

HUMBOLDT COUNTY DEPARTMENT OF PUBLIC WORKS
ROAD EVALUATION REPORT

PART A: Part A may be completed by the applicant

Applicant Name: The Hills, LLC APN: 223-061-003, 223-061-039, 223-061-046

Planning & Building Department Case/File No.: 11642

Road Name: Alderpoint Road (complete a separate form for each road)

From Road (Cross street): Alderpoint Road

To Road (Cross street): Wallan Road

Length of road segment: .7 miles Date Inspected: 5/17/17

Road is maintained by: County Other _____
(State, Forest Service, National Park, State Park, BLM, Private, Tribal, etc)

Check one of the following:

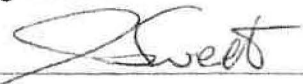
Box 1 The entire road segment is developed to Category 4 road standards (20 feet wide) or better. If checked, then the road is adequate for the proposed use without further review by the applicant.

Box 2 The entire road segment is developed to the equivalent of a road category 4 standard. If checked, then the road is adequate for the proposed use without further review by the applicant.

An equivalent road category 4 standard is defined as a roadway that is generally 20 feet in width, but has pinch points which narrow the road. Pinch points include, but are not limited to, one-lane bridges, trees, large rock outcroppings, culverts, etc. Pinch points must provide visibility where a driver can see oncoming vehicles through the pinch point which allows the oncoming vehicle to stop and wait in a 20 foot wide section of the road for the other vehicle to pass.

Box 3 The entire road segment is not developed to the equivalent of road category 4 or better. The road may or may not be able to accommodate the proposed use and further evaluation is necessary. Part B is to be completed by a Civil Engineer licensed by the State of California.

The statements in PART A are true and correct and have been made by me after personally inspecting and measuring the road.


Signature

5/17/17
Date

JOSHUA SWEET
Name Printed

Important: Read the instructions before using this form. If you have questions, please call the Dept. of Public Works Land Use Division at 707.445.7205.

HUMBOLDT COUNTY DEPARTMENT OF PUBLIC WORKS
ROAD EVALUATION REPORT

PART A: Part A may be completed by the applicant

Applicant Name: The Hills, LLC APN: 223-061-003, 223-061-039, 223-061-046

Planning & Building Department Case/File No.: 11642

Road Name: Wallan Road (complete a separate form for each road)

From Road (Cross street): Wallan Road

To Road (Cross street): Clark Road

Length of road segment: .5 miles Date Inspected: 5/17/17

Road is maintained by: County Other Private
(State, Forest Service, National Park, State Park, BLM, Private, Tribal, etc)

Check one of the following:

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The statements in PART A are true and correct and have been made by me after personally inspecting and measuring the road.

Signature

Joshua Sweet

Date

5/17/17

Name Printed

JOSHUA SWEET

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HUMBOLDT COUNTY DEPARTMENT OF PUBLIC WORKS
ROAD EVALUATION REPORT

PART A: Part A may be completed by the applicant

Applicant Name: The Hills, LLC APN: 223-061-043

Planning & Building Department Case/File No.: 11638

Road Name: Alderpoint Road (complete a separate form for each road)

From Road (Cross street): Alderpoint Road

To Road (Cross street): Wallan Road

Length of road segment: .7 miles Date Inspected: 5/17/17

Road is maintained by: County Other _____
(State, Forest Service, National Park, State Park, BLM, Private, Tribal, etc)

Check one of the following:

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The statements in PART A are true and correct and have been made by me after personally inspecting and measuring the road.

Joshua Sweet
Signature

5/17/17
Date

JOSHUA SWEET
Name Printed

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HUMBOLDT COUNTY DEPARTMENT OF PUBLIC WORKS
ROAD EVALUATION REPORT

PART A: Part A may be completed by the applicant

Applicant Name: The Hills, LLC APN: 223-061-043

Planning & Building Department Case/File No.: 11638

Road Name: Wallan Road (complete a separate form for each road)

From Road (Cross street): Wallan Road

To Road (Cross street): Clark Road

Length of road segment: .5 miles Date Inspected: 5/17/17

Road is maintained by: County Other Private
(State, Forest Service, National Park, State Park, BLM, Private, Tribal, etc)

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The statements in PART A are true and correct and have been made by me after personally inspecting and measuring the road.

