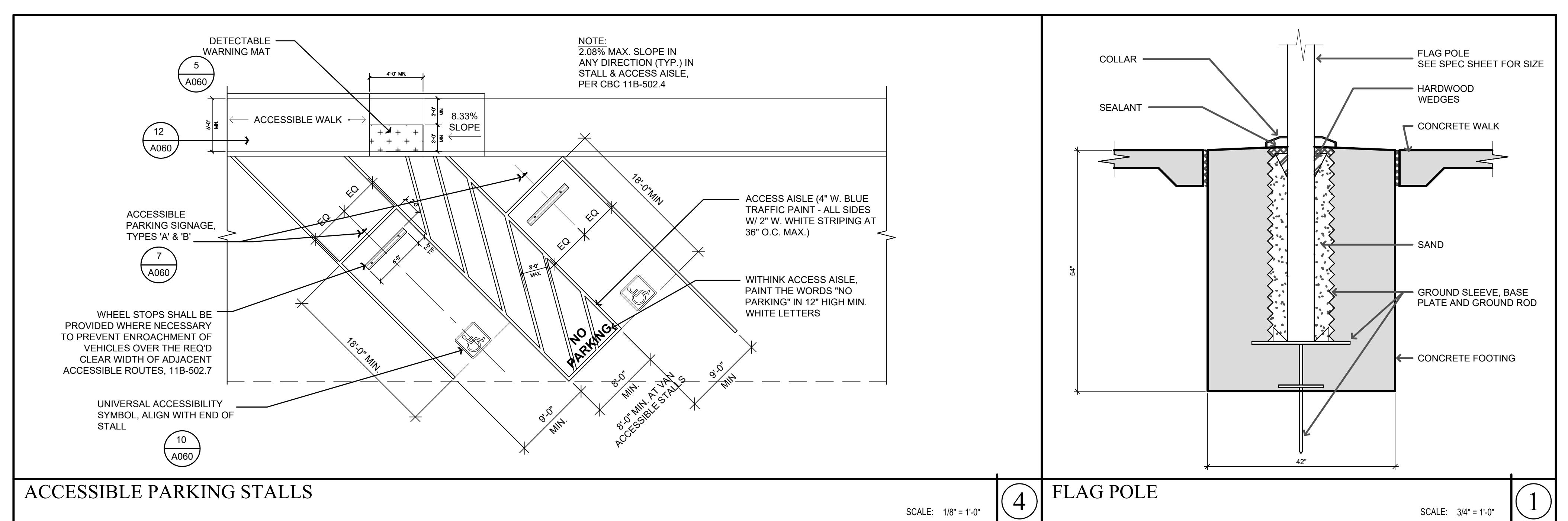




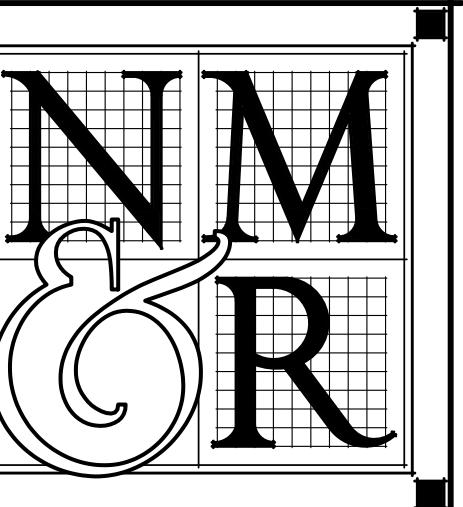
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(530) 222-3300 (530) 222-3538 FAX  
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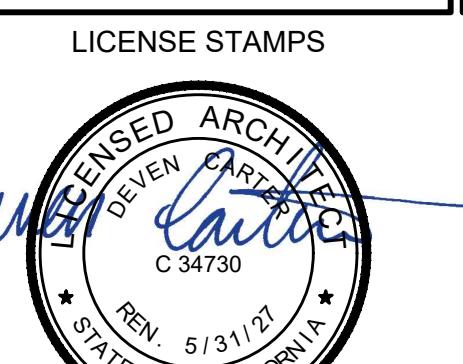
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REDDING, CA. 96002  
(530) 222-3300 (530) 222-3538 FAX  
<http://www.nmrdesign.com>

CONSULTANTS



PROJECT NAME

ACCESSIBILITY  
IMPROVEMENTS  
FOR

HUMBOLDT CO  
AGRICULTURE  
BUILDING

5630 S. BROADWAY  
EUREKA, CA

SHEET TITLE  
EXTERIOR RAMP  
AND STAIR PLANS

DRAWING STATUS  
CONSTRUCTION  
DOCUMENTS  
BUILDING DEPT SUBMITTAL

REVISIONS

Sym. Description By Date

Drawn By KAJ

Checked By

Date Drawn 2025-11-24

Scale AS NOTED

Job No. 17-6430

SHEET NO.

A070

## EXIST'G & DEMO NOTES

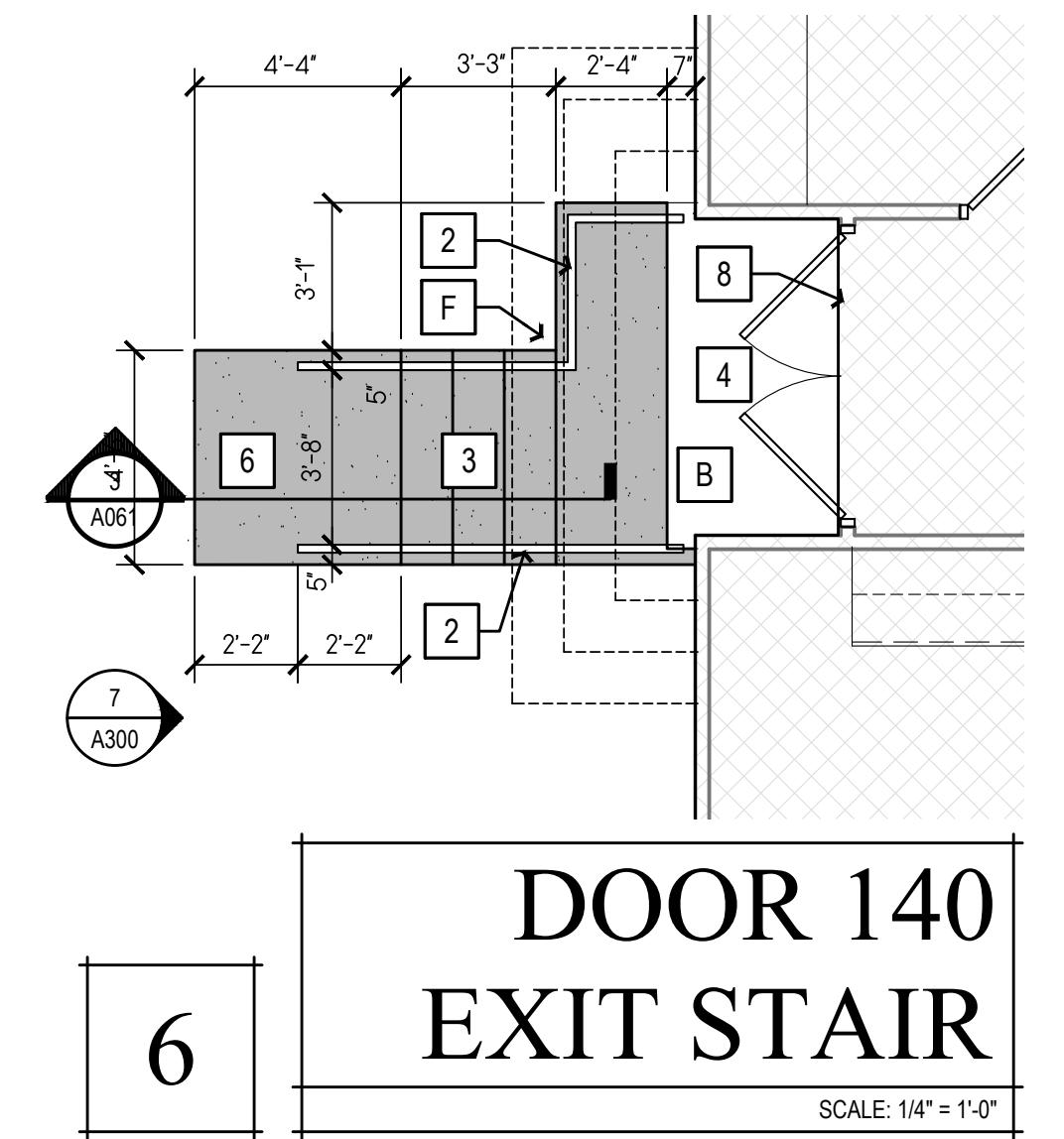
- A (E) STAIR TO REMAIN.
- B KEEP EXISTING LANDING; DOWEL & EPOXY #4 BARS INTO (E) CONC. @ 8" O.C., MIN. DEPTH 8".
- C (E) AC PAVING TO REMAIN.
- D (E) CONCRETE SIDEWALK TO REMAIN.
- E (E) PLANTER TO REMAIN.
- F DEMO. (E) STAIRS, PREPARE FOR NEW CONFIG. AS SHOWN.
- G DEMO. (E) RAMP.
- H DEMO. (E) LANDING PRIOR INSTALLATION OF NEW LANDING & STEPS.
- J (E) LANDING TO REMAIN.
- K DEMO (E) PLANTER. CAP IRRIGATION AS REQ'D.

## KEYNOTES

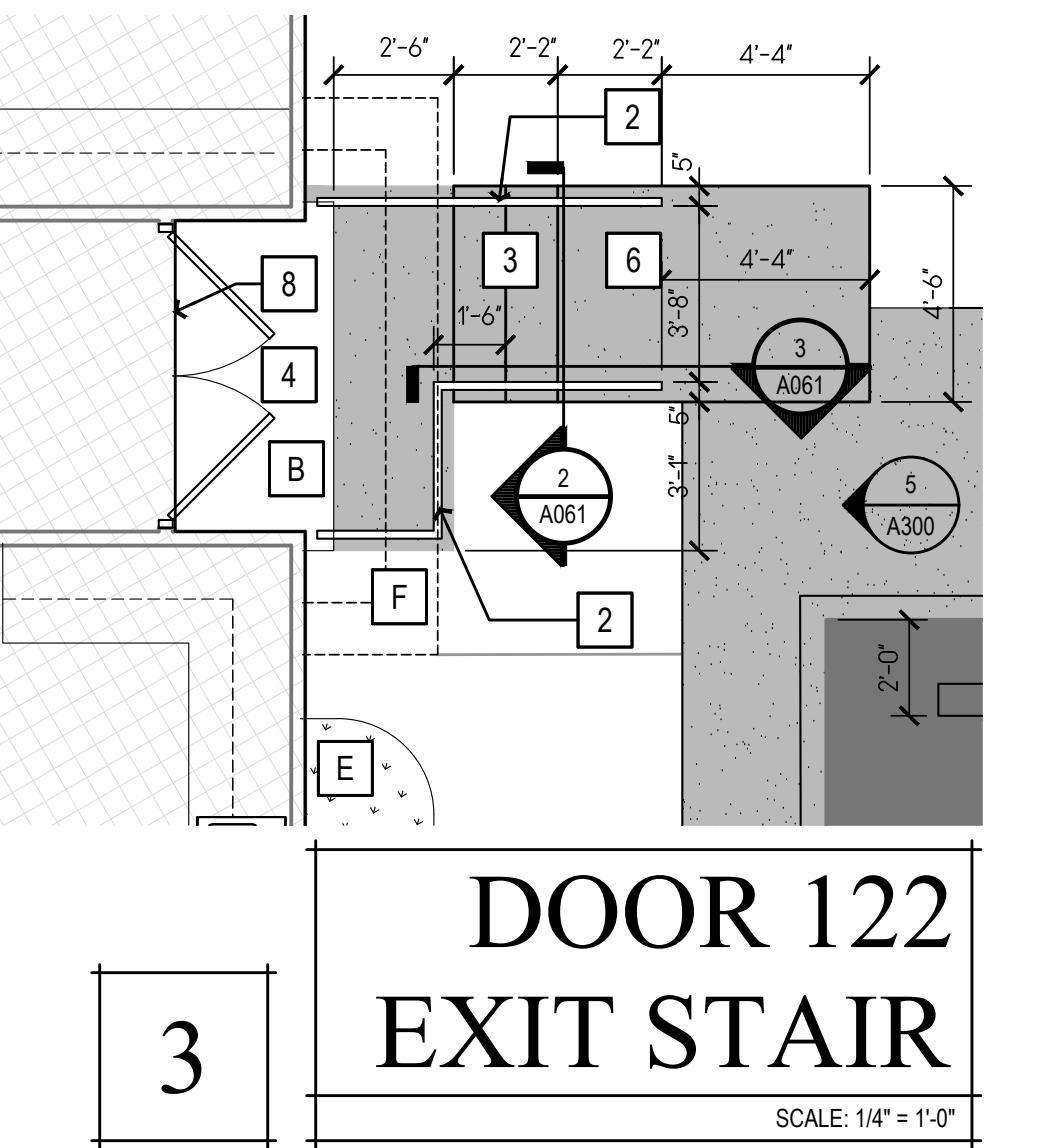
- 1 (N) ACCESSIBLE CONCRETE RAMP - SEE DTL. 8/A061
- 2 (N) 36" HIGH HANDRAILS - FOR STAIRS SEE DTL. 2/A061; FOR RAMPS SEE 8/A061.
- 3 (N) CONCRETE STAIRS - SEE DTL. 2/A061
- 4 5'-0" DEEP LEVEL TOP LANDING, 2% MAX. SLOPE IN ANY DIRECTION
- 5 6 FT. LONG CONCRETE CS6 WHEELSTOP BY APC INC., EL MONTE, CA 800-691-7118
- 6 BOTTOM LANDING, 2% MAX. SLOPE IN ANY DIRECTION
- 7 (N) CONC. SIDEWALK, SLOPE NOT TO EXCEED 5% IN DIRECTION OF TRAVEL WITH A 2% MAX. CROSS SLOPE.
- 8 (N) ADA COMPLIANT THRESHOLD @ (E) DOOR.
- 9 WALL MOUNT SIGN TYPE 'E', 7/A060
- 10 ACCESSIBLE PARKING SIGN, 9/A060
- 11 POLE-MOUNT SIGN TYPES 'A' & 'B', ACCESSIBLE PARKING, 7/A060
- 12 RELOCATE DOOR IF REQUIRED TO PROVIDE 2'-0" MIN. PULL SIDE CLEARANCE AT EXTERIOR OF DOOR.
- 13 ACCESSIBLE PATH OF TRAVEL TO THE PUBLIC WAY & ACCESSIBLE PARKING

## GENERAL NOTES

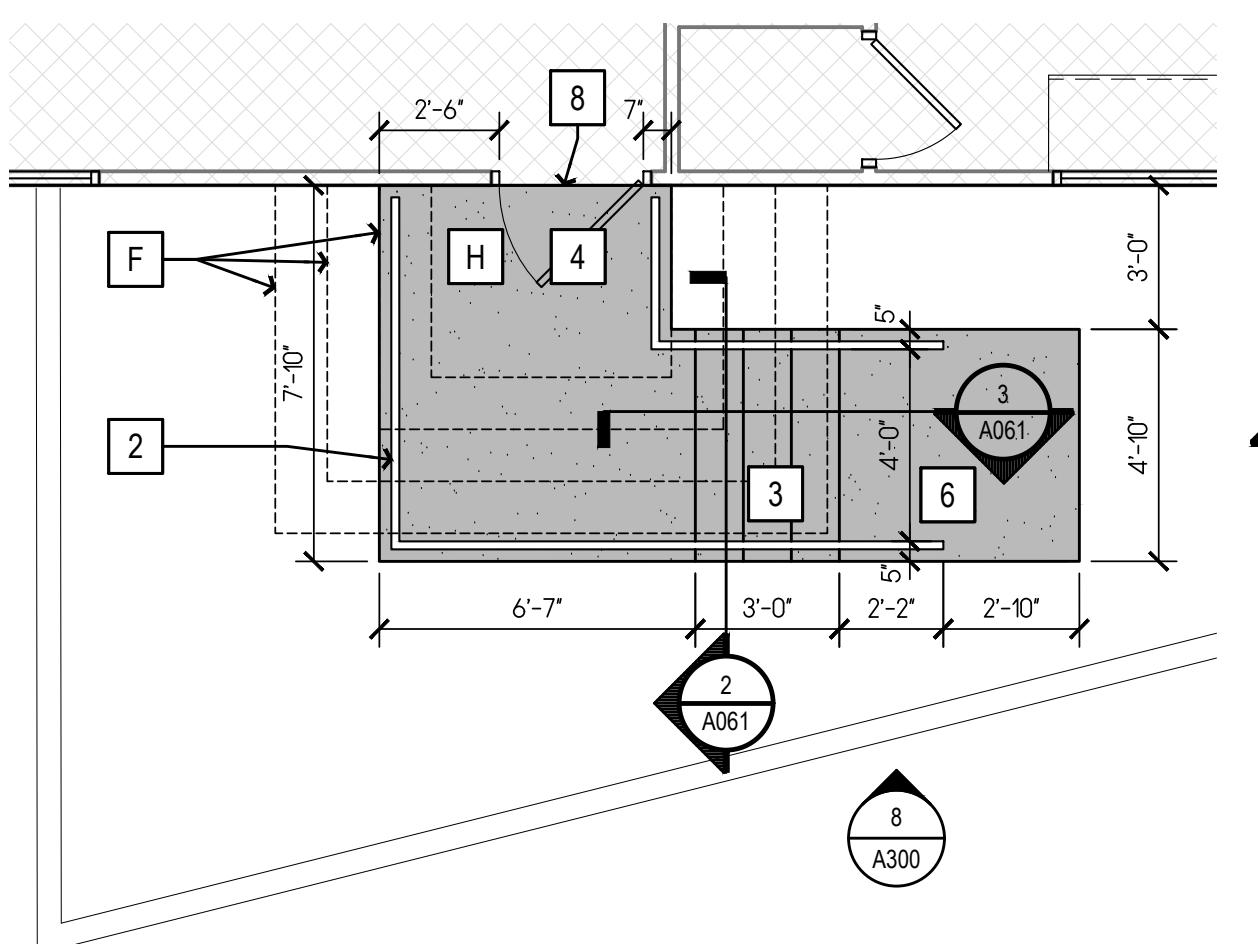
1. SEE SHT. A061 FOR STAIRS & RAMP
2. SEE DTL. 9/A061 FOR CLEARANCES REQUIRED AT EXTERIOR DOORS ON RAMP TOP LANDINGS.



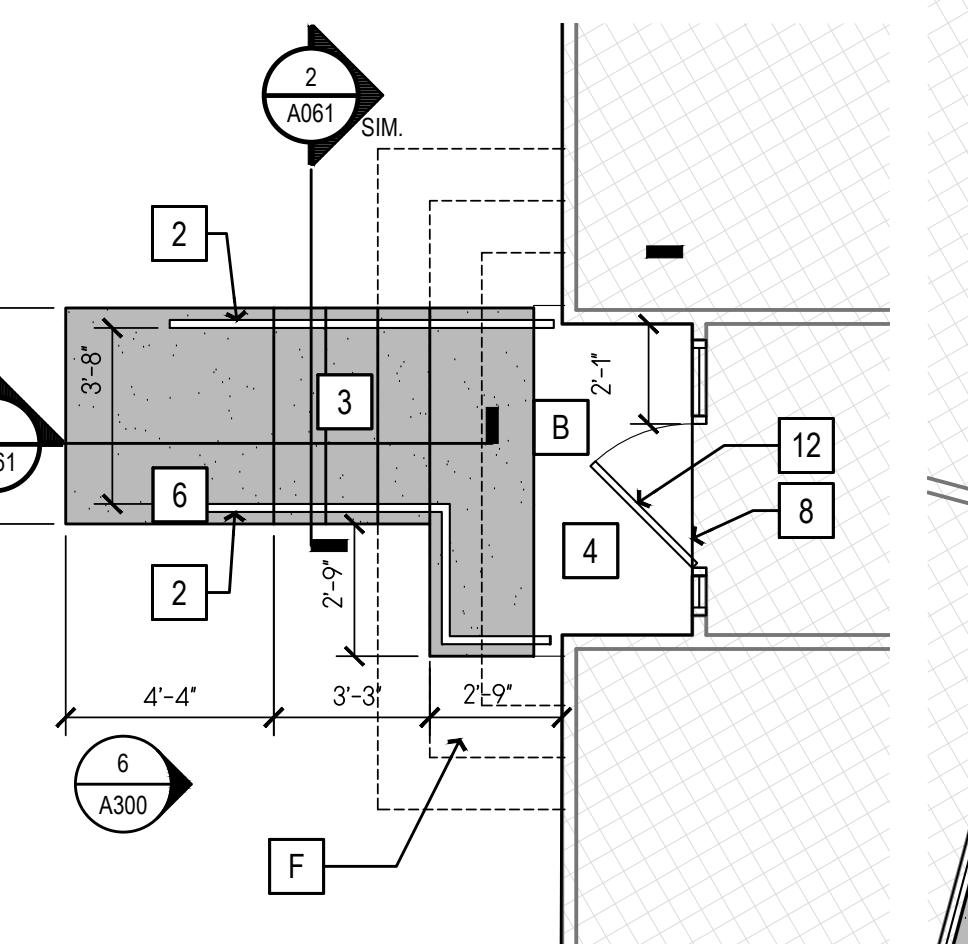
DOOR 140  
EXIT STAIR  
SCALE: 1/4" = 1'-0"



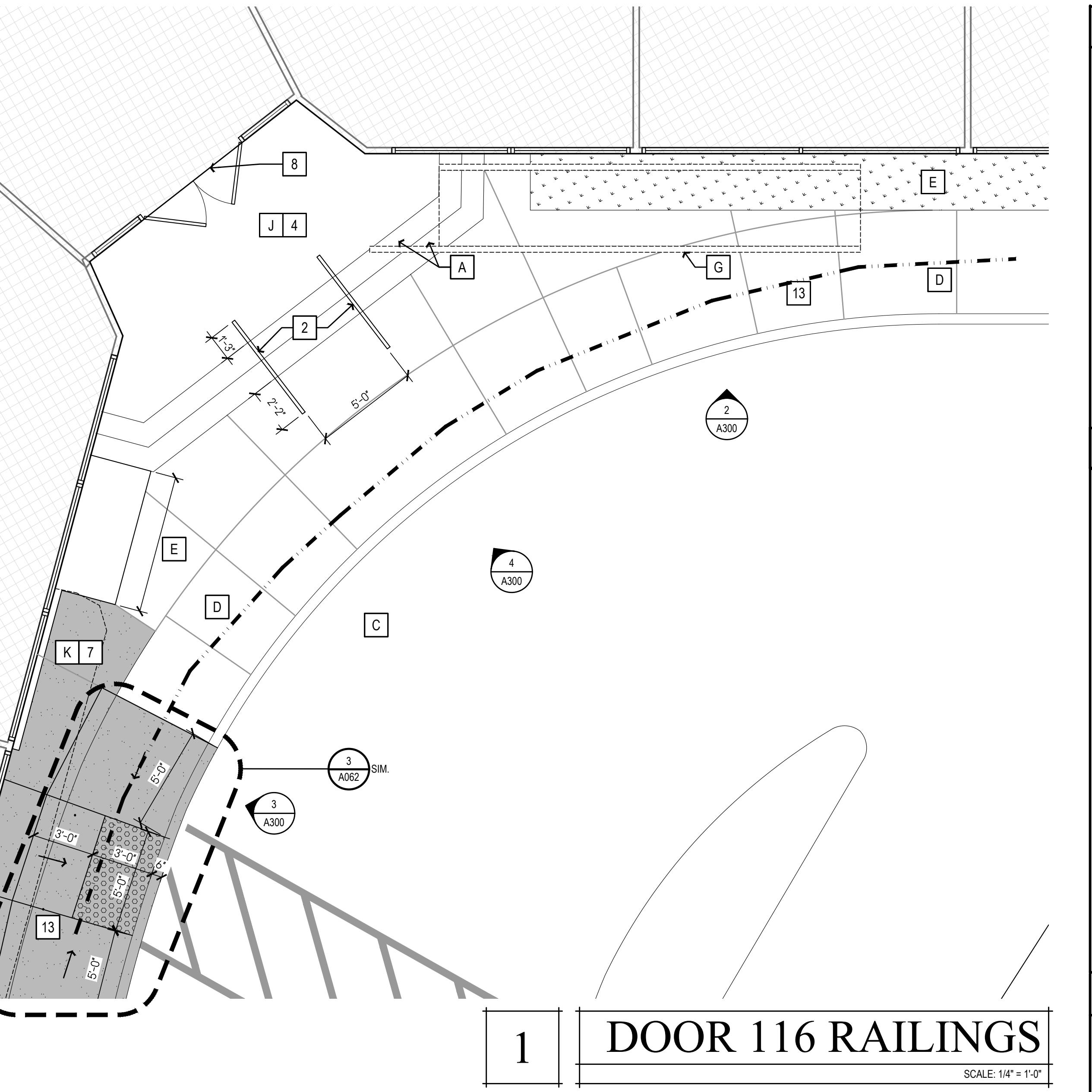
DOOR 122  
EXIT STAIR  
SCALE: 1/4" = 1'-0"



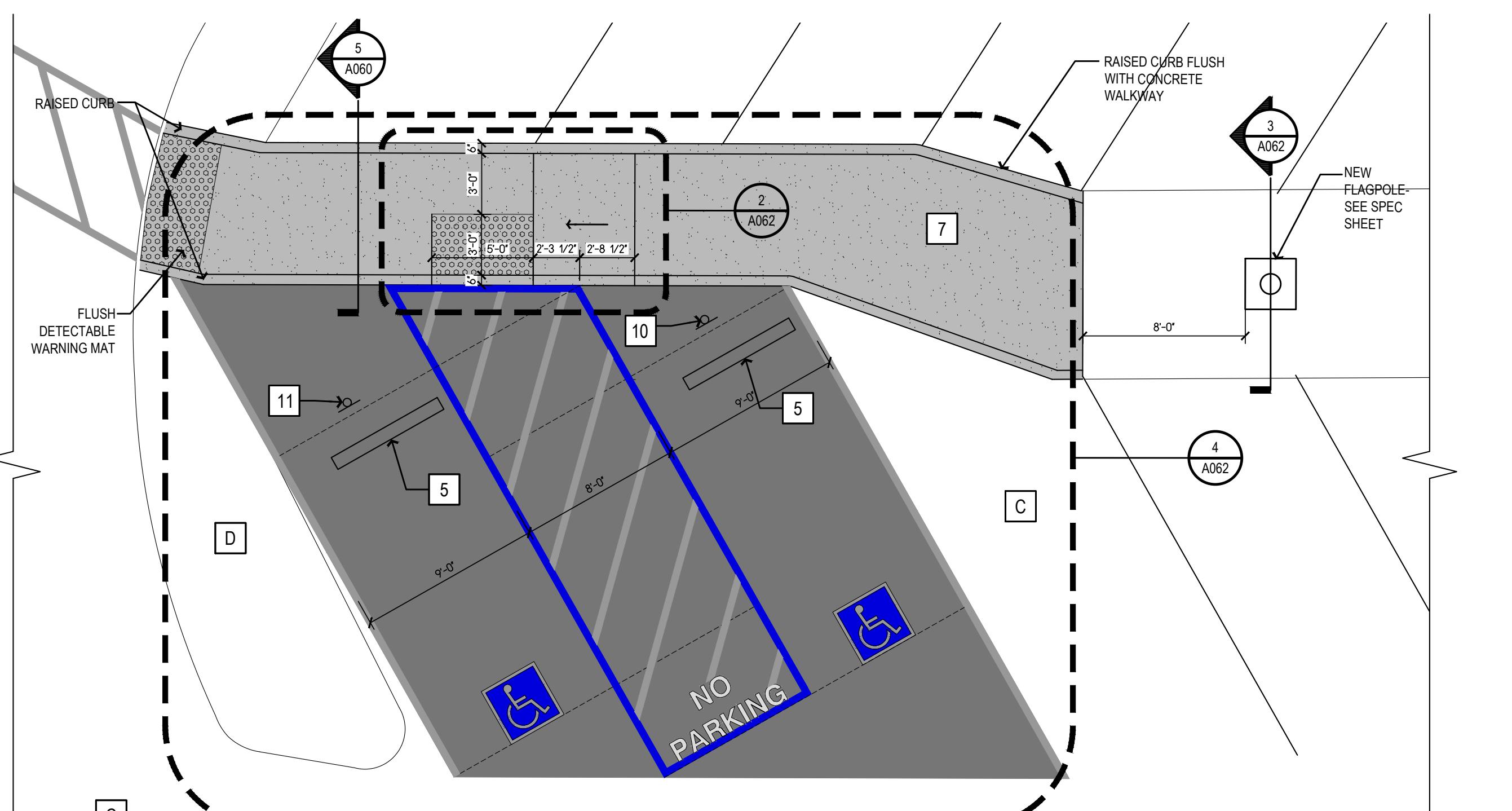
DOOR 145  
EXIT STAIR  
SCALE: 1/4" = 1'-0"



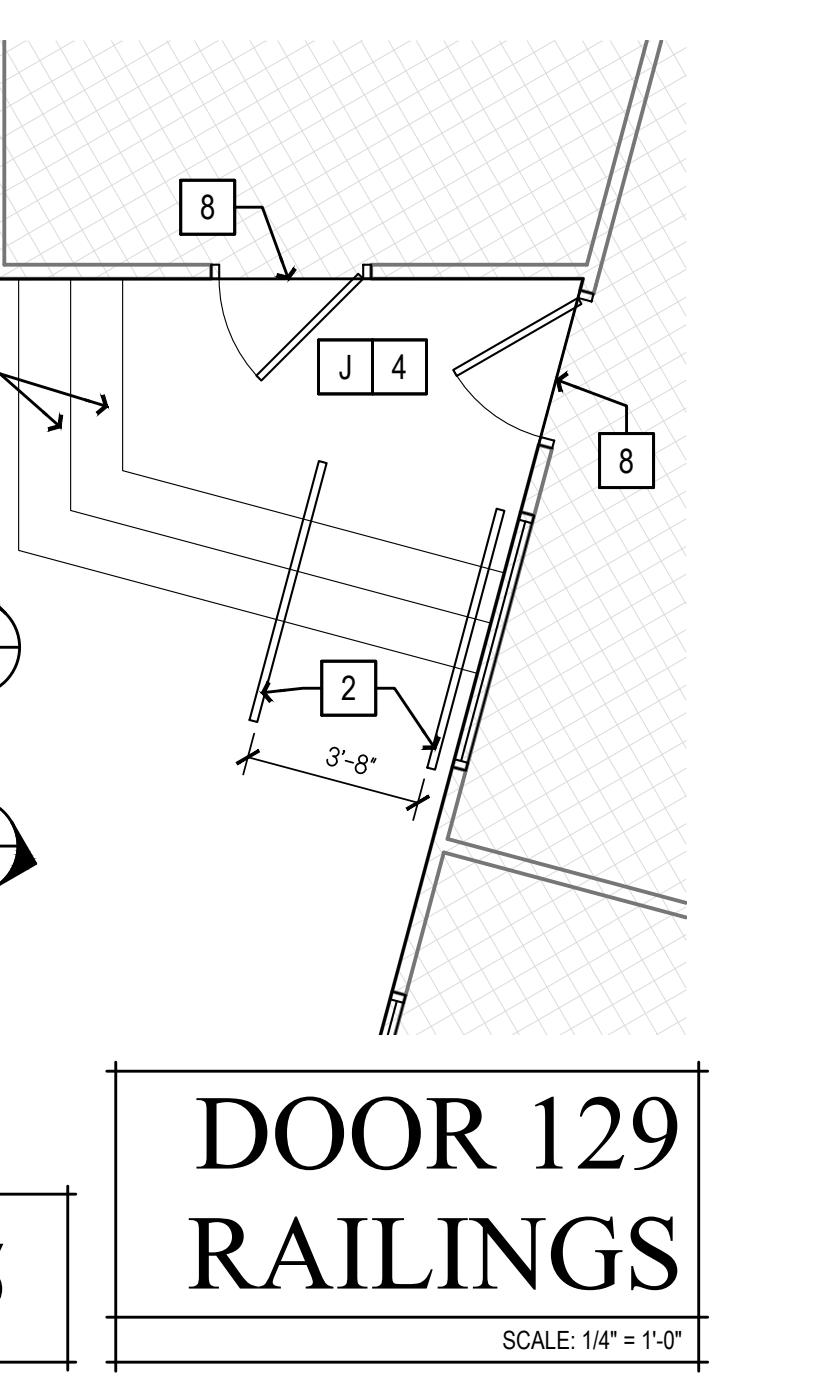
DOOR 100  
EXIT STAIR  
SCALE: 1/4" = 1'-0"



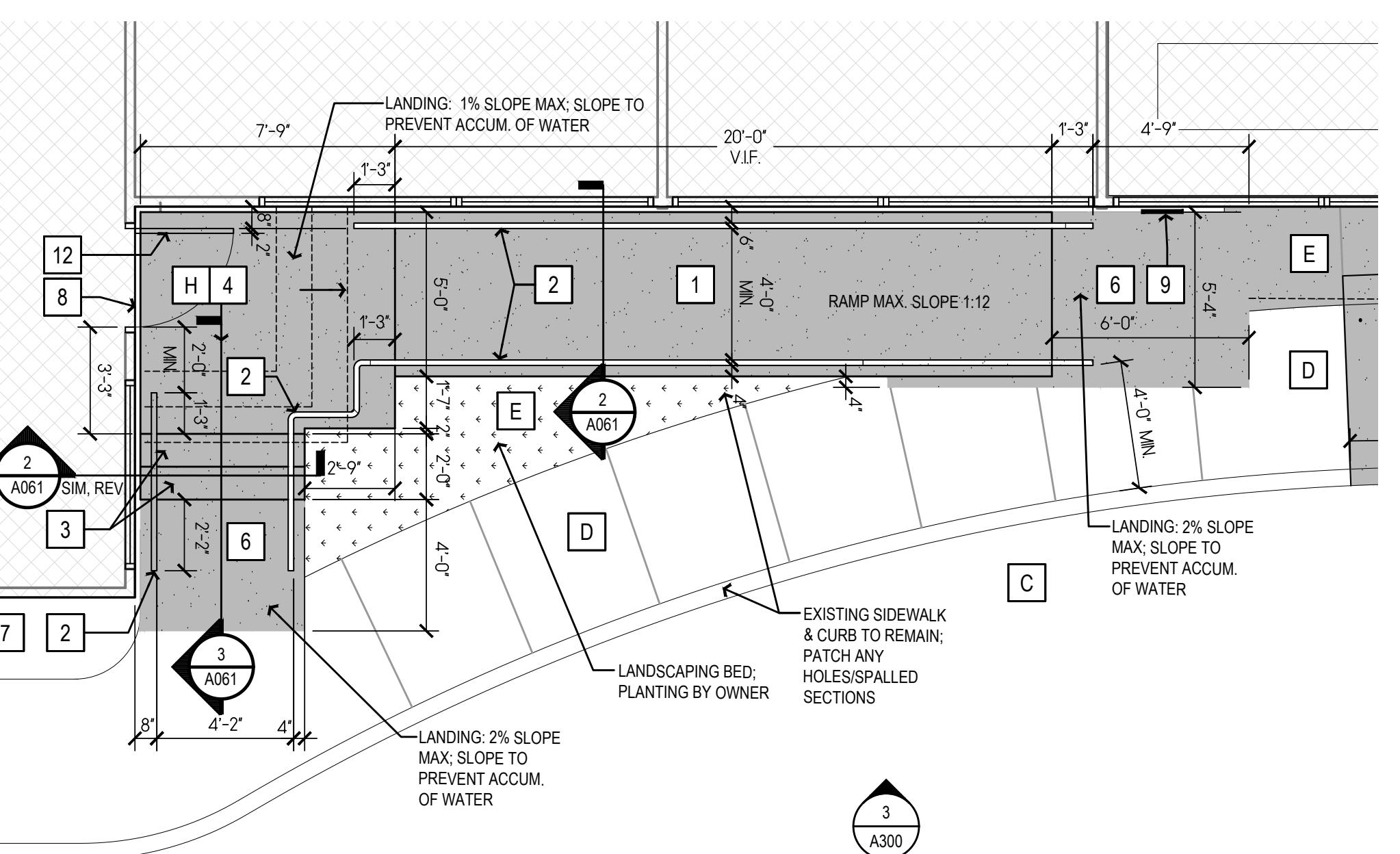
DOOR 116 RAILINGS  
SCALE: 1/4" = 1'-0"



ACCESSIBLE PARKING  
SCALE: 3/16" = 1'-0"



DOOR 129  
RAILINGS  
SCALE: 1/4" = 1'-0"



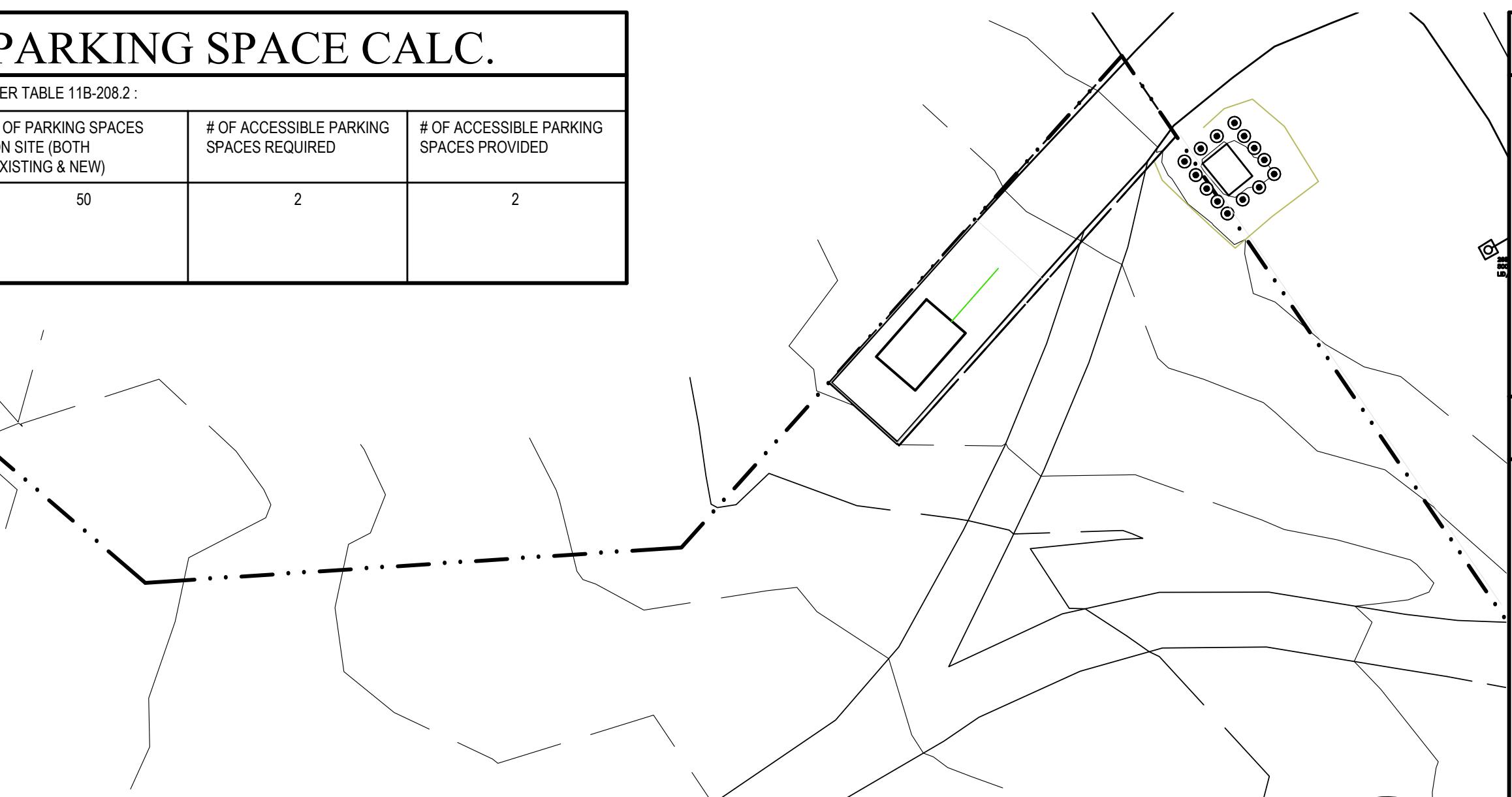
DOOR 152 RAMP AND STAIRS  
SCALE: 1/4" = 1'-0"

## SITE / PATH OF TRAVEL NOTES

- A. BUILDING ENTRANCES ARE ACCESSIBLE TO THE PHYSICALLY DISABLED FROM THE PUBLIC WAY AND/OR DISABLED PARKING PROVIDED INCLUDING DROP-OFF.
- B. ONE ACCESSIBLE ROUTE SHOULD CONNECT ACCESSIBLE BUILDINGS, FACILITIES AND SPACES ON THE SAME SITE. WHERE MORE THAN ONE ROUTE IS PROVIDED, ALL ROUTES SHOULD BE ACCESSIBLE.
- C. WALKS AND SIDEWALKS SHOULD HAVE A CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2" AND SHOULD BE A MINIMUM OF 48" IN WIDTH AND A CLEAR HEIGHT OF 80".
- D. IF AN ACCESSIBLE ROUTE HAS A CHANGE IN LEVEL GREATER THAN 1/2", THEN A CURB RAMP, RAMP, ELEVATOR, OR PLATFORM LIFT SHOULD BE PROVIDED.
- E. SURFACES SHOULD BE STABLE, FIRM, AND SLIP RESISTANT.
- F. WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 5%, IT MUST COMPLY WITH THE PROVISIONS FOR RAMPS.
- G. SURFACE CROSS SLOPES SHOULD NOT EXCEED 1:48 (2.083%).
- H. WALKS, SIDEWALKS AND PEDESTRIAN WAYS SHOULD BE FREE OF GRATINGS WHENEVER POSSIBLE. GRATINGS LOCATED IN THE SURFACE OF ANY OF THESE AREAS, GRID OPENINGS IN THE GRATING SHOULD BE LIMITED TO 1/2" IN THE DIRECTION OF TRAFFIC FLOW.
  - I. ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHOULD NOT EXCEED 1/2". WHEN CHANGES DO OCCUR, THEY SHOULD BE BEVELED WITH A SLOPE NO GREATER THAN 1:2 EXCEPT THOSE LEVELS NOT EXCEEDING 1/4" MAY BE VERTICAL.
  - J. CIRCULATION PATHS CONTIGUOUS TO VEHICULAR TRAFFIC SHOULD BE PHYSICALLY SEPARATED FROM VEHICULAR TRAFFIC. VEHICULAR TRAFFIC INCLUDES TRAVEL THROUGH PARKING FACILITIES, INTO AND OUT OF PARKING SPACES, INTO AND OUT OF ELECTRIC VEHICLE CHARGING SPACES, AND ALONG ROADWAYS, DRIVEWAYS AND DRIVE AISLES. PHYSICAL SEPARATION SHOULD BE PROVIDED WITH CIRCULATION PATHS RAISED 4" ABOVE THE AREA WHERE VEHICULAR TRAFFIC OCCURS (ALSO SEE APPLICABLE 11B-250.1 EXCEPTIONS).
  - K. WHERE PARKING SPACES ARE PROVIDED, PARKING SPACES SHOULD BE PROVIDED IN ACCORDANCE WITH SECTION 11B-208. SIGNS IDENTIFYING PARKING SPACES AND SIGNS WITHIN PARKING FACILITIES SHOULD COMPLY WITH SECTION 11B-216.5. ELECTRIC VEHICLE CHARGING STATIONS SHOULD COMPLY WITH SECTION 11B-228.
  - L. PASSENGER DROP-OFF AND LOADING ZONES SHOULD BE PROVIDED IN ACCORDANCE WITH SECTION 11B-209 IF APPLICABLE.
  - M. PROVIDE TOW-AWAY SIGN, POSTED EITHER; 1) IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO AN OFF-STREET PARKING FACILITY OR 2) IMMEDIATELY ADJACENT TO ON-SITE ACCESSIBLE PARKING AND VISIBLE FROM EACH PARKING SPACE.