Signature Joshua Sweet

Date 5/17/17

Name Printed JOSHUA SWEET

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HUMBOLDT COUNTY DEPARTMENT OF PUBLIC WORKS
ROAD EVALUATION REPORT

PART A: Part A may be completed by the applicant

Applicant Name: The Hills, LLC APN: 223-061-043

Planning & Building Department Case/File No.: 11638

Road Name: Clark Road (complete a separate form for each road)

From Road (Cross street): Clark Road

To Road (Cross street): Private Drive

Length of road segment: .15 miles Date Inspected: 5/17/17

Road is maintained by: County Other Private
(State, Forest Service, National Park, State Park, BLM, Private, Tribal, etc)

Check one of the following:

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The statements in PART A are true and correct and have been made by me after personally inspecting and measuring the road.

Signature *John Sweet*

Date 5/17/17

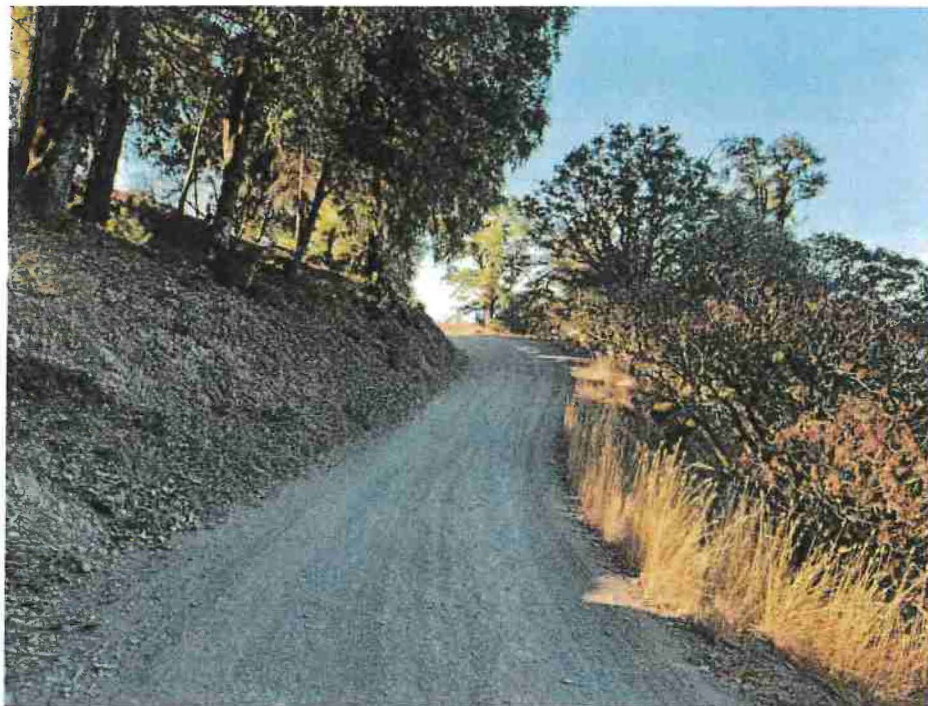
Name Printed JOHN SWEET

Important: Read the instructions before using this form. If you have questions, please call the Dept. of Public Works Land Use Division at 707.445.7205.



Road System Assessment

Shadow Light Ranch
APN 223-061-043, 223-061-038, 223-073-005, 223-073-004
Garberville, CA 95542
10.09.2020



Prepared By:

Rinehart Engineering
Bret Rinehart, PE
559 Howard Heights Rd
Eureka, CA 95503
707-498-3414
rinehartengineering@gmail.com



Overview

The purpose of this road assessment report is to summarize current road conditions within the grounds of Shadow Light Ranch and identify corrective measures needed to maintain compliance with the Humboldt County road systems performance standards as well as the General Order requirements of the State Water Resources Control Board Division of Water Quality (Water Board). All road segments were evaluated for their drainage features as well as their capacity to support traffic related to cultivation activities. Best management practices and standard designs presented in Appendix B of the Five Counties *'Water Quality and Stream Habitat Protection Manual for County Road Maintenance in Northwestern California Watersheds'* (Five Counties Road Manual) shall be maintained to appropriately handle runoff and increase longevity of service.