## PARKING SPACE CALC.

PER TABLE 11B-208.2 :		
# OF PARKING SPACES ON SITE (BOTH EXISTING & NEW)	# OF ACCESSIBLE PARKING SPACES REQUIRED	# OF ACCESSIBLE PARKING SPACES PROVIDED
50	2	2



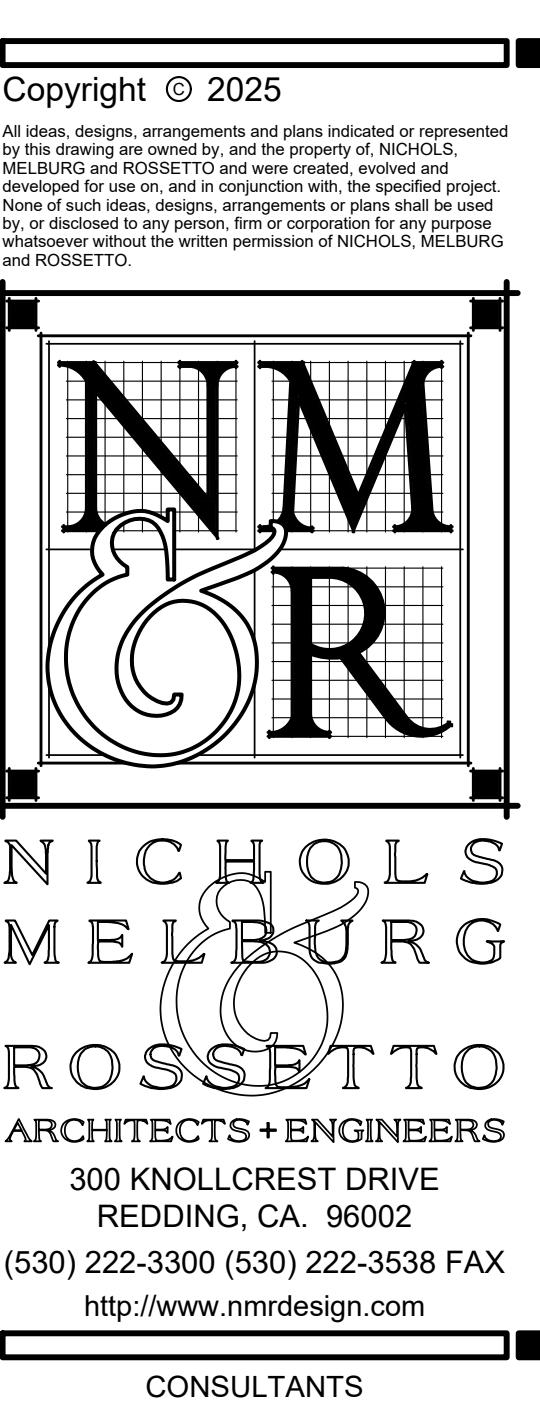
## DEMO KEYNOTES

- REMOVE (E) RAMP OR CONCRETE WALK AND/OR STEPS; AT WALKWAYS LEADING BEYOND THE PROPERTY LINE, SAWCUT AND DEMO UP TO PROPERTY LINE; RESTORE GRADE TO MATCH ADJACENT AND SEED WITH NATIVE GRASSES.
- NO WORK NORTH OF PROPERTY LINE
- FLAG POLE TO BE DEMOLISHED. SEE NEW LOCATION ON 8/A070.

NOTE: CARE SHOULD BE TAKEN WHEN EXCAVATING NEAR OR AROUND THE ELECTRICAL PRIMARIES.

## KEYNOTES

- ACCESSIBLE PATH OF TRAVEL TO THE PUBLIC WAY & ACCESSIBLE PARKING
- (E) TREE OR LANDSCAPING TO REMAIN
- (N) 4" WIDE WHITE PARKING SPACE STRIPING
- (E) ELECTRICAL UTILITY BOX TO REMAIN - PROTECT IN PLACE
- (E) A/C PAVING TO REMAIN
- 5'-0" WIDE CONCRETE WALKWAY, SLOPE NOT TO EXCEED 5% IN DIRECTION OF TRAVEL WITH 2% MAX. CROSS SLOPE TYP., EXCEPT AT ACCESSIBLE PARKING RAMP.
- (E) BUS STOP SHELTER TO REMAIN
- (E) BUILDING OR STRUCTURE TO REMAIN - PROTECT IN PLACE
- CONTRACTOR PARKING, MATERIAL STAGING AREA, AND WASTE HOLDING
- SIGN TYPE 'F' ON POLE - SEE 7/A060
- (N) A/C PAVING @ (N) ACCESSIBLE PARKING STALLS AS REQ'D.
- 4'-0" WIDE CONCRETE RAMP, WITH LANDING AND STAIRS, SLOPE NOT TO EXCEED 1:12 IN DIRECTION OF TRAVEL WITH 2% MAX. CROSS SLOPE TYP.
- USE CLEAN FILL TO BRING GRADE UP IN THIS AREA AS DIRECTED BY COUNTY; COMPACT AS REQUIRED PRIOR TO INSTALLATION OF NEW WALKWAY.



A circular license stamp for Devan Carter, Architect, C 34730, State of California, expiration 5/31/27. The stamp is signed "Devan Carter" across the center. The text "LICENSED ARCHITECT" is at the top, "DEVEN CARTER" is in the center, "C 34730" is in the middle, "STATE OF CALIFORNIA" is at the bottom, and "EXPIRED 5/31/27" is on the right. The signature "Devan Carter" is written over the stamp.

## PROJECT NAME

# ACCESSIBILITY IMPROVEMENTS FOR

5630 S. BROADWAY  
EUREKA, CA

# OVERALL SITE DEMO. & NEW CONSTRUCTION

DRAWING STATUS  
**CONSTRUCTION  
DOCUMENTS**  
BUILDING DEPT SUBMITTAL

## REVISIONS

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Drawn By	KAJ
Checked By	.
Date Drawn	2025-11-24
Scale	1"=20'-0"
Job No.	17-6430

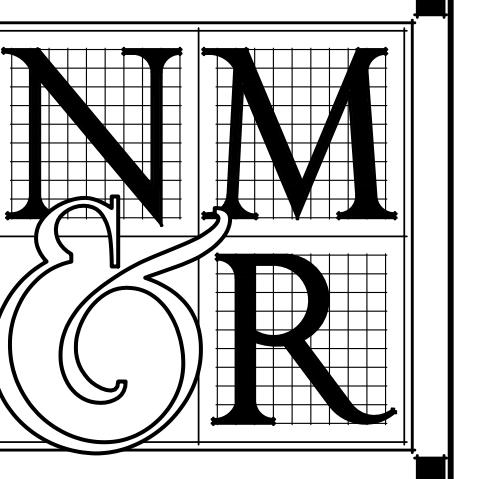
SHEET No.

A100

# COMBINED SITE PLAN & ACCESSIBLE PATH OF TRAVEL







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## GENERAL NOTES

- SEE SHT. G200 FOR ACCESSIBLE MOUNTING HEIGHTS OF TOILET FIXTURES, ACCESSORIES, AND OTHER ITEMS SHOWN ON THIS SHEET.
- ALL TOILET ROOM WALLS ABOVE TILE WAINTSCOT AND CEILINGS TO BE PAINTED, SEE FINISH SCHED. SHT. A700.
- AT ALL PATCHES, REPAIRS, NEW PARTITIONS, ETC., MATCH (E) FINISHES AND PAINT OUT TO NEAREST WALL CORNER WITH PAINT TO MATCH (E).

## DEMO & (E) KEYNOTES

- [A] REMOVE (E) TOILET PARTITIONS AS SHOWN
- [B] REMOVE (E) TOILET & RESTROOM ACCESSORIES, RETAIN GRAB BARS AND LAVATORY PIPING PROTECTION PACKAGES FOR REINSTALLATION, RETURN ALL OTHER ACCESSORIES TO THE COUNTY FOR RE-USE.
- [C] REMOVE (E) PLUMBING FIXTURE AS SHOWN
- [D] REMOVE INDICATED SECTION OF WALL
- [E] REMOVE (E) WALL FINISHES, PREP FOR (N) WALL FINISHES
- [F] REMOVE (E) FLOORING, PREP SUBFLOOR FOR (N) FLOORING
- [G] REMOVE (E) DOOR AND FRAME AS SHOWN
- [H] REMOVE (E) COUNTERTOP AS SHOWN
- [J] REMOVE (E) GRAB BAR(S)
- [K] (E) WINDOW TO REMAIN, PROTECT IN PLACE; SCRAPE, CAULK & REPAINT FRAME.

## KEYNOTES

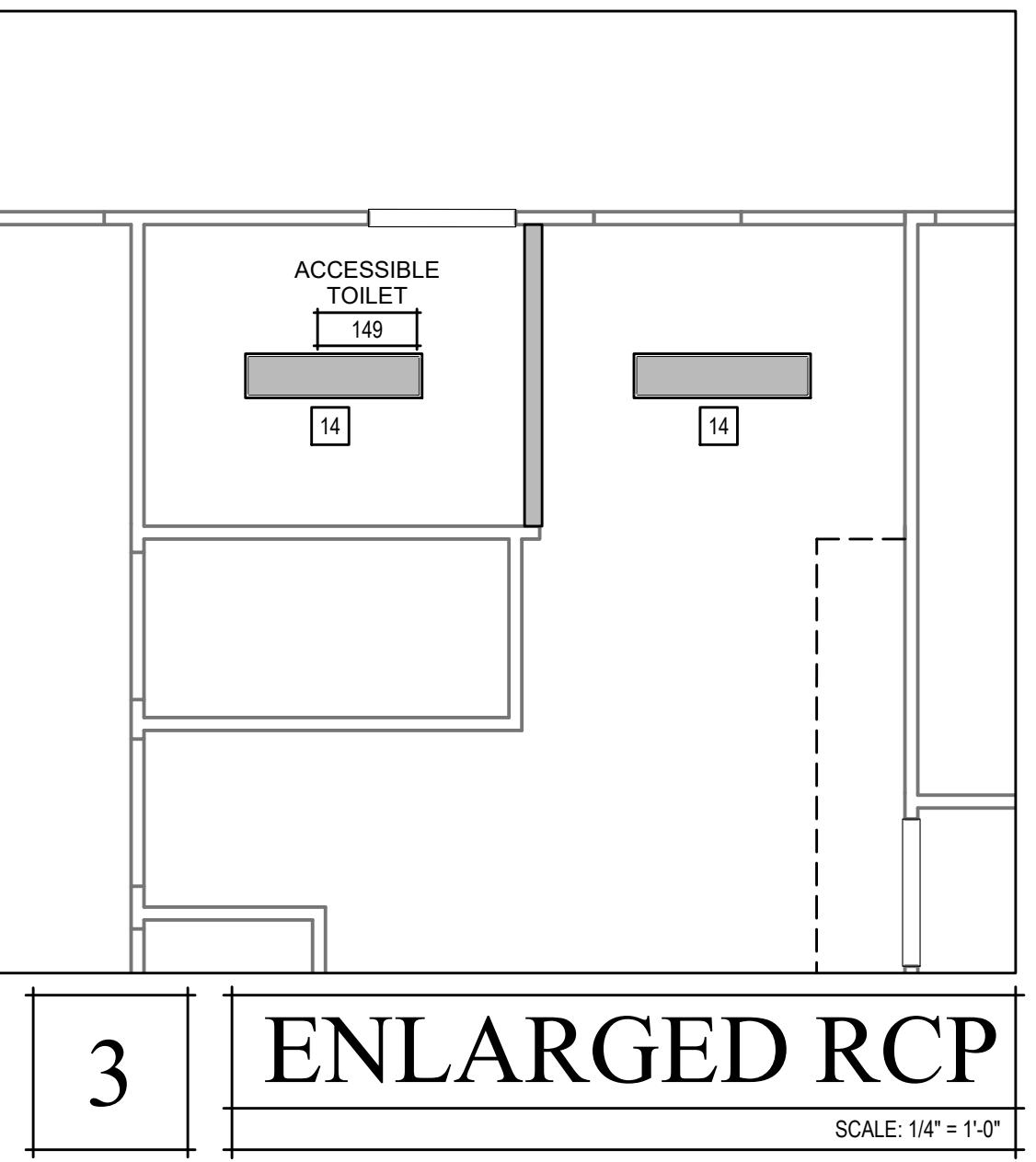
FOR PLUMBING FIXTURES LISTED BELOW SEE SCHEDULE ON SHT. A700.

- (N) WALL-MOUNTED TOILET "P-1"; CONNECT TO EXISTING WATER SUPPLY AND WASTE PIPE.
- (N) INTERIOR PARTITION WALL TO BE NON-RATED WITH 2 x 4 @ 16" O.C. AND 5/8" GYP. BD. EACH SIDE FROM FLOOR TO FRAMED CEILING ABOVE. PROVIDE ADJUSTABLE TRACK AT WALL HEAD IF RECD. AT FURRED WALLS. GYP. BD. IS REQ'D FINISHED SIDE ONLY. WHERE RECD FOR WALLOHUNG LAVATORY OR TOILET UTILIZE 2x6 OR GREATER WALL FRAMING.
- (N) WALL-HUNG LAVATORY & FAUCET "P-6" AND "P-7"; CONNECT TO EXISTING WATER SUPPLY LINES & DRAIN PIPE.
- (N) WALL-MOUNTED URINAL "P-4"; SEE SHT. G200 FOR MOUNTING HEIGHTS.
- (N) FLOOR-MOUNTED TOILET "P-2"; CONNECT TO EXISTING WATER SUPPLY AND WASTE PIPE.
- (N) WALL-MOUNTED SMOKE DETECTOR, CONNECT TO EXISTING F.A. SYSTEM.
- (N) WALL-MOUNTED LIGHT FIXTURE - SEE LIGHT FIXTURE SCHEDULE ON SHT. A700.
- (E) OR (N) DOOR - SEE DOOR FIXTURE SCHEDULE ON SHT. A700.
- (N) FLOOR-MOUNTED TOILET "P-2"; CONNECT TO EXISTING WATER SUPPLY AND WASTE PIPE.
- 10) TOP OF TILE WAINTSCOT - SEE FINISH SCHED. SHT. A700 FOR WALL TILE TYPE.
- 11) PROVIDE ACCESSIBLE TOILET SIGNAGE PER 7/G200.
- 12) PROVIDE FLOOR DRAIN "P-10"; CONNECT TO EXISTING SANITARY LINE WITH 2" PIPE; PROVIDE TRAP.
- 13) PROVIDE ALUMINUM COVE TRIM AT FLOOR/WALL INTERSECTION PER 11/A900.
- 14) (N) 48" LONG SURFACE-MOUNTED LIGHT FIXTURE, LITHONIA L48 CSS 5000LM OR EQUAL. REMOVE (E) FIXTURES AND UTILIZE (E) CONDUCTORS FROM SWITCH LOCATION. CHANGE OUT (E) SWITCH WITH ONE WITH INTEGRAL OCCUPANCY SENSOR.
- 15) PROVIDE U-SHAPED PULL ON BOTH SIDES OF COMPARTMENT DOOR. TOILET COMPARTMENT DOOR OPENING TO PROVIDE A CLEAR WIDTH OF 34" MINIMUM WHEN LOCATED AT THE SIDE OF A TOILET COMPARTMENT, 11B-604.8.1.2, EXCEPTION

## LEGEND

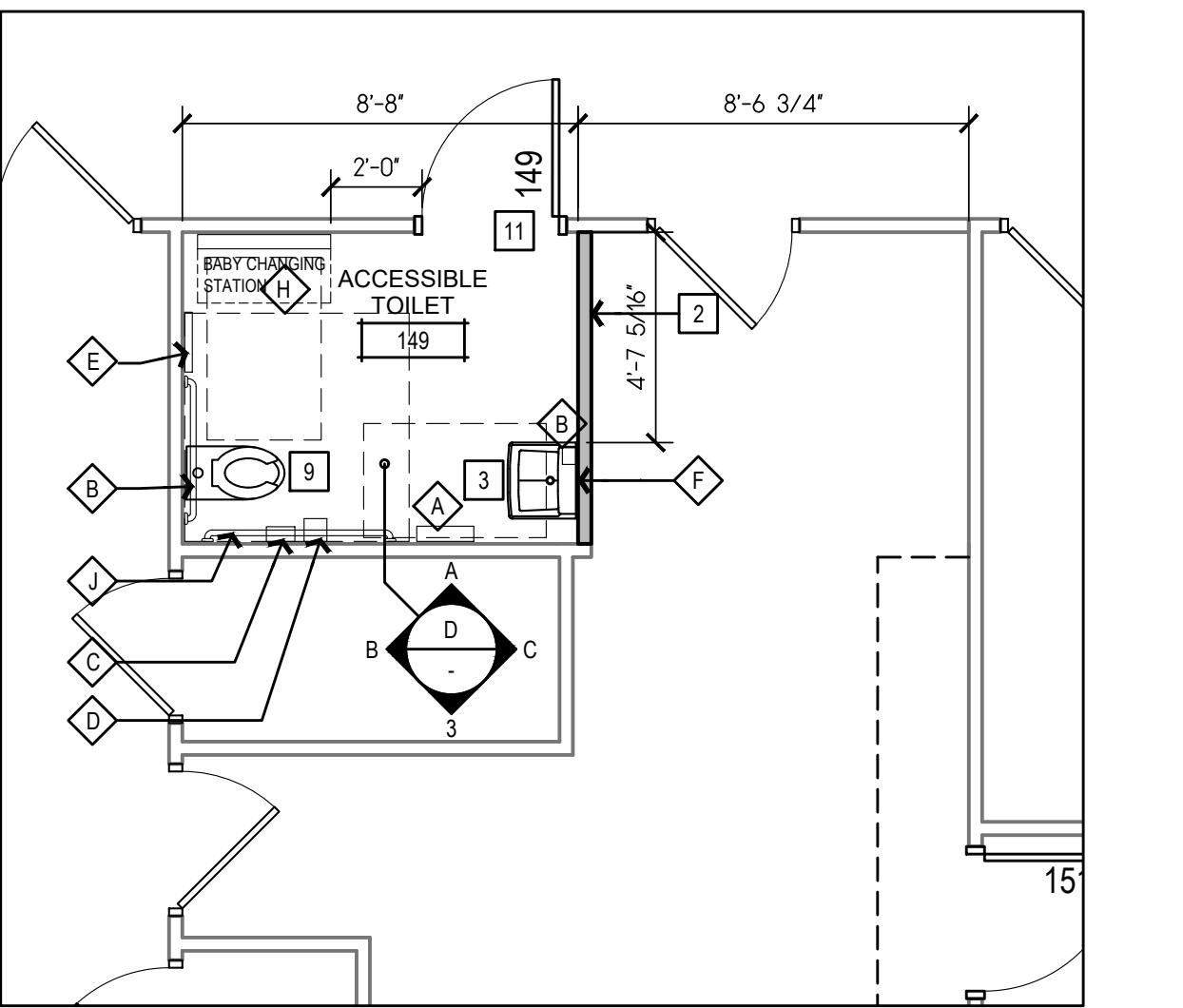
- [diamond] RESTROOM ACCESSORY - SEE SCHEDULE ON A700
- [toilet icon] PLUMBING FIXTURE TO BE REMOVED
- [toilet icon with circle] PLUMBING FIXTURE TO BE INSTALLED
- [circle] 5'-0" DIA. ACCESSIBLE TURNAROUND
- [dashed line] EXISTING WALL / DOOR TO REMAIN
- [dashed line with arrow] WALL, DOOR AND FRAMED TO BE REMOVED
- [solid line] NEW WALL, DOOR AND FRAME
- [square] NEW FLOOR DRAIN