This road assessment is limited to the road network within Humboldt County Parcels 223-061-043, 223-061-038, 223-073-005, and 223-073-004 that collectively make up Shadow Light Ranch. The road network was evaluated only for road system performance standards pertaining to road surface, road drainage features, and stability. All culverts shown have been addressed in CDFW LSA Agreement Notification No. 1600-2018-0857-R1 and were not evaluated in detail during the site inspection. Attachment A consists of sheet C7A of the Remediation Site Plan for Shadow Light Ranch. Not all culverts listed on Attachment A were identified or shown in Figure 1. At the time of inspection on September 21, 2020, there were approximately 5 vehicles on site, and 3 ATV's, with employees using the ATV's entirely to get around the site.

Road Summary

Shadow Light Ranch is located approximately 2.8 miles from Garberville, CA. From Redwood Drive in Garberville, head north and turn east on Alderpoint Drive. Continue for approximately 0.7 miles and turn right on Wallan Road. Continue for approximately 1.2 miles and continue straight at Pidgeon Road, where Wallan Road becomes Clark Rd. Continue on Clark Road, cross the bridge and continue left up the hill for approximately 0.7 miles and turn right. Continue approximately 450 feet to the private gate at APN 223-073-005 to access Shadow Light Ranch.

For the purposes of this road assessment, the roads within the network are categorized as "roads" or "ATV trails." Shadow Light Ranch consists of approximately 2.42 miles of roads and approximately 1.97 miles of ATV trails. Roads are generally characterized as minimum 15 ft wide crowned and/or out sloped road, armored with native or imported gravel, and have 15% max slopes. ATV trails are characterized as primarily double track trails on native soils with an average width of 12 ft and grades that may exceed 15% for short segments. Appendix A consists of Sheet C7A of the Remediation Site Plan for Shadow Light Ranch, which is an overview of the road system and culverts on site. Not all crossings and roads shown on Appendix A were located during the site inspection. Figure 1 is an overview of the active roads within the ranch encountered during the site inspection. Much of the roads in Appendix A that are shown as abandoned in previous years were confirmed to be abandoned and undetectable at the time of inspection.

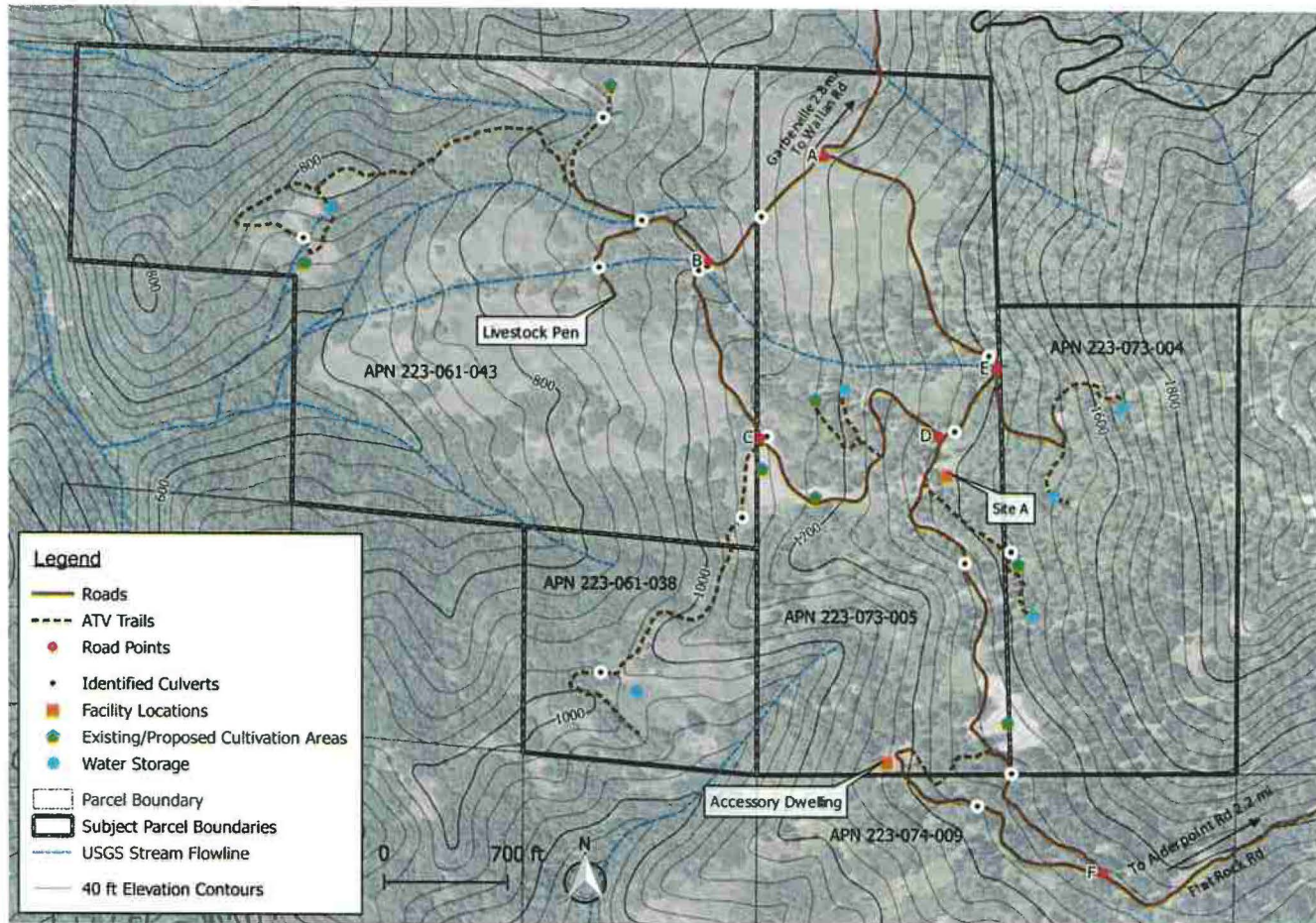


Figure 1: Shadow Light Ranch Road Overview

Main Loop

From the north entrance of APN 223-073-005, the road splits at Point A. The road loops in each direction to the primary parking area at the shop and future nursery location near road Point D (Site A). This loop is the primary road used to access the various spurs and ATV trails that access water storage and cultivation sites.

Road Points A-B-C-D

From Point A, the road descends to a junction at Point B. This segment is an average width of 15 ft, stable with adequate armoring, and several rolling dips for runoff. There is an inboard ditch toward the bottom of this segment that is discharged through a relief culvert. There are two culverts at Point B that convey seasonal drainages. From Point B, the road ascends to Point C. This segment has been more recently armored, has multiple turnouts, and adequate surface drainage features. From Point C, the road continues uphill to Point D with one steep pitch of 15%. This segment has also been more recently armored with adequate surface drainage features.

Road Points A-E-D

From Point A, the left fork ascends to Point E. This segment is armored and stable, with sufficient road surface drainage, and slopes below 15%. From the junction at Point E, the road descends slightly to the junction at Point D. This segment is armored and stable, with adequate drainage features that include rolling dips and a ditch relief culvert.