A210



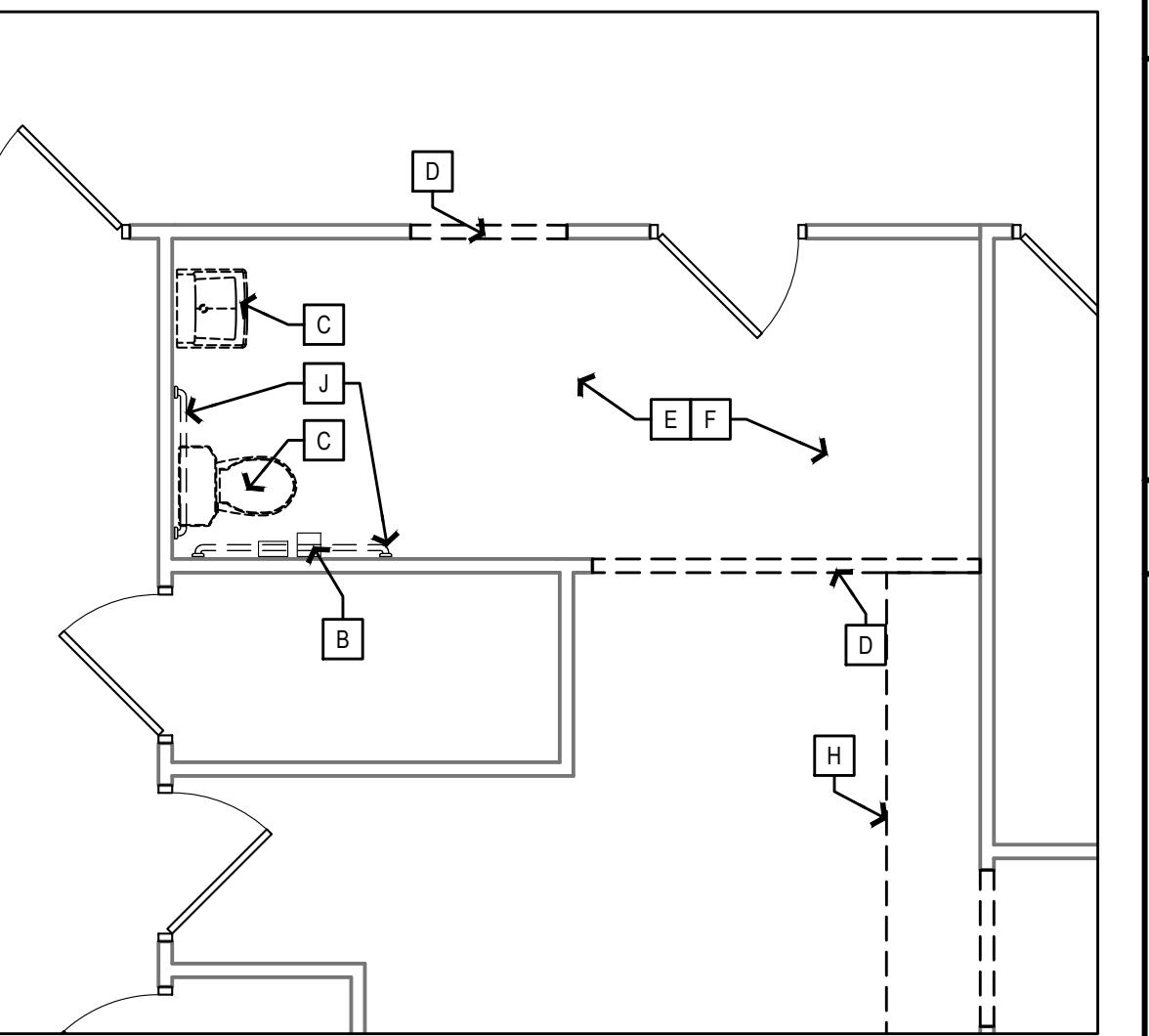
3 ENLARGED RCP

SCALE: 1/4" = 1'-0"



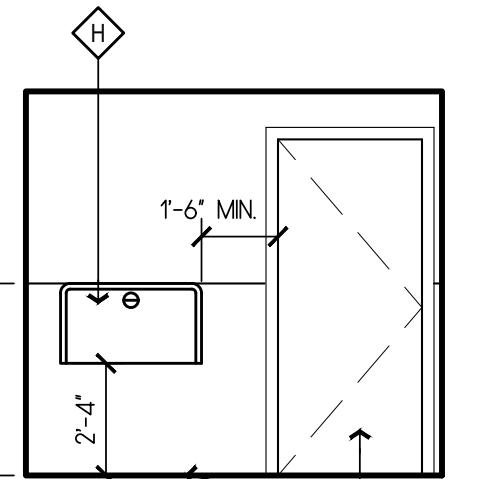
2 ENLRG. FLR. PLAN

SCALE: 1/4" = 1'-0"

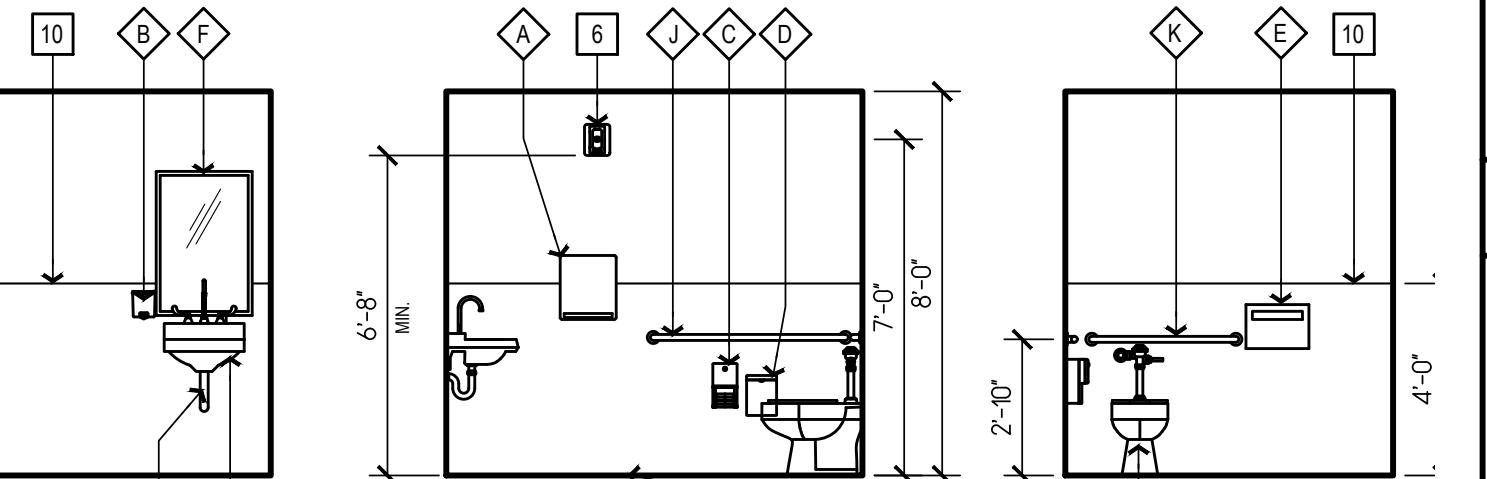


1 ENLRG. DEMO. PLAN

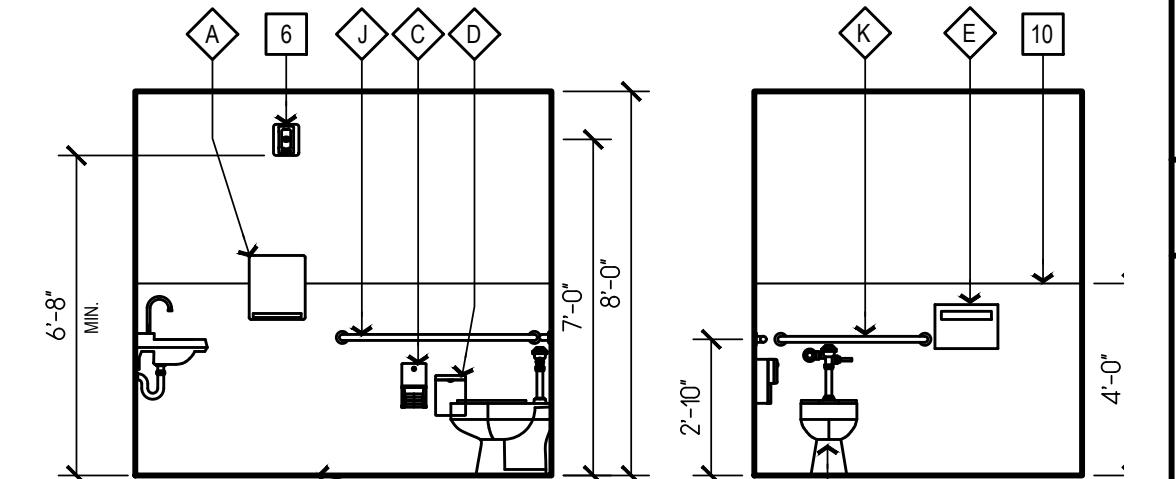
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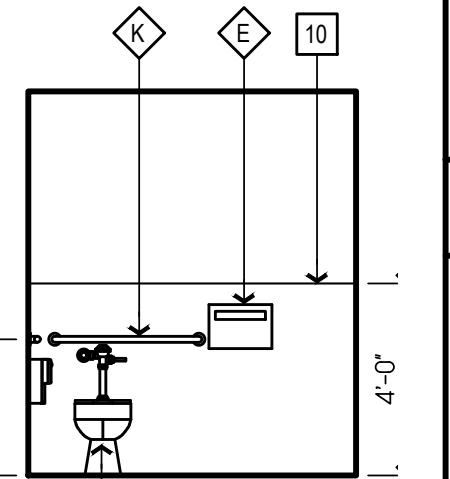
A - North



B - East



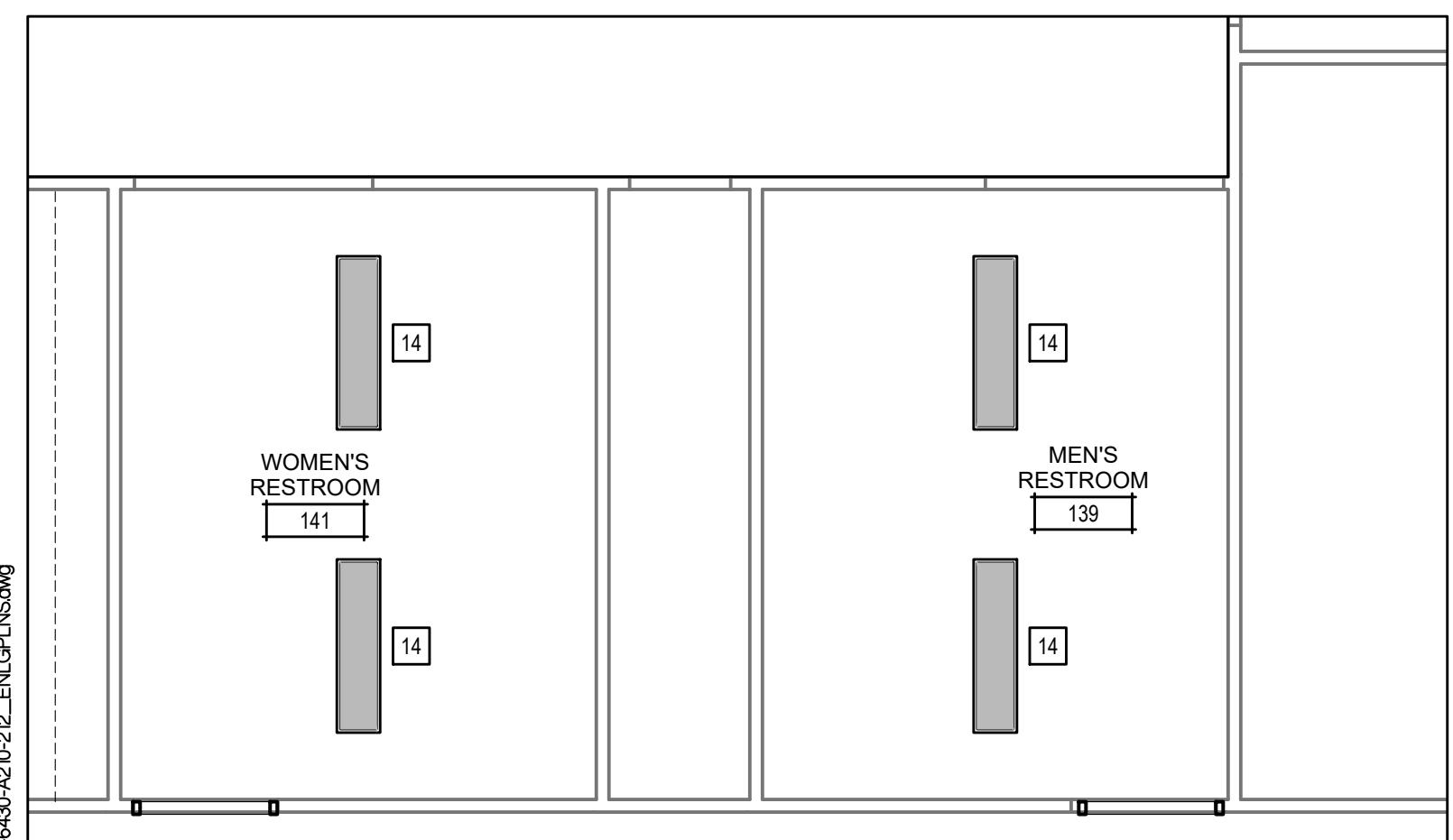
C - South



D - West

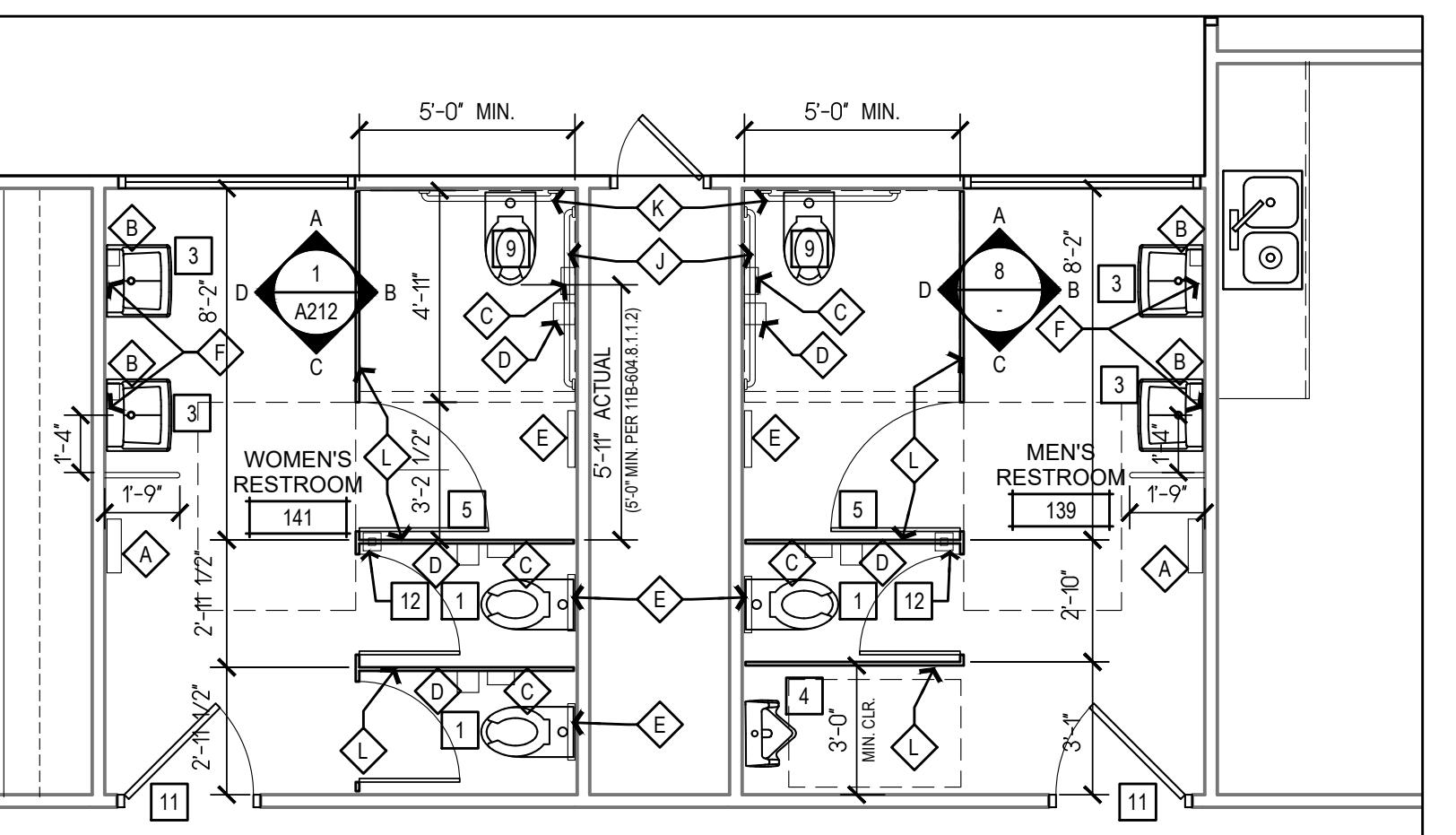
## 4 RESTROOM ELEVATIONS

SCALE: 1/4" = 1'-0"



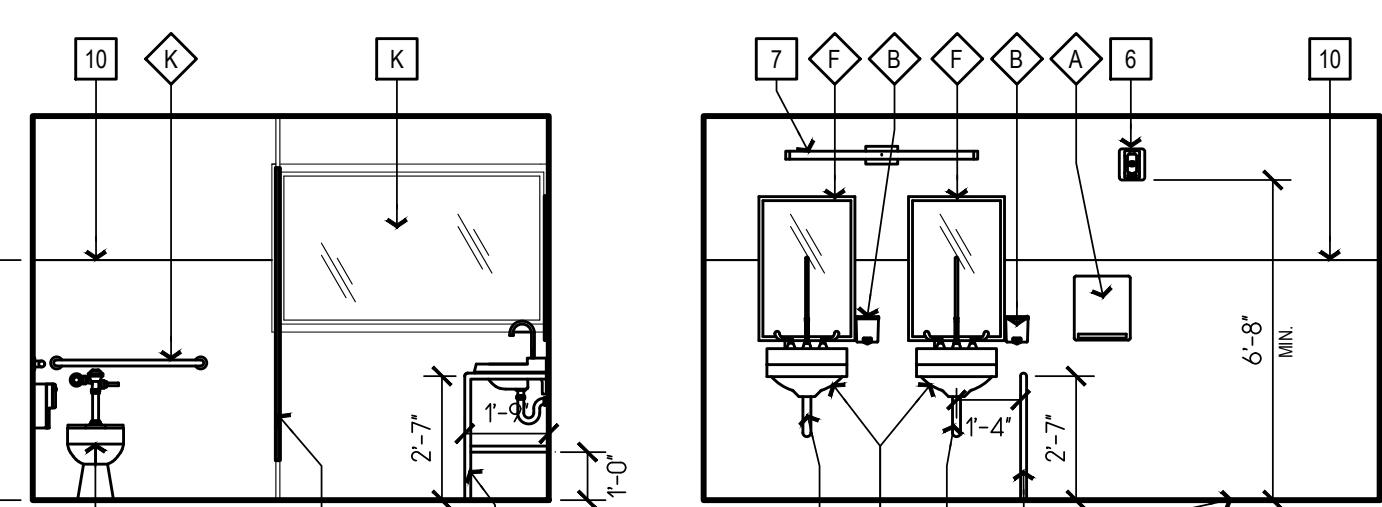
7 ENLARGED RCP

SCALE: 1/4" = 1'-0"

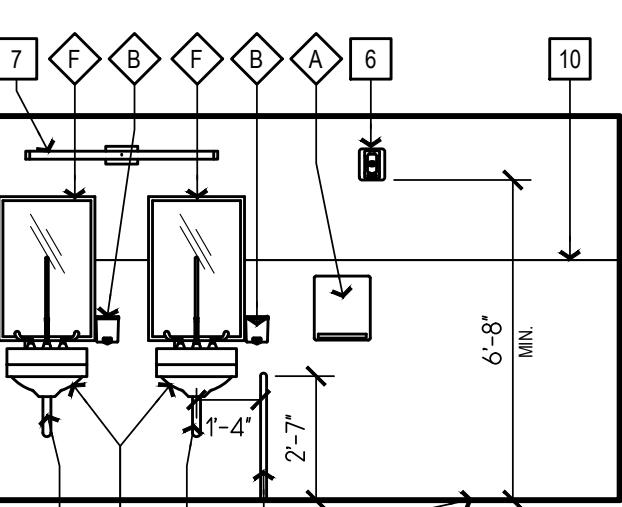


6 ENLRG. FLR. PLAN

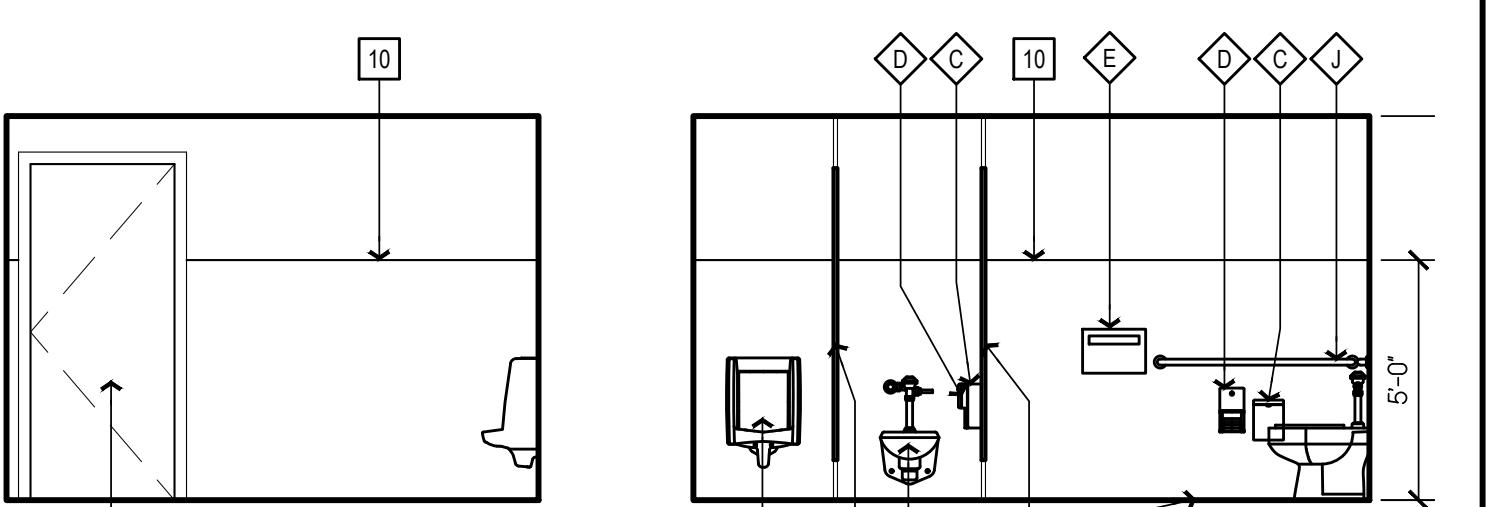
SCALE: 1/4" = 1'-0"