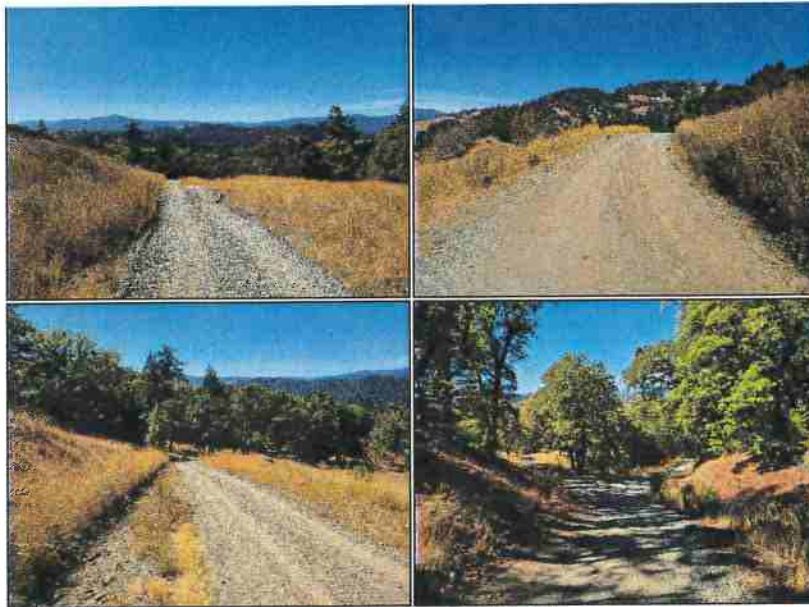


Figure 2: Road Segments from Points A-B

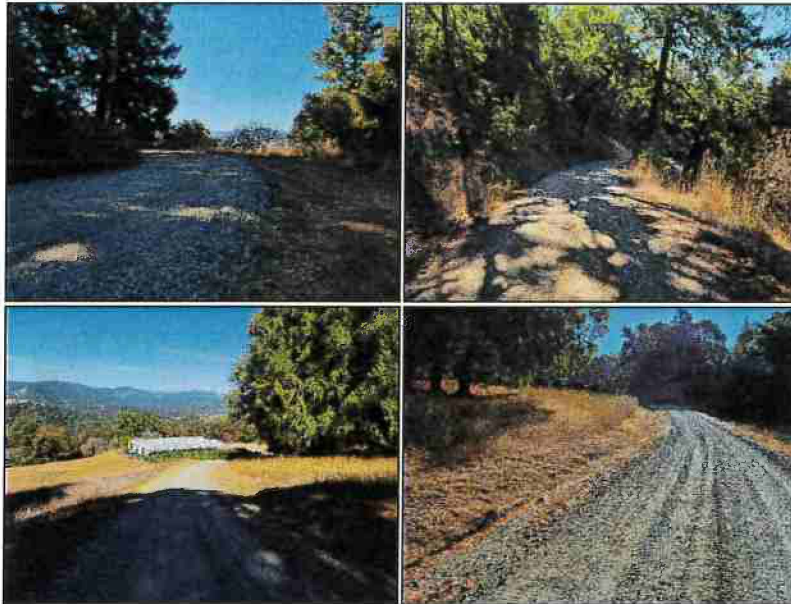


Figure 3: Road Segments from Point B-D

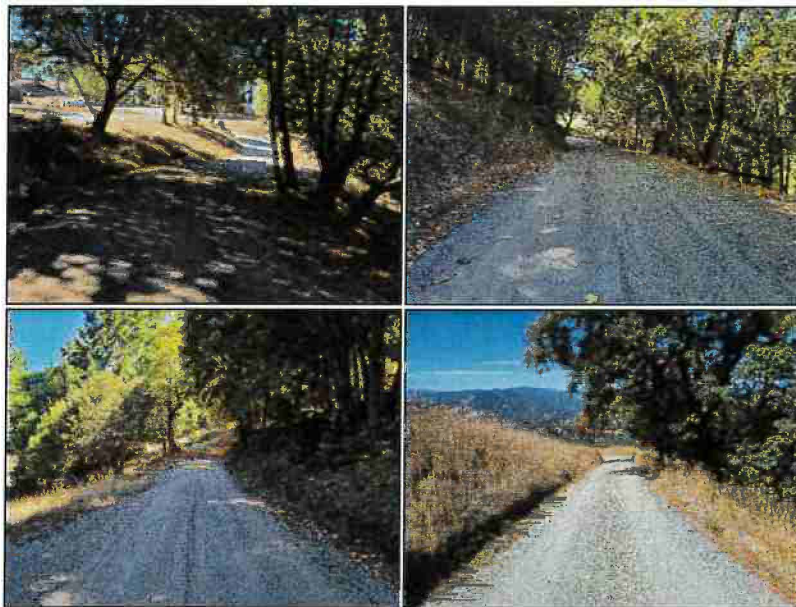


Figure 4: Road Segments from Point A-E-D

APN 223-061-043 Roads – West of Point B

West of Point B, the road travels downhill to a fork. The left fork continues for a short distance to a recently upgraded culvert, at which point the road armoring stops before the road terminates at the livestock pen. The right fork continues for a short distance before another fork, at which point the road armor stops and the road transitions to ATV trails. The right fork is a short segment that is minimally graded and undeveloped, which will lead to a future cultivation site. The left fork continues on an ATV trail along a ridge. This segment is narrow, slightly overgrown, and only able to accommodate an ATV. There is evidence of erosion along the ATV trail segment with some drainage features in need of maintenance. One steep pitch greater than 15% exists along this segment before topping out on the ridge, and descending down to the cultivation site. The surface of these trails are native soil with no added armoring.