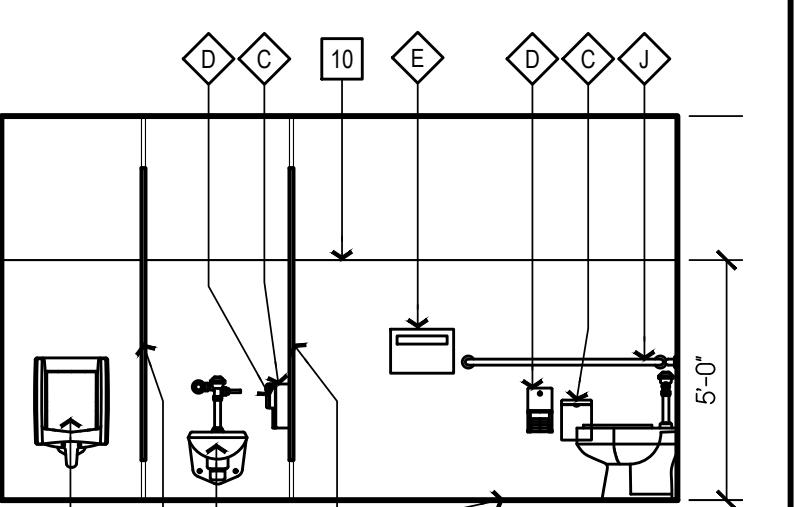
A - North



B - East



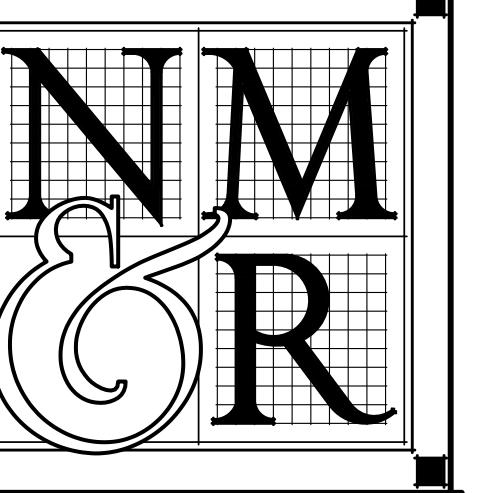
C - South



D - West

## 8 RESTROOM ELEVATIONS

SCALE: 1/4" = 1'-0"



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O S S E T T O

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## GENERAL NOTES

SEE SHT. G200 FOR ACCESSIBLE MOUNTING HEIGHTS OF TOILET FIXTURES,  
ACCESSORIES, AND OTHER ITEMS SHOWN ON THIS SHEET.

ALL TOILET ROOM WALLS ABOVE TILE WAINSCOT AND CEILINGS TO BE PAINTED, SEE  
FINISH SCHED. SHT. A700.

AT ALL PATCHES, REPAIRS, NEW PARTITIONS, ETC., MATCH (E) FINISHES AND PAINT  
OUT TO NEAREST WALL CORNER WITH PAINT TO MATCH (E).

# DEMO & (E) KEYNOTES

REMOVE (E) TOILET PARTITIONS AS SHOWN

REMOVE (E) TOILET & RESTROOM ACCESSORIES, RETAIN GRAB BARS AND LAVATORY PIPING PROTECTION PACKAGES FOR REINSTALLATION, RETURN ALL OTHER ACCESSORIES TO THE COUNTY FOR RE-USE.

REMOVE (E) PLUMBING FIXTURE AS SHOWN

REMOVE INDICATED SECTION OF WALL

REMOVE (E) WALL FINISHES, PREP FOR (N) WALL FINISHES

REMOVE (E) FLOORING, PREP SUBFLOOR FOR (N) FLOORING

REMOVE (E) DOOR AND FRAME AS SHOWN

REMOVE (E) COUNTERTOP AS SHOWN

REMOVE (E) GRAB BAR(S)

(E) WINDOW TO REMAIN, PROTECT IN PLACE; SCRAPE, CAULK & REPAINT FRAME.

## KEYNOTES

PLUMBING FIXTURES LISTED BELOW SEE SCHEDULE ON SHT. A700.

(N) WALL-MOUNTED TOILET "P-1"; CONNECT TO EXISTING WATER SUPPLY AND WASTE PIPE.

(N) INTERIOR PARTITION WALL TO BE NON-RATED WITH 2 x 4 @ 16" O.C. AND 5/8" GYP. BD. EACH SIDE FROM FLOOR TO FRAMED CEILING ABOVE. PROVIDE ADJUSTABLE TRACK AT WALL HEAD IF REQ'D. AT FURRED WALLS, GYP. BD. IS REQ'D @ FINISHED SIDE ONLY. WHERE REQ'D FOR WALL HUNG LAVATORY OR TOILET UTILIZE 2x6 OR GREATER WALL FRAMING.

(N) WALL-HUNG LAVATORY & FAUCET "P-6" AND "P-7"; CONNECT TO EXISTING WATER SUPPLY LINES & DRAIN PIPE.

(N) WALL-MOUNTED URINAL "P-4" - SEE SHT. G200 FOR MOUNTING HEIGHTS.

(N) FLOORING AS SPECIFIED - SEE FIN. SCHED.

(N) WALL-MOUNTED SMOKE DETECTOR, CONNECT TO EXISTING F.A. SYSTEM.

(N) WALL-MOUNTED LIGHT FIXTURE - SEE LIGHT FIXTURE SCHEDULE ON SHT. A700.

(E) OR (N) DOOR - SEE DOOR FIXTURE SCHEDULE ON SHT. A701.

(N) FLOOR-MOUNTED TOILET "P-2"; CONNECT TO EXISTING WATER SUPPLY AND WASTE PIPE.

TOP OF TILE WAINSCOT - SEE FINISH SCHED. SHT. A700 FOR WALL TILE TYPE.

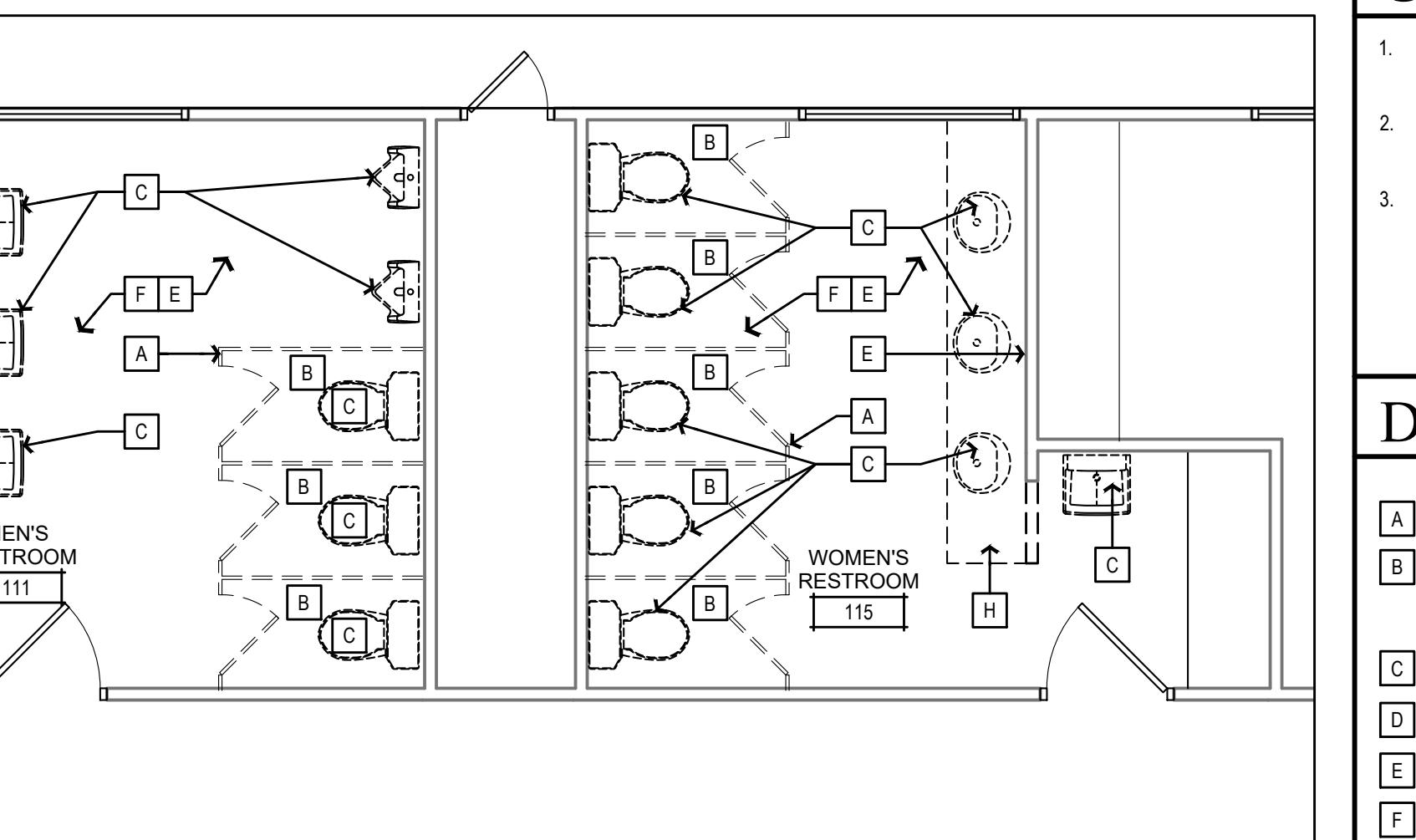
PROVIDE ACCESSIBLE TOILET SIGNAGE PER 7/G200.

PROVIDE FLOOR DRAIN "P-10"; CONNECT TO EXISTING SANITARY LINE WITH 2" PIPE; PROVIDE TRAP.

PROVIDE ALUMINUM COVE TRIM AT FLOOR/WALL INTERSECTION PER 11/A900.

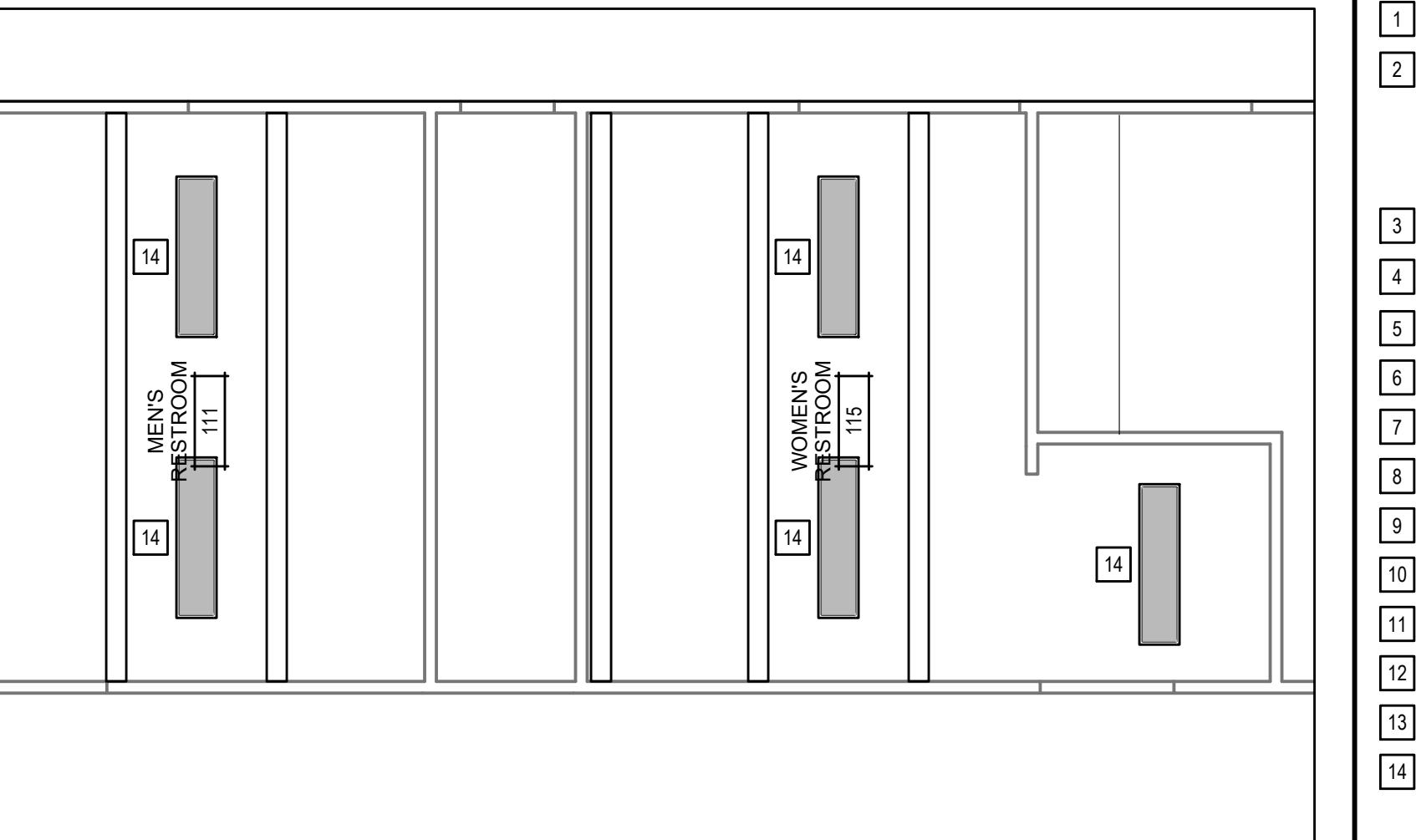
(N) 48" LONG SURFACE-MOUNTED LIGHT FIXTURE, LITHONIA L48 CSS 5000LM OR EQUAL. REMOVE (E) FIXTURES AND UTILIZE (E) CONDUCTORS FROM SWITCH LOCATION. CHANGE OUT (E) SWITCH WITH ONE WITH INTEGRAL OCCUPANCY SENSOR

PROVIDE U-SHAPED PULL ON BOTH SIDES OF COMPARTMENT DOOR. TOILET COMPARTMENT DOOR OPENING TO PROVIDE A CLEAR WIDTH OF 34" MINIMUM WHEN LOCATED AT THE SIDE OF A TOILET COMPARTMENT. 11B-604.8.1.2, EXCEPTION



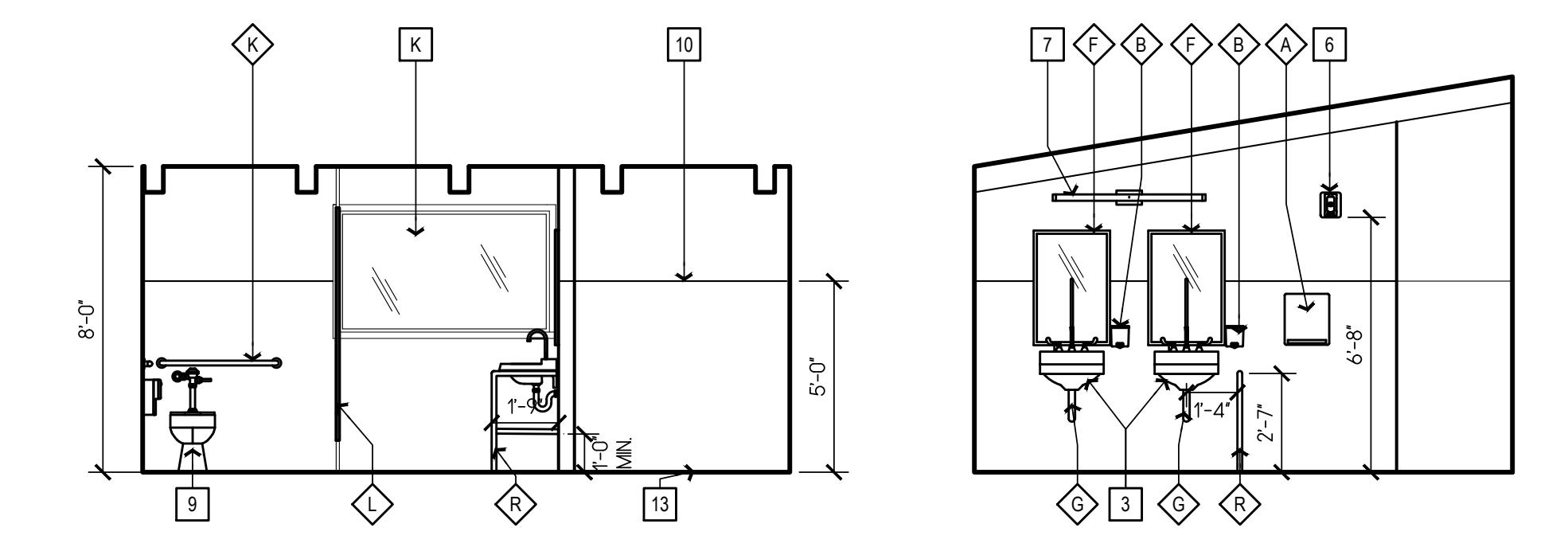
# 2 ENLARGED FLOOR PLAN

CALE:  $1/4" = 1'-0"$



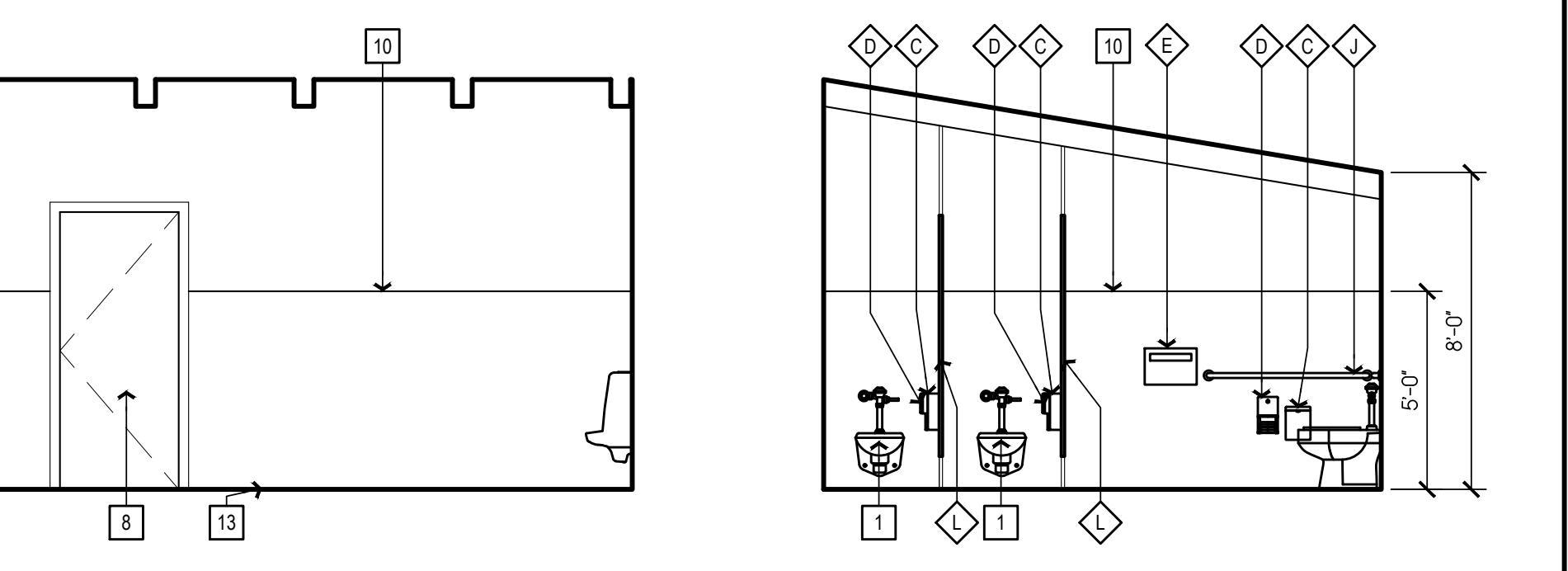
# ENLARGED DEMOLITION PLAN

1/4" = 1'-0"



## A - North

## B - East

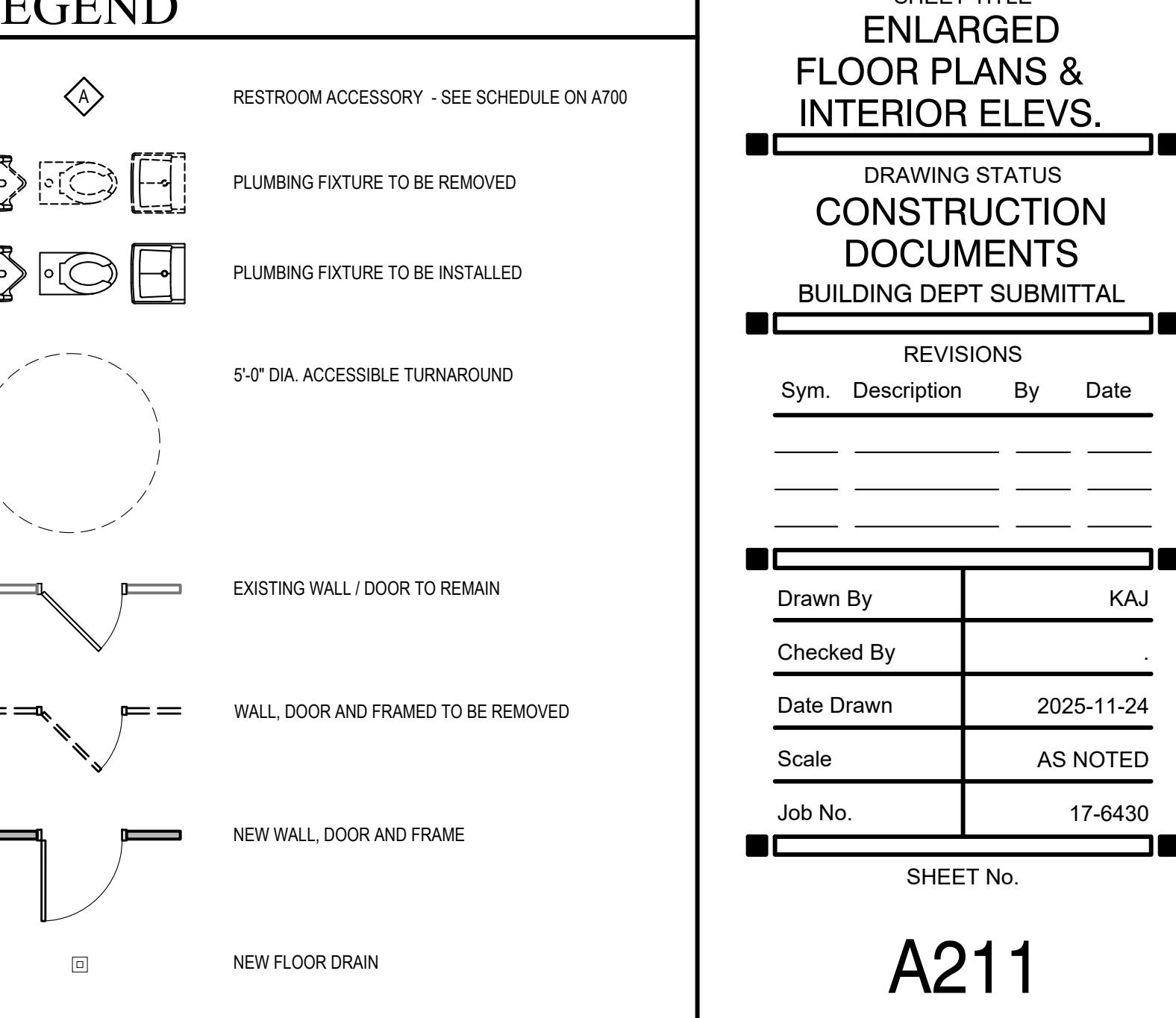


## - South

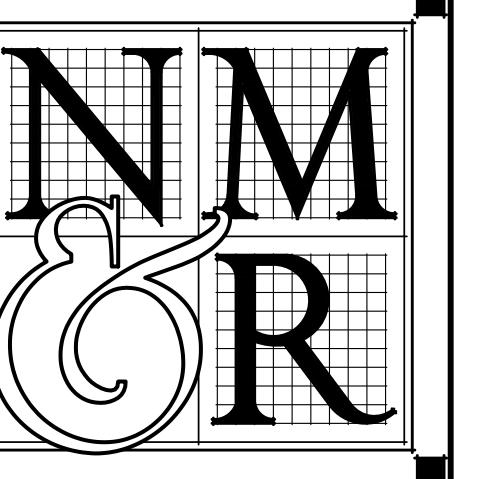


# ESTROOM ELEVATIONS

SCALE: 1/4" = 1'-0"



A211



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## GENERAL NOTES

- SEE SHT. G200 FOR ACCESSIBLE MOUNTING HEIGHTS OF TOILET FIXTURES, ACCESSORIES, AND OTHER ITEMS SHOWN ON THIS SHEET.
- ALL TOILET ROOM WALLS ABOVE TILE WAINTSCOT AND CEILINGS TO BE PAINTED, SEE FINISH SCHED. SHT. A700.
- AT ALL PATCHES, REPAIRS, NEW PARTITIONS, ETC., MATCH (E) FINISHES AND PAINT OUT TO NEAREST WALL CORNER WITH PAINT TO MATCH (E).

## DEMO & (E) KEYNOTES

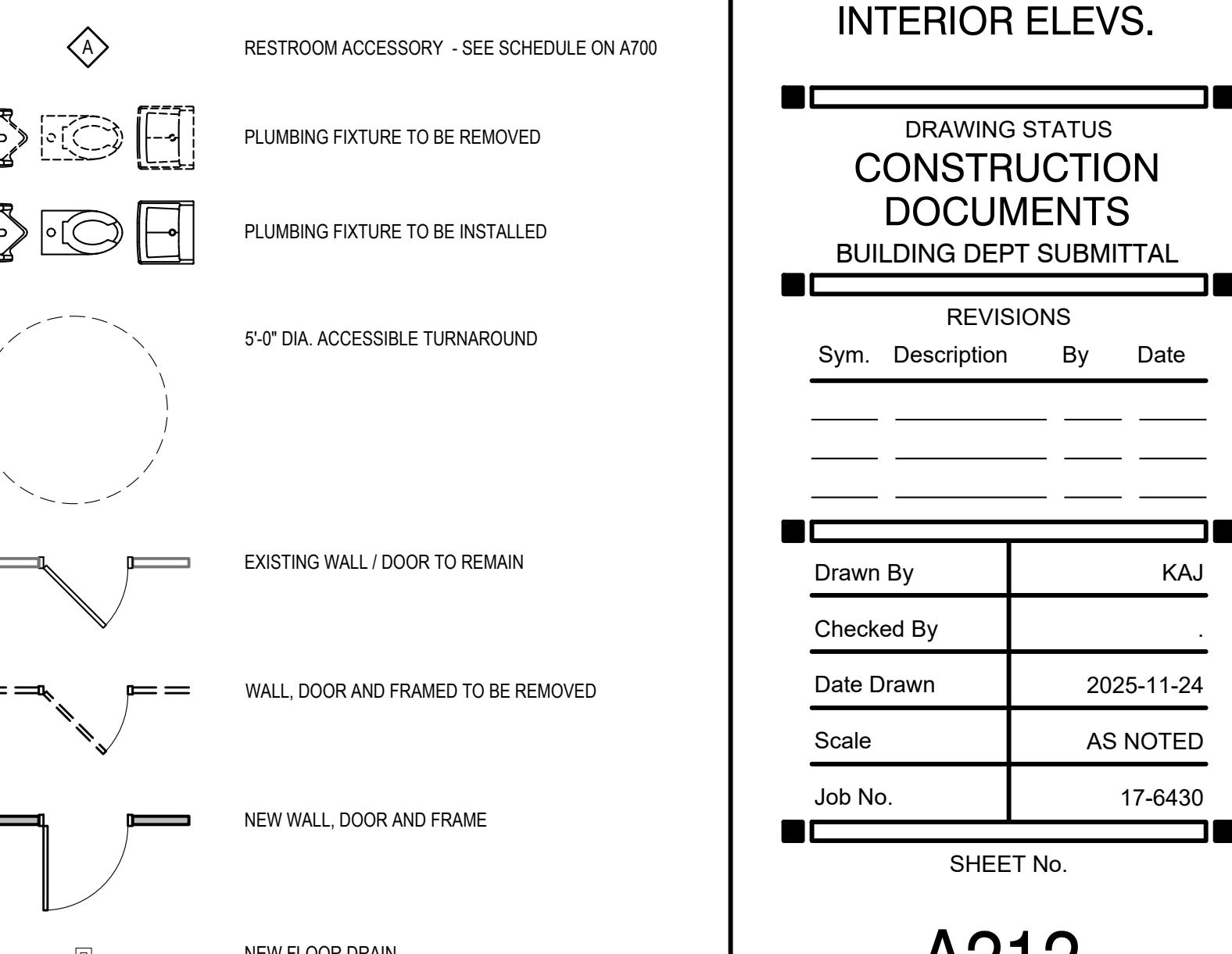
- [A] REMOVE (E) TOILET PARTITIONS AS SHOWN
- [B] REMOVE (E) TOILET & RESTROOM ACCESSORIES, RETAIN GRAB BARS AND LAVATORY PIPING PROTECTION PACKAGES FOR REINSTALLATION, RETURN ALL OTHER ACCESSORIES TO THE COUNTY FOR RE-USE.
- [C] REMOVE (E) PLUMBING FIXTURE AS SHOWN
- [D] REMOVE INDICATED SECTION OF WALL
- [E] REMOVE (E) WALL FINISHES, PREP FOR (N) WALL FINISHES
- [F] REMOVE (E) FLOORING, PREP SUBFLOOR FOR (N) FLOORING
- [G] REMOVE (E) DOOR AND FRAME AS SHOWN
- [H] REMOVE (E) COUNTERTOP AS SHOWN
- [J] REMOVE (E) GRAB BAR(S)
- [K] (E) WINDOW TO REMAIN, PROTECT IN PLACE; SCRAPE, CAULK & REPAINT FRAME.

## KEYNOTES

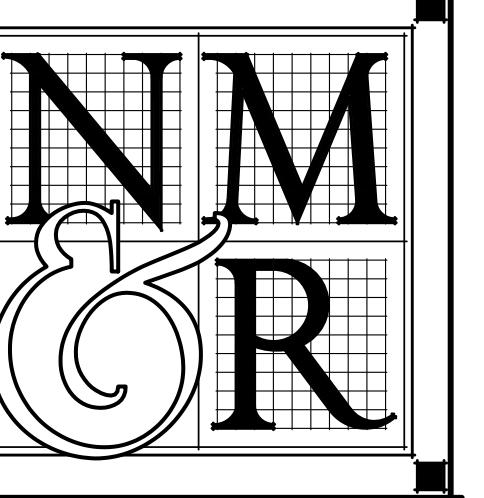
FOR PLUMBING FIXTURES LISTED BELOW SEE SCHEDULE ON SHT. A700.

- [1] (N) WALL-MOUNTED TOILET "P-1"; CONNECT TO EXISTING WATER SUPPLY AND WASTE PIPE.
- [2] (N) INTERIOR PARTITION WALL TO BE NON-RATED WITH 2x4 @ 16" O.C. AND 5/8" GYP. BD. EACH SIDE FROM FLOOR TO FRAMED CEILING ABOVE. PROVIDE ADJUSTABLE TRACK AT WALL HEAD IF RECD. AT FURRED WALLS. GYP. BD. IS REQ'D OF FINISHED SIDE ONLY. WHERE RECD FOR WALLOHUNG LAVATORY OR TOILET UTILIZE 2x6 OR GREATER WALL FRAMING.
- [3] (N) WALL-HUNG LAVATORY & FAUCET "P-6" AND "P-7"; CONNECT TO EXISTING WATER SUPPLY LINES & DRAIN PIPE.
- [4] (N) WALL-MOUNTED URINAL "P-4"; SEE SHT. G200 FOR MOUNTING HEIGHTS.
- [5] (N) FLOORING AS SPECIFIED - SEE FIN. SCHED.
- [6] (N) WALL-MOUNTED SMOKE DETECTOR, CONNECT TO EXISTING F.A. SYSTEM.
- [7] (N) WALL-MOUNTED LIGHT FIXTURE - SEE LIGHT FIXTURE SCHEDULE ON SHT. A700.
- [8] (E) OR (N) DOOR - SEE DOOR FIXTURE SCHEDULE ON SHT. A700.
- [9] (N) FLOOR-MOUNTED TOILET "P-2"; CONNECT TO EXISTING WATER SUPPLY AND WASTE PIPE.
- [10] TOP OF TILE WAINTSCOT - SEE FINISH SCHED. SHT. A700 FOR WALL TILE TYPE.
- [11] PROVIDE ACCESSIBLE TOILET SIGNAGE PER 7/G200.
- [12] PROVIDE FLOOR DRAIN "P-10"; CONNECT TO EXISTING SANITARY LINE WITH 2" PIPE; PROVIDE TRAP.
- [13] PROVIDE ALUMINUM COVE TRIM AT FLOOR/WALL INTERSECTION PER 11/A900.
- [14] (N) 48" LONG SURFACE-MOUNTED LIGHT FIXTURE, LITHONIA L48 CSS 5000LM OR EQUAL. REMOVE (E) FIXTURES AND UTILIZE (E) CONDUCTORS FROM SWITCH LOCATION. CHANGE OUT (E) SWITCH WITH ONE WITH INTEGRAL OCCUPANCY SENSOR.
- [15] PROVIDE U-SHAPED PULL ON BOTH SIDES OF COMPARTMENT DOOR. TOILET COMPARTMENT DOOR OPENING TO PROVIDE A CLEAR WIDTH OF 34" MINIMUM WHEN LOCATED AT THE SIDE OF A TOILET COMPARTMENT, 11B-604.8.1.2, EXCEPTION

## LEGEND

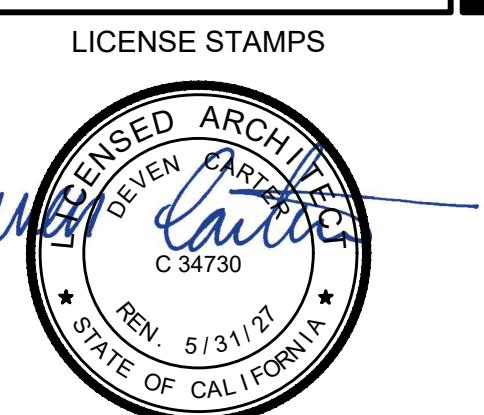


A212



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PROJECT NAME

ACCESSIBILITY  
IMPROVEMENTS  
FOR

HUMBOLDT CO  
AGRICULTURE  
BUILDING

5830 S. BROADWAY  
EUREKA, CA

SHEET TITLE

ROOF PLAN

DRAWING STATUS  
CONSTRUCTION  
DOCUMENTS  
BUILDING DEPT SUBMITTAL

REVISIONS

Sym. Description By Date

Drawn By KAJ

Checked By

Date Drawn 2025-11-24

Scale 1/8" = 1'-0"

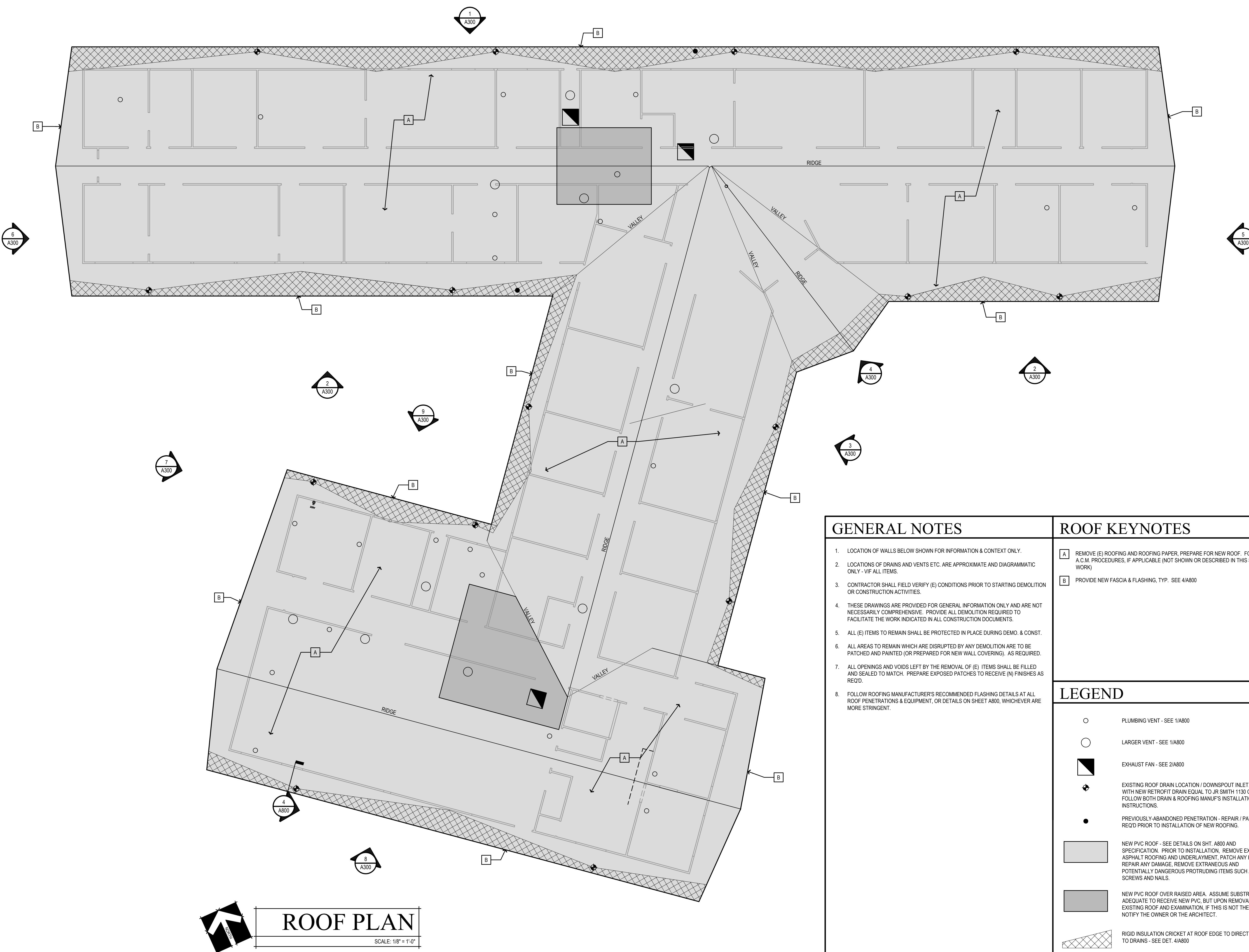
Job No. 17-6430

SHEET NO.

A240

ROOF PLAN

SCALE: 1/8" = 1'-0"



GENERAL NOTES

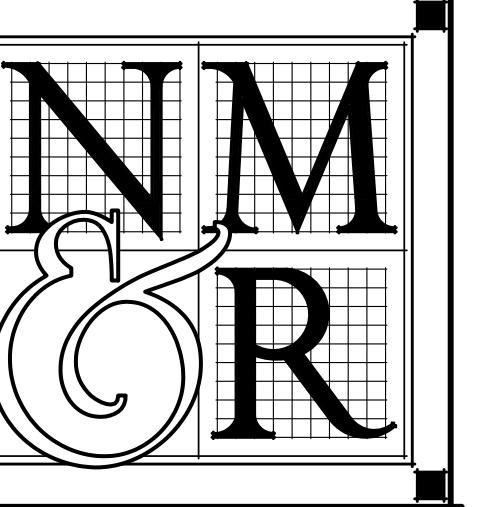
- LOCATION OF WALLS BELOW SHOWN FOR INFORMATION & CONTEXT ONLY.
- LOCATIONS OF DRAINS AND VENTS ETC. ARE APPROXIMATE AND DIAGRAMMATIC ONLY - VIF ALL ITEMS.
- CONTRACTOR SHALL FIELD VERIFY (E) CONDITIONS PRIOR TO STARTING DEMOLITION OR CONSTRUCTION ACTIVITIES.
- THESE DRAWINGS ARE PROVIDED FOR GENERAL INFORMATION ONLY AND ARE NOT NECESSARILY COMPREHENSIVE. PROVIDE ALL DEMOLITION REQUIRED TO FACILITATE THE WORK INDICATED IN ALL CONSTRUCTION DOCUMENTS.
- ALL (E) ITEMS TO REMAIN SHALL BE PROTECTED IN PLACE DURING DEMO. & CONST.
- ALL AREAS TO REMAIN WHICH ARE DISRUPTED BY ANY DEMOLITION ARE TO BE PATCHED AND PAINTED (OR PREPARED FOR NEW WALL COVERING). AS REQUIRED.
- ALL OPENINGS AND VOIDS LEFT BY THE REMOVAL OF (E) ITEMS SHALL BE FILLED AND SEALED TO MATCH. PREPARE EXPOSED PATCHES TO RECEIVE (N) FINISHES AS REQ'D.
- FOLLOW ROOFING MANUFACTURER'S RECOMMENDED FLASHING DETAILS AT ALL ROOF PENETRATIONS & EQUIPMENT, OR DETAILS ON SHEET A800, WHICHEVER ARE MORE STRINGENT.