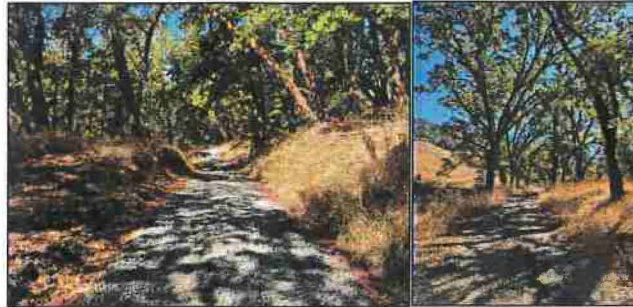


Figure 5: Road segment East of Point B prior to the two ATV trail forks

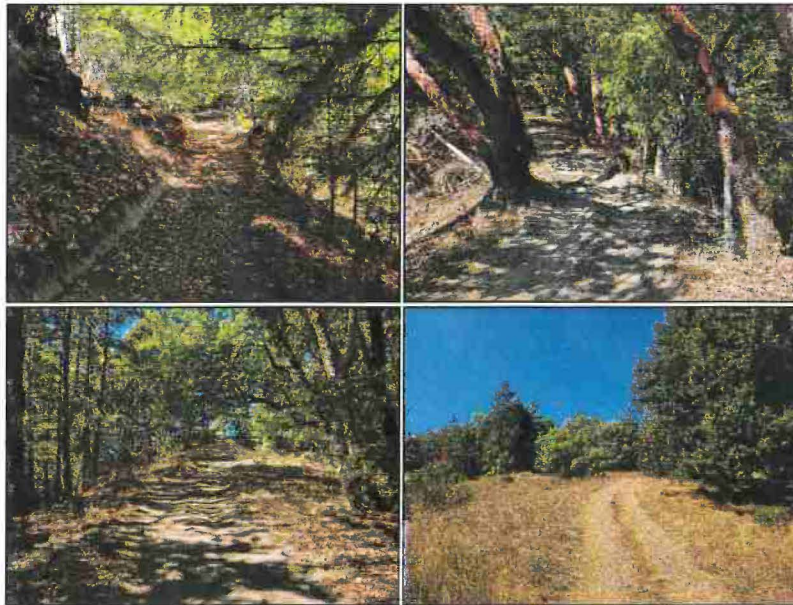


Figure 6: ATV trails west of Point B on APN 223-061-043

APN 223-061-038 Roads – South of Point C

From the cultivation site at Point C, an ATV trail heads south toward a water storage pond on APN 223-061-038. This double track trail is slightly overgrown and approximately 12 ft wide. Once at the landing above the pond, the double track trail climbs up to bypass a section of road that appears to have failed in the past. It continues to be narrow before descending back down to the pond embankment. Max slopes do not exceed 15%. There is evidence of erosion and rutting on the double track trail and the surface is native soil with no added armoring.



Figure 7: ATV Trail Leading to Pond from Point C

APN 223-073-005 and 004 Roads

ATV Trails between Points C and D

There are two short ATV trail segments off the main loop road between Points C and D that lead to a cultivation site and a water storage site. Both roads are unarmored and are wide enough for an ATV. There is evidence of rutting and erosion on both sections and slopes do not exceed 15%.

APN 223-073-004 Roads/Trails East of Point E

From the fork on the Main Loop at Point E, the left fork ascends for a short distance to a large flat used for water storage tanks. This segment has grades that do not exceed 15%, and appears to be recently armored with adequate surface drainage features. From the flat, a steep ATV trail leads up to a water tank as part of the water diversion works. This steep, narrow segment is loose and rutted with evidence of erosion. From the flat to the south, another ATV trail traverses to another water storage facility. This short segment is relatively flat and maintains a road width of approximately 12 ft. Both ATV trails are on native soil with minimal to no additional gravel armoring.