ROOF KEYNOTES

[A] REMOVE (E) ROOFING AND ROOFING PAPER, PREPARE FOR NEW ROOF. FOLLOW A.C.M. PROCEDURES, IF APPLICABLE (NOT SHOWN OR DESCRIBED IN THIS SCOPE OF WORK)  
[B] PROVIDE NEW FASCIA & FLASHING, TYP. SEE 4/A800

LEGEND

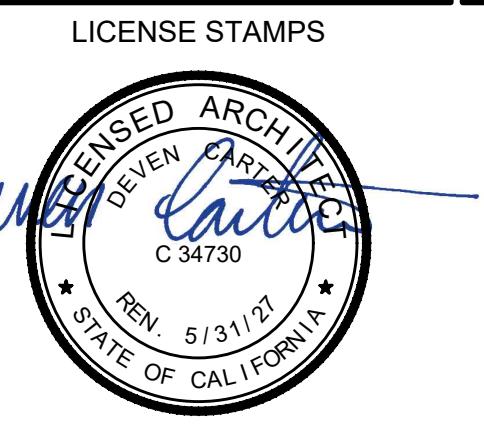
- PLUMBING VENT - SEE 1/A800
- LARGER VENT - SEE 1/A800
- EXHAUST FAN - SEE 2/A800
- EXISTING ROOF DRAIN LOCATION / DOWNSPOUT INLET. REPLACE WITH NEW RETROFIT DRAIN EQUAL TO JR SMITH 1130 OR 1140; FOLLOW BOTH DRAIN & ROOFING MANUF'S INSTALLATION INSTRUCTIONS.
- PREVIOUSLY-ABANDONED PENETRATION - REPAIR / PATCH AS REQ'D PRIOR TO INSTALLATION OF NEW ROOFING.
- NEW PVC ROOF - SEE DETAILS ON SHT. A800 AND SPECIFICATION. PRIOR TO INSTALLATION, REMOVE EXISTING ASPHALT ROOFING AND UNDERLAYMENT. PATCH ANY HOLES, REPAIR ANY DAMAGE. REMOVE EXTRANEUS AND POTENTIALLY DANGEROUS PROTRUDING ITEMS SUCH AS SCREWS AND NAILS.
- NEW PVC ROOF OVER RAISED AREA. ASSUME SUBSTRATE IS ADEQUATE TO RECEIVE NEW PVC. BUT UPON REMOVAL OF EXISTING ROOF AND EXAMINATION, IF THIS IS NOT THE CASE, NOTIFY THE OWNER OR THE ARCHITECT.
- RIGID INSULATION CRICKET AT ROOF EDGE TO DIRECT WATER TO DRAINS - SEE DET. A800



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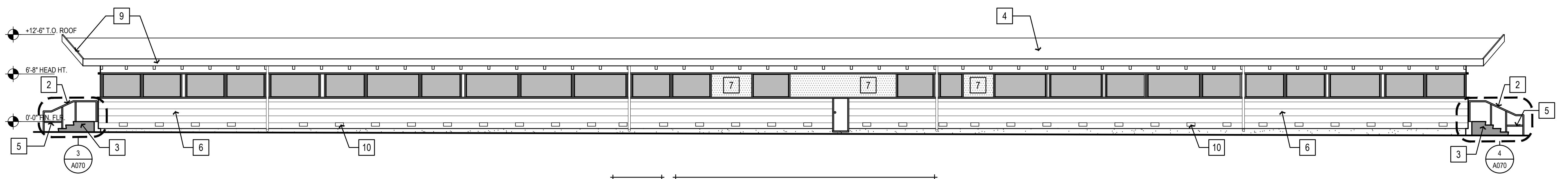
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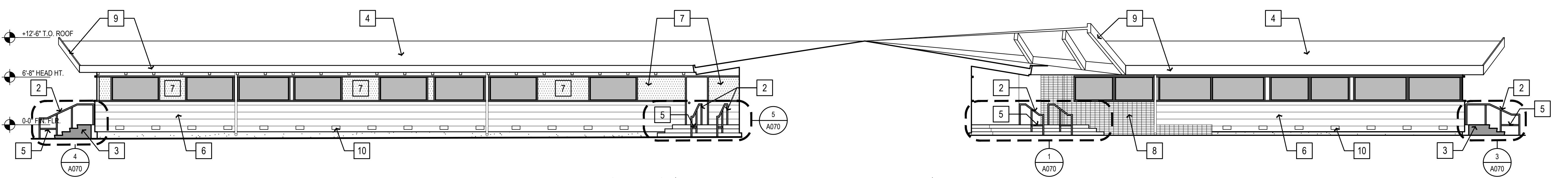
REVISIONS  
Sym. Description By Date

Drawn By KAJ  
Checked By  
Date Drawn 2025-11-24  
Scale 1/8" = 1'-0"  
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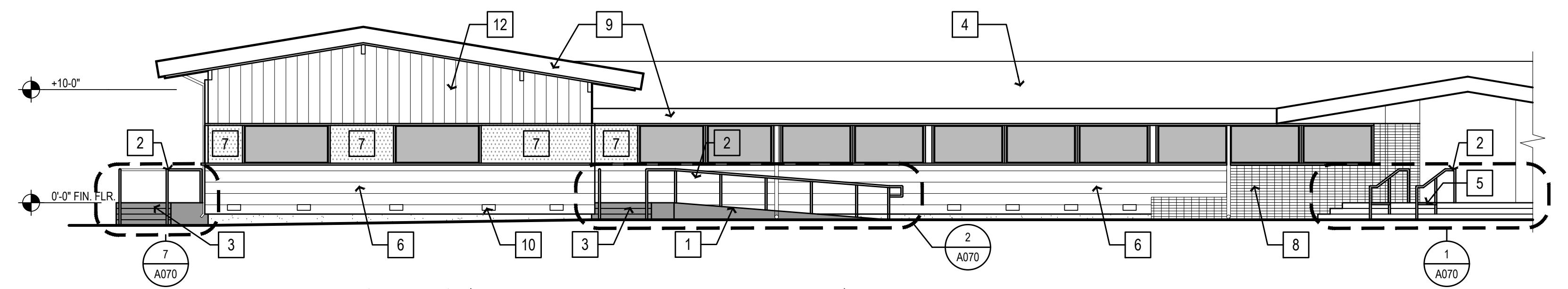
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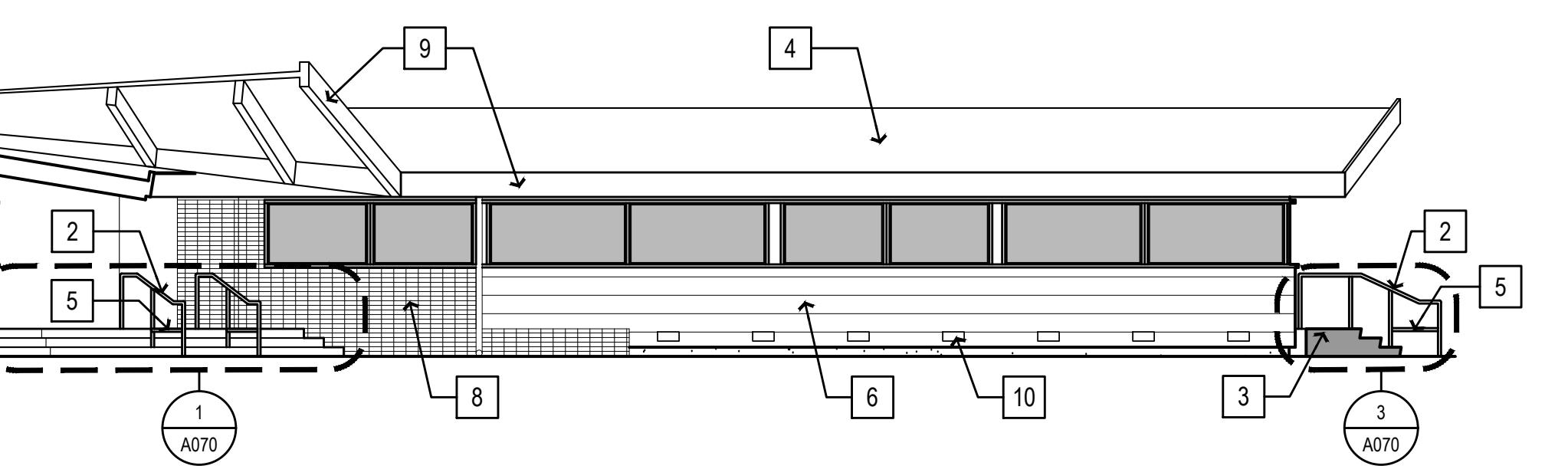
1 NORTH ELEV. 'A'  
SCALE: 1/8" = 1'-0"



2 SOUTH ELEV. 'B'  
SCALE: 1/8" = 1'-0"

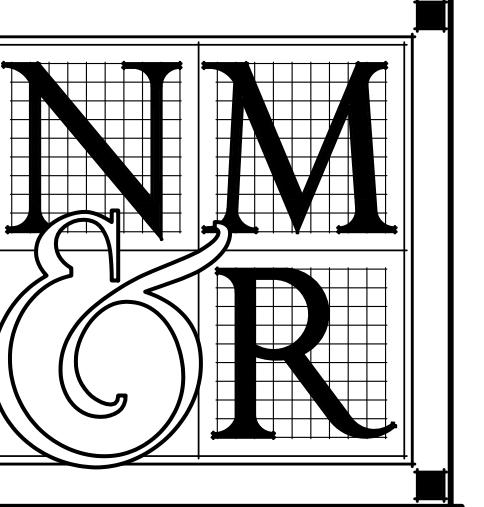


3 EAST ELEV. 'C'  
SCALE: 1/8" = 1'-0"



4 S.E. ELEV. 'D'  
SCALE: 1/8" = 1'-0"

GENERAL NOTES	KEY NOTES	LEGEND	KEY PLAN
<p>1. ALL EXTERIOR SURFACES TO BE PAINTED WITH SEMI-GLOSS PAINT AFTER SCRAPPING, FILLING, POWER-WASHING, AND OTHER REQUIRED PREP WORK.</p> <p>2. ALL (E) FASCIA ARE TO BE REMOVED AND REPLACED - SEE REFERENCED DETAIL. NOTES INDICATING LOCATIONS ARE TYPICAL FOR ALL FASCIAS.</p>	<p>1 (N) ACCESSIBLE CONCRETE RAMP - SEE DTL. 8/A061</p> <p>2 (N) 3' HIGH HANDRAILS, TYP - FOR STAIRS SEE DTL. 2/A061; FOR RAMPS SEE 8/A061.</p> <p>3 (N) CONCRETE STAIRS - SEE DTL. 3/A061</p> <p>4 (N) ROOF - SEE A240</p> <p>5 CANE DETECTABLE CROSS BAR AT MIDPOINT OF RAILING VERTICAL SUPPORT, MAX. DISTANCE ABOVE GROUND = 27"</p> <p>6 REMOVE (E) LAP SIDING BELOW WINDOW SILLS ALL ELEVATIONS; ALSO REMOVE BUILDING PAPER, PLYWOOD AND INSULATION (IF ANY). INSTALL NEW R-19 UNFACED BATT INSULATION BETWEEN STUDS 1/2" PLYWOOD OVER STUDS. BUILDING PAPER OVER PLYWOOD, AND 12" WIDE, HORIZONTAL SMOOTH CEMENT BOARD LAP SIDING EQUAL TO HARDIE PLANK; PAINT AS INDICATED.</p> <p>7 INSTALL SMOOTH HARDIE TRIM BATTENS (OR EQUAL) OVER EXISTING PANELING BETWEEN AND ABOVE WINDOWS AT 16" O.C. TIMED-OUT WITH (E) PANELING JOINTS; PAINT AS INDICATED.</p> <p>8 (E) BRICKS TO REMAIN</p> <p>9 (E) FASCIA TO BE REMOVED AND REPLACED - SEE DET. 4/A800</p>	<p>10 (N) VERMIN-RESISTANT, STAINLESS STEEL OR GALVANIZED VENT, GIBRALTAR BUILDING PRODUCTS 16-IN x 8-IN STEEL FOUNDATION VENT MODEL #SCV168-1/8 OR EQUAL.</p> <p>11 (E) SIDING TO REMAIN. NOTIFY CLIENT OR ARCHITECT IF SUBSTANTIAL DAMAGE OR ROT IS DISCOVERED. PAINT AS INDICATED.</p> <p>12 (E) SIDING TO BE REMOVED AND REPLACED BY NEW R-19 INSULATION TO 12" ABOVE INSULATED CEILING, 1/2" MIN. WALL SHEATHING, BLDG PAPER AND VERTICAL SIDING EQUAL TO SMOOTH HARDIE PANEL WITH SMOOTH HARDIE TRIM BATTENS AT 16" O.C.; PAINT AS INDICATED.</p> <p>13 SEE NOTE IN DET. 4/A800 REGARDING REPLACING ROTTEN EXPOSED RAFTER TAIL AT THIS LOCATION.</p>	<p>Building Outline</p> <p>Existing Window to remain.</p> <p>New Exterior Stair &amp; Railings - See Detail Referenced.</p>

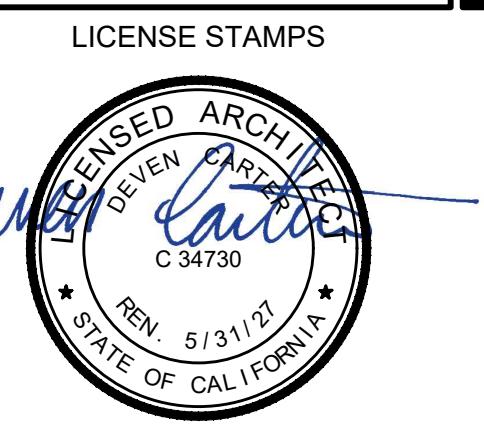


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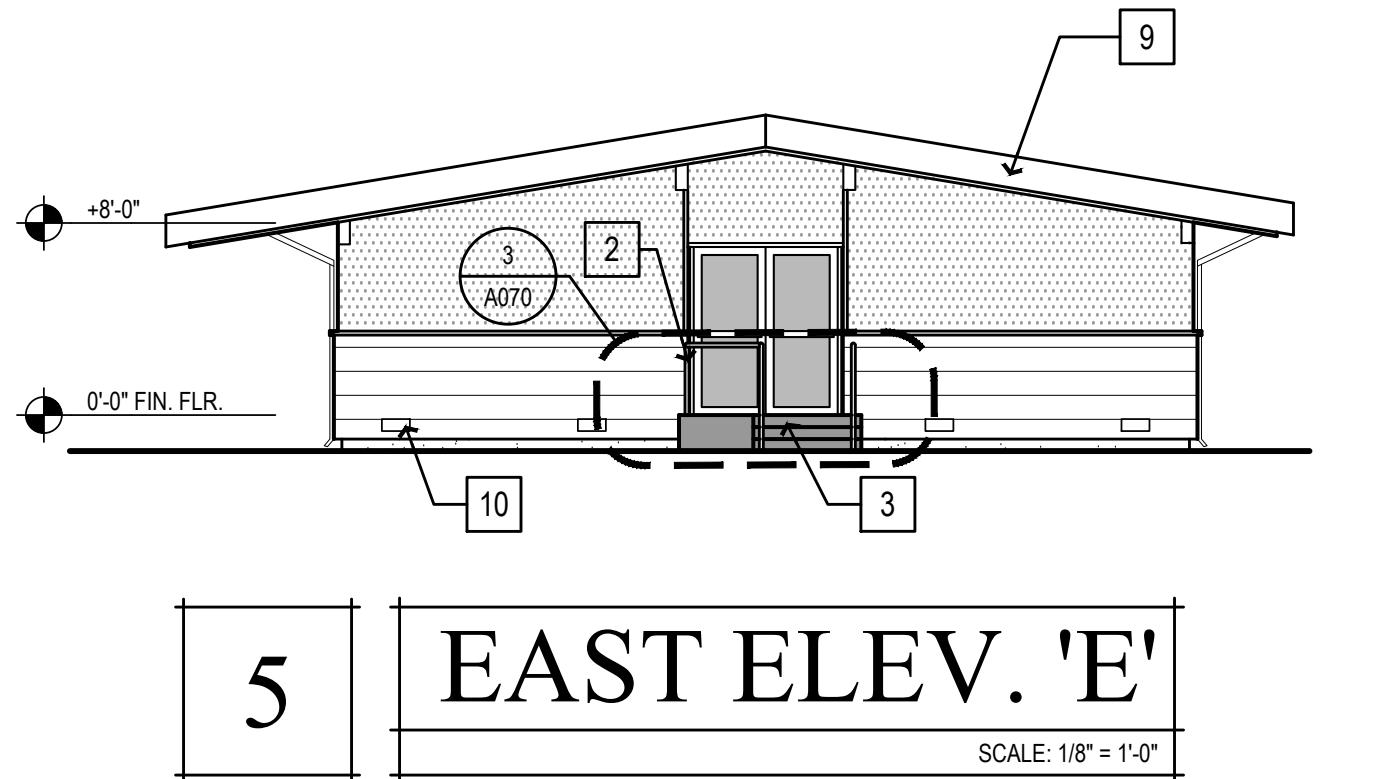
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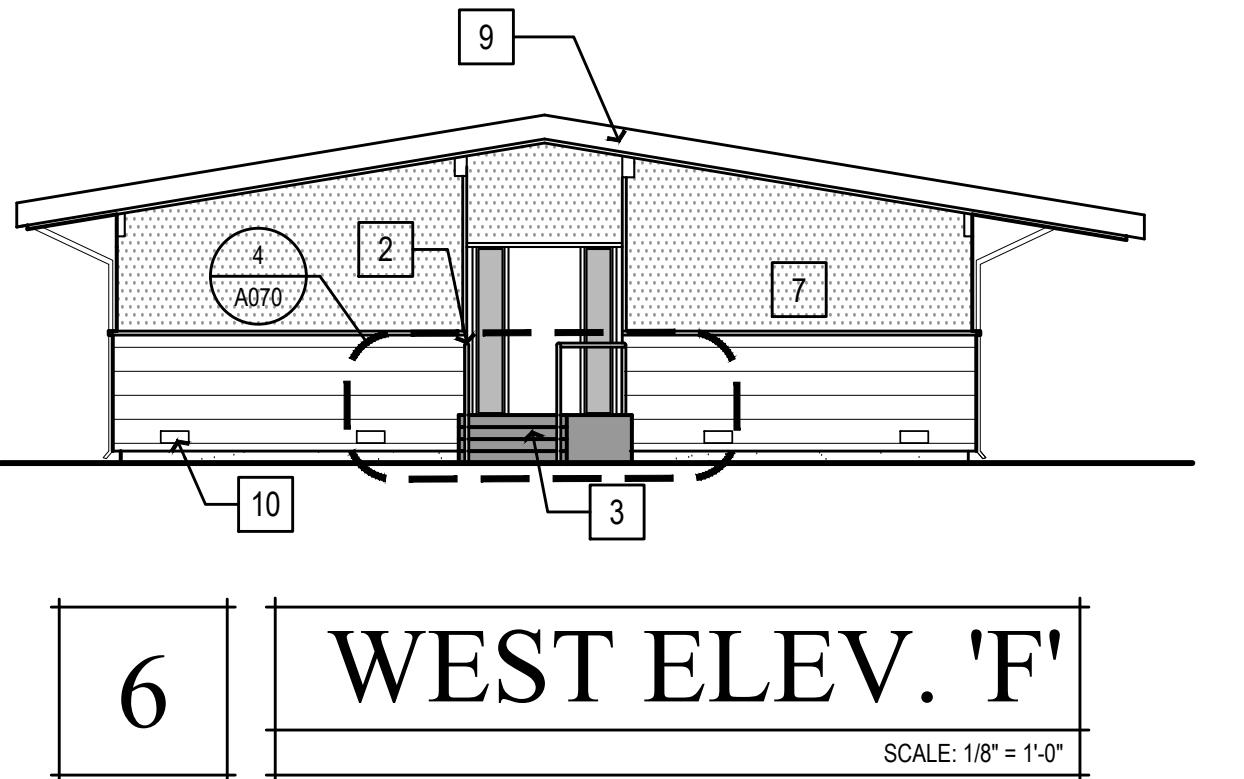
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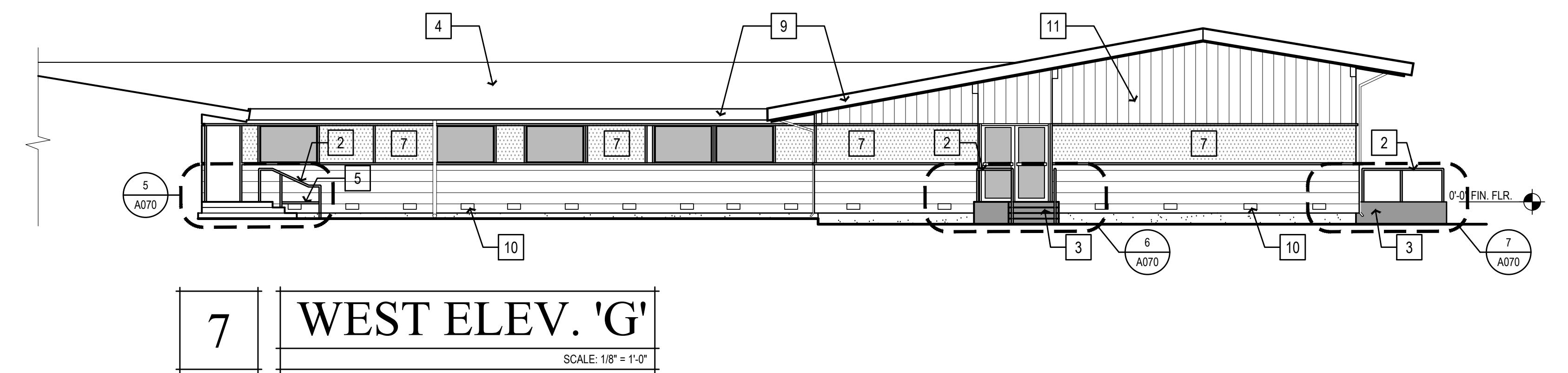
A301



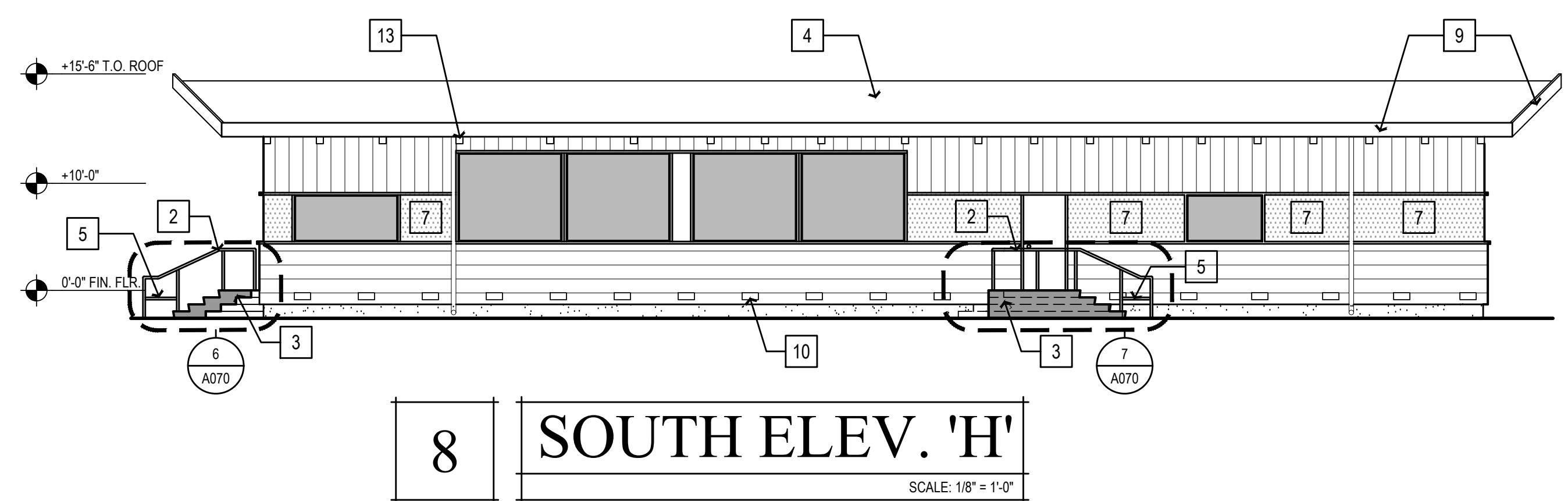
5 EAST ELEV. 'E'  
SCALE: 1/8" = 1'-0"



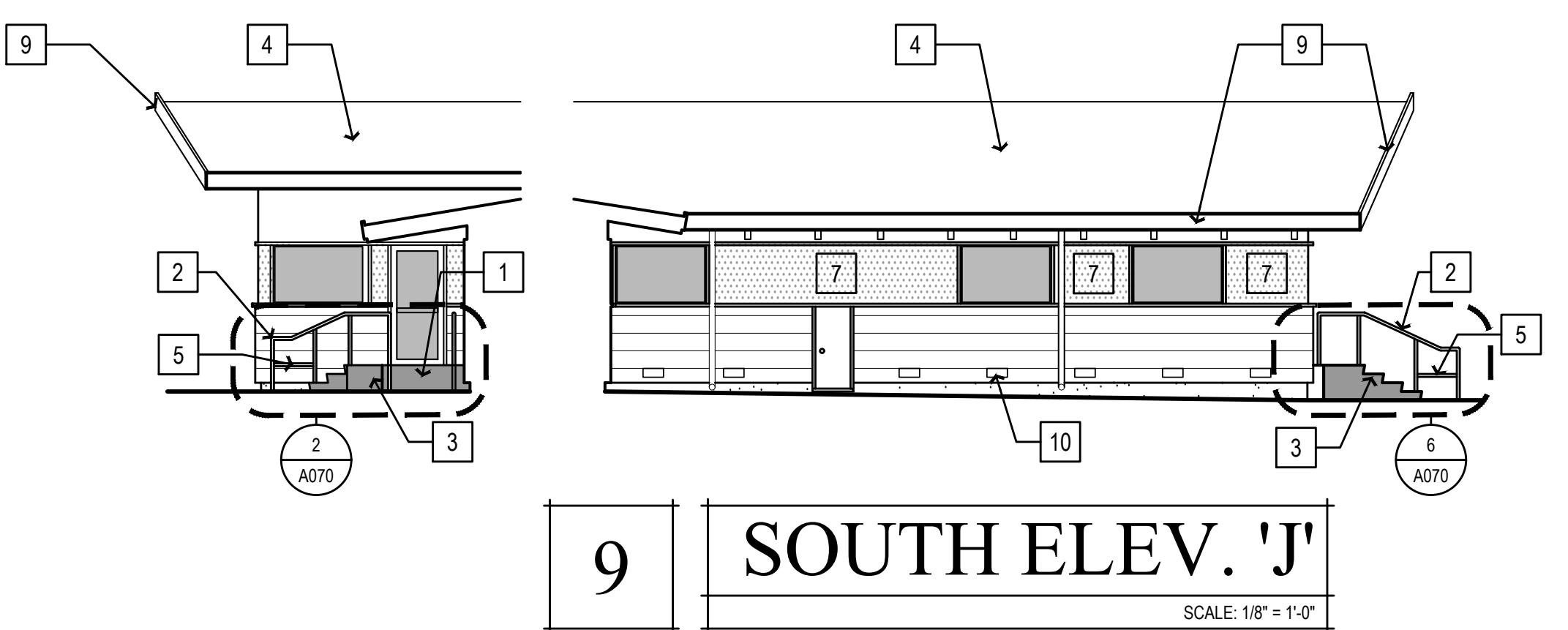
6 WEST ELEV. 'F'  
SCALE: 1/8" = 1'-0"



7 WEST ELEV. 'G'  
SCALE: 1/8" = 1'-0"

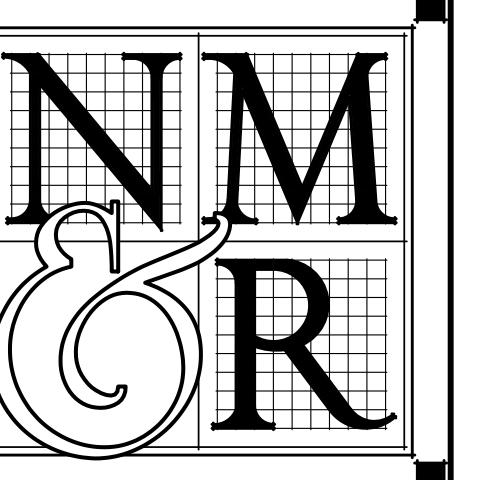


8 SOUTH ELEV. 'H'  
SCALE: 1/8" = 1'-0"



9 SOUTH ELEV. 'J'  
SCALE: 1/8" = 1'-0"

GENERAL NOTES	KEY NOTES	LEGEND	KEY PLAN
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ACCESSIBILITY  
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FOR  
HUMBOLDT CO  
AGRICULTURE  
BUILDING

5830 S. BROADWAY  
EUREKA, CA

SHEET TITLE  
FINISH, PLUMBING  
ACCESSORIES & LIGHT  
FIXTURES SCHEDULE

DRAWING STATUS  
CONSTRUCTION  
DOCUMENTS  
BUILDING DEPT SUBMITTAL

REVISIONS  
Sym. Description By Date

Drawn By

KAJ

Checked By

.

Date Drawn

2025-11-24

Scale

N/A

Job No.

17-6430

SHEET No.

A700

## FINISH SCHEDULE LEGEND

FLOOR TILE			PAINT OR STAIN		
FT-1	MANUFACTURER CROSSVILLE INC.	STYLE JAVA JOINT	PT-1	MANUFACTURER DUNN EDWARDS	FINISH METAL FRINGE DET626
SIZE 2" X 2"	SIZE 2" X 2"	FINISH SEMI GLOSS	LOCATION WALLS, CEILING,	LOCATION WALLS, CEILING,	AND DOOR FRAMES
FINISH UPS - SLIP RESISTANT	FINISH UPS - SLIP RESISTANT	GROUT COLOR CUSTOM BUILDING PRODUCTS	PT-2	MANUFACTURER BEHR PREMIUM (HOME DEPOT)	GROUT COLOR #540 TRUFFLE
GROUT JOINT 1/8"	GROUT JOINT 1/8"	GROUT COLOR #540 TRUFFLE	STYLE CLEAR WOOD STAIN	FINISH TRANSPARENT WATERPROOFING	FINISH ACRYLIC
WALL TILE	WALL TILE	WALL TILE	BASE MATERIAL SCRAPTON PRODUCTS	COLOR HINY HIDERS	SIZE #500-N
WT-1	MANUFACTURER CROSSVILLE INC.	STYLE MOONSTRUCK	WT-2	MANUFACTURER BEHR PREMIUM (HOME DEPOT)	SIZE 12" X 24"
SIZE 12" X 24"	SIZE 12" X 24"	FINISH CUSTOM BUILDING PRODUCTS	STYLE COLOR WAVE SOLIDS	FINISH HDPE PLASTIC WITH HOMOGENOUS COLOR	FINISH THROUGHOUT
GROUT JOINT 1/8"	GROUT JOINT 1/8"	GROUT COLOR #541 WALNUT	COLOR NICKEL	TEXTURE HAMMERED	GROUT COLOR #541 WALNUT
GROUT COLOR #541 WALNUT	GROUT COLOR #541 WALNUT	GROUT COLOR #541 WALNUT	RESILIENT FLOORING (VCT)	RESILIENT FLOORING (VCT)	RESILIENT FLOORING (VCT)
SEE INTERIOR ELEVATIONS FOR WAINSCOT HEIGHT	SEE INTERIOR ELEVATIONS FOR WAINSCOT HEIGHT	SEE INTERIOR ELEVATIONS FOR WAINSCOT HEIGHT	LVP-1	LINEAR VINYL PLANK MANNINGTON OR EQUAL	MANUFACTURER MANNINGTON OR EQUAL
TILE TRIM	TILE TRIM	TILE TRIM	STYLE GLUE DOWN	THICKNESS 2 MM	LOCATION OUTSIDE CORNERS
TT-1	MANUFACTURER SCHULTER	STYLE JOLLY A100AT	WEAR LAYER 12 MIL	COLOR TBD	LOCATION SATIN NICKEL
SIZE 6" X 48"	SIZE 6" X 48"	SIZE 6" X 48"	SIZE 6" X 48"	SIZE 6" X 48"	LOCATION OUTSIDE CORNERS
TT-2	MANUFACTURER SCHULTER	STYLE AHK15100AT	WEAR LAYER 12 MIL	COLOR TBD	LOCATION SATIN NICKEL
SIZE 6" X 48"	SIZE 6" X 48"	SIZE 6" X 48"	SIZE 6" X 48"	SIZE 6" X 48"	LOCATION FLOOR/WALL INTERSECTION
ALL TT TO INCLUDE JOINT AND END FITTINGS AS REQUIRED	ALL TT TO INCLUDE JOINT AND END FITTINGS AS REQUIRED	ALL TT TO INCLUDE JOINT AND END FITTINGS AS REQUIRED	RUBBER BASE	RUBBER BASE	RUBBER BASE
WATERPROOFING MEMBRANE UNDER ALL TILE	WATERPROOFING MEMBRANE UNDER ALL TILE	WATERPROOFING MEMBRANE UNDER ALL TILE	WPM-1	MANUFACTURER REDGARD	MANUFACTURER REDGARD
LOCATION	LOCATION	LOCATION	INSTALLATION	INSTALLATION	INSTALLATION
APPLY TWO COATS ON CLEAN, DRY SURFACES	APPLY TWO COATS ON CLEAN, DRY SURFACES	APPLY TWO COATS ON CLEAN, DRY SURFACES	AT TILE FLOORS AND UNDER WALL TILE	AT TILE FLOORS AND UNDER WALL TILE	AT TILE FLOORS AND UNDER WALL TILE

## FINISHES GENERAL NOTES

- A. EXISTING CLG. HTS., IF INDICATED IN THESE DRAWINGS, ARE APPROXIMATE AND MAY VARY SLIGHTLY WITH ACTUAL FIELD CONDITIONS.
- B. ALL INTERIOR WALL & CLG. FINISHES SHALL COMPLY WITH CBC TABLE 803.9 AND SECTION 803 (FLAME SPREAD RATINGS). PROVIDE A CLASS B, (26-75 FLAME SPREAD RATING) AT ROOMS OR AREAS AND A CLASS A (0-25 FLAME SPREAD RATING) AT ALL EXITWAYS. FINISHES SHALL ALSO COMPLY WITH CBC SECTION 1224.4.11 AND TABLE 1224.1.
- C. SEE INTERIOR ELEVATIONS, SECTIONS & REFLECTED CEILING FOR ADDITIONAL INFORMATION.
- D. ALL ROOM FINISHES DESIGNATED AS EXISTING THAT ARE AFFECTED BY CONSTRUCTION SHALL BE PATCHED TO MATCH ADJACENT FINISHES SO THAT THERE WILL BE NO DISCERNABLE DIFFERENCES BETWEEN NEW AND EXISTING SURFACES.
- E. ACOUSTICAL TILE, CARPETING & VINYL WALL FABRIC SAMPLES MUST BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION. CARPET SAMPLES MUST BE ACCOMPANIED BY A REPORT FROM A TESTING LABORATORY CERTIFYING A FLAME-SPREAD RATING OF 75 OR LESS AS PER ASTM-84-68. ALSO ACCEPTABLE IS NBIR 78-1436 CERTIFYING A MINIMUM RATING OF 0.45 WATTS PER SQ. CENTIMETER FOR UNSPRINKLERED BUILDINGS AND 0.22 WATTS PER SQ. CENTIMETER FOR SPRINKLERED BUILDINGS.
- F. ALL INTERIOR FINISHES SHALL COMPLY WITH C.B.C. SECTION 804.
- G. WOOD GRAIN PLASTIC LAMINATES SHALL BE ORIENTED WITH THE GRAIN VERTICALLY (INCLUDING DRAWERS, FILLER PANELS AND SLOPED TOPS) SUCH THAT THE 'GRAIN' MATCHES AND ALIGNS VERTICALLY FROM DRAWER TO DRAWER, FROM DOOR TO DRAWER, AND DOOR TO SLOPED/FILLER TOPS AS OCCURS.
- J. ALL MECHANICAL GRILLS SHALL BE PAINTED TO MATCH ADJACENT WALL COLOR.

## RESTROOM ACCESSORIES SCHEDULE

TAG	ITEM NUMBER	FIXTURE DESCRIPTION	MFR.	MODEL #	RESPONSIBILITY TO PROVIDE		RESPONSIBILITY TO INSTALL	
					OWNER	CONTRACTOR	OWNER	CONTRACTOR
A	PAPER TOWEL DISPENSER	(E)	(E)	● ○	● ○	● ○	● ○	● ○
B	SOAP DISPENSER	(E)	(E)	● ○	● ○	● ○	● ○	● ○
C	TOILET PAPER DISPENSER	(E)	(E)	● ○	● ○	● ○	● ○	● ○
D	NAPKIN DISPOSAL	(E)	(E)	● ○	● ○	● ○	● ○	● ○
E	TOILET SEAT COVER DISPENSER	(E)	(E)	● ○	● ○	● ○	● ○	● ○
F	MIRROR - 24" W X 36" H	BOBRICK #B-290-2436	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●
F	FRAMED MIRROR - 60" W X 36" H	T.B.D. LOCAL SUPPLIER	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●
G	PIPING PROTECTION PACKAGE	TRUBRO LAVGUARD 2 OR EQUAL	● ○	● ○	● ○	● ○	● ○	● ○
H	BABY CHANGING STATION	KOALA #KB110-SSWM OR EQUAL	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●
I	SIDE GRAB BAR	(E)	(E)	● ○	● ○	● ○	● ○	● ○
K	REAR GRAB BAR	(E)	(E)	● ○	● ○	● ○	● ○	● ○
L	TOILET PARTITIONS	SCRANTON PRODUCTS HINY HIDERS FLUSH STYLE	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●
M	HAND SANITIZER DISPENSER	(E)	(E)	● ○	● ○	● ○	● ○	● ○
N	TILE FINISH STRIP	SCHLUTER JOLLY #A100AT, 1/8"	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●
P	TILE COVED BASE STRIP	SCHLUTER DILEX-AHK1S100AT, 1/8"	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●
R	PROTRUDING OBJECT GUARDRAIL	T.B.D. LOCAL SUPPLIER	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●	○ ● ○ ●

## ROOM FINISH SCHEDULE

NO.	ROOM NAME	MATERIAL	FLOOR		WALLS			CEILING FINISH	DOOR FRAME	WOOD DOOR	ROOM FINISH REMARKS
			BASE	WALL	NORTH	EAST	SOUTH				
111	MEN'S RESTROOM	FT-1	TT-2	WT-2/P-1	WT-1/P-1	WT-1/P-1	WT-1/P-1	P-1	P-1	ETR	1,2,3,4,6,8
115	WOMEN'S RESTROOM	FT-1	TT-2	WT-1/P-1	WT-1/P-1	WT-2/P-1	WT-1/P-1	P-1	P-1	ETR	1,2,3,4,6,8
139	MEN'S RESTROOM	FT-1	TT-2	WT-1/P-1	WT-2/P-1	WT-1/P-1	WT-1/P-1	P-1	P-1	ETR	1,2,3,4,6,8
141	WOMEN'S RESTROOM	FT-1	TT-2	WT-1/P-1	WT-1/P-1	WT-1/P-1	WT-2/P-1	P-1	P-1	ETR	1,2,3,4,6,8
145	MEETING	ETR	ETR	NO PAINT	ETR	1,2,6 OR 7					
149	ACCESSIBLE TOILET	FT-1	TT-2	WT-1/P-1	WT-2/P-1	WT-1/P-1	WT-1/P-1	P-1	P-1	NEW	1,2,3,4,6,8
MULTIPLE	CORRIDORS (ALL)	LVP-1	R8-1	NO PAINT	ETR OR NEW	1,2,6 OR 7					
MULTIPLE	ROOMS (ALL, EXCLUDING RESTROOMS)	LVP-1	RB-1	SEE A200	ETR	1,2,6 OR 7					

## ROOM FINISH REMARKS

1. REMOVE (E) VCT TILE; PREP FOR INSTALLATION OF NEW TILE.
2. REMOVE (E) LATH AND PLASTER AT WALLS AND CEILINGS.
3. INSTALL 5/8" MOISTURE RESISTANT TYPE-X GYP BOARD AT ALL CEILINGS AND WALLS. SHIM EXISTING WALLS PRIOR TO INSTALLATION OF GYP BOARD. INSTALL 20 GA X 7/8" HAT CHANNEL AT 16" O.C. TO SUPPORT GYP BOARD.
4. REMOVING EXISTING WALL TILE, VCT FLOORING AND RUBBER BASE, PREPARE FLOOR FOR FINISHES. PRIOR TO INSTALLATION OF FLOOR AND WALL TILE, APPLY TWO COATS OF WPM-1 ON CLEAN, DRY SURFACES ACCORDING TO MANUFACTURER'S REQUIREMENTS.
5. PRIVACY LATCH ON DOOR, INCREASE DOOR OPENING FOR NEW DOOR AND FRAME.
6. REMOVE (E) WALL TILE.
7. REMOVE (E) WALL BASE; FILL HOLES, PREP FOR INSTALLATION OF NEW.
8. ONLY PAINT NON-WOOD (E) OR (N) WALLS; (E) WOOD WALLS, COLUMNS, CEILINGS, BEAMS, ETC. TO REMAIN AS IS.

## MISC. ACCESSIBILITY NOTES

## FLOOR FINISHES

1. FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT AND SHALL COMPLY WITH SECTION 11B-302.
2. EXPOSED EDGES MUST HAVE TRIM ON THE ENTIRE LENGTH OF THE EXPOSED EDGE AND BE FASTENED TO THE FLOOR TO PREVENT CURLING. TRIM MUST MEET SPECIFICATIONS FOR CHANGES IN LEVEL, INCLUDING REQUIREMENTS FOR BEVELED EDGES WHEN THE HEIGHT EXCEEDS 1/4". THE MAXIMUM HEIGHT IS 1/2".
3. OPENINGS IN GROUND AND FLOOR SURFACES, SUCH AS GRATES, ARE LIMITED IN WIDTH TO PREVENT PASSAGE OF A 1/2" DIAMETER SPHERE. WHEELCHAIR CASTERS CAN GET WEDGED INTO WIDER OPENINGS.
- 4