ATV Trail South East of Shop and Nursery Site

From Site A, an ATV trail heads south east up the hill to a cultivation site. This segment starts out wide up to a large turnout before narrowing to the width of an ATV along a rocky cut bank. The native rock armor is present until reaching a seasonal ford that is stabilized by tree roots. Beyond the ford, the trail narrows to double track and climbs up a short off camber, steep grade to water storage tanks which is silty native soil.



Figure 8: AT Trail East of Shop up to Cultivation Site

Main Road South of Point D to Southern Boundary of APN 223-073-005

From Site A, the main road traverses on contour to the cultivation site at the south end of APN 223-073-005. This segment is approximately 15 ft wide, relatively flat grades that do not exceed 10%, and armored with adequate surface drainage features. This road turns into Flat Rock road beyond the subject parcels and connects to Alderpoint Road approximately 2.2 miles away. Flat Rock Road is used as another primary point of entry to Shadow Light Ranch and is typically used for truck deliveries and employee access. The road is minimum 15 ft wide, armored with adequate road surface drainage, and grades that do not exceed 15%.

ATV Trail from Employee Housing

At the time of inspection, the accessory dwelling was accessed from the private fork of Flat Rock Road on the north end of APN 223-074-009 which is not part of Shadow Light Ranch. This segment traverses on contour with relatively flat grades. This section is minimally armored and with the relatively flat grades, and also has minimal road surface drainage features in place. From the employee housing, a steep, stable ATV trail that is partially armored and exceeds 15% momentarily, climbs up to the cultivation site at the south east corner of APN 223-073-005 joining back up with Flat Rock Road.

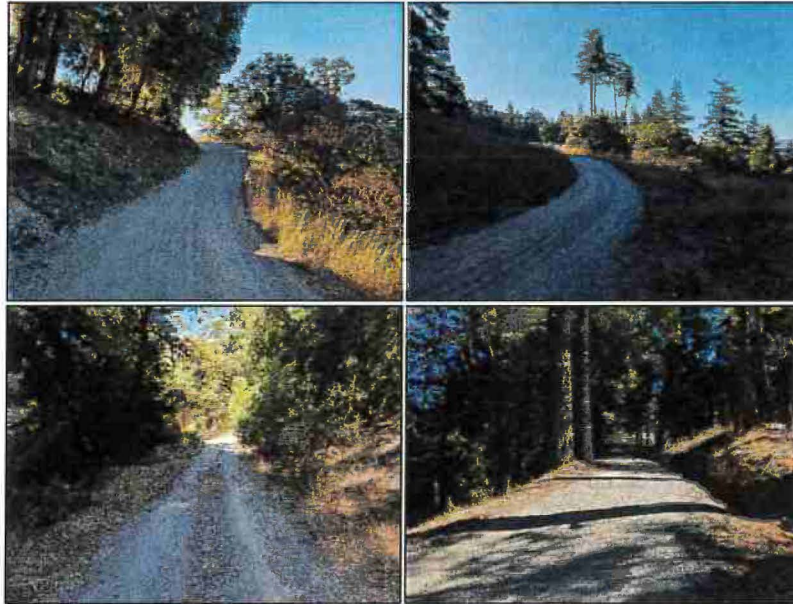


Figure 9: Main Road to Flat Rock Rd (top), Access Road and Quad Trail from Employee Housing (bottom)

Recommendations

In summary, the road network of Shadow Light Ranch is in good condition and meets all performance standards required by Humboldt County Code 314-55.4.12.1.8 and are constructed and maintained to the BMP's in the Five Counties Road Manual. Additional aggregate rock should be imported as required, and drainage features should be re-shaped or maintained to preserve established out sloped drainage patterns between Points A and B. Numerous turnouts exist throughout the ranch and shall be maintained for emergency access. All rolling dips should meet the standard designs of Appendix B-8.6 of the Five Counties Road Manual. All disturbed soils that occur as a result of subsequent work should be stabilized using the standards outlined in Appendix B-4 in the Five Counties Road Manual as applicable. Castings from recent grading exist along segments of roads throughout the ranch and shall be removed to allow for out sloped sheet flow. Much of the roads have already been armored and shall continue to be maintained.

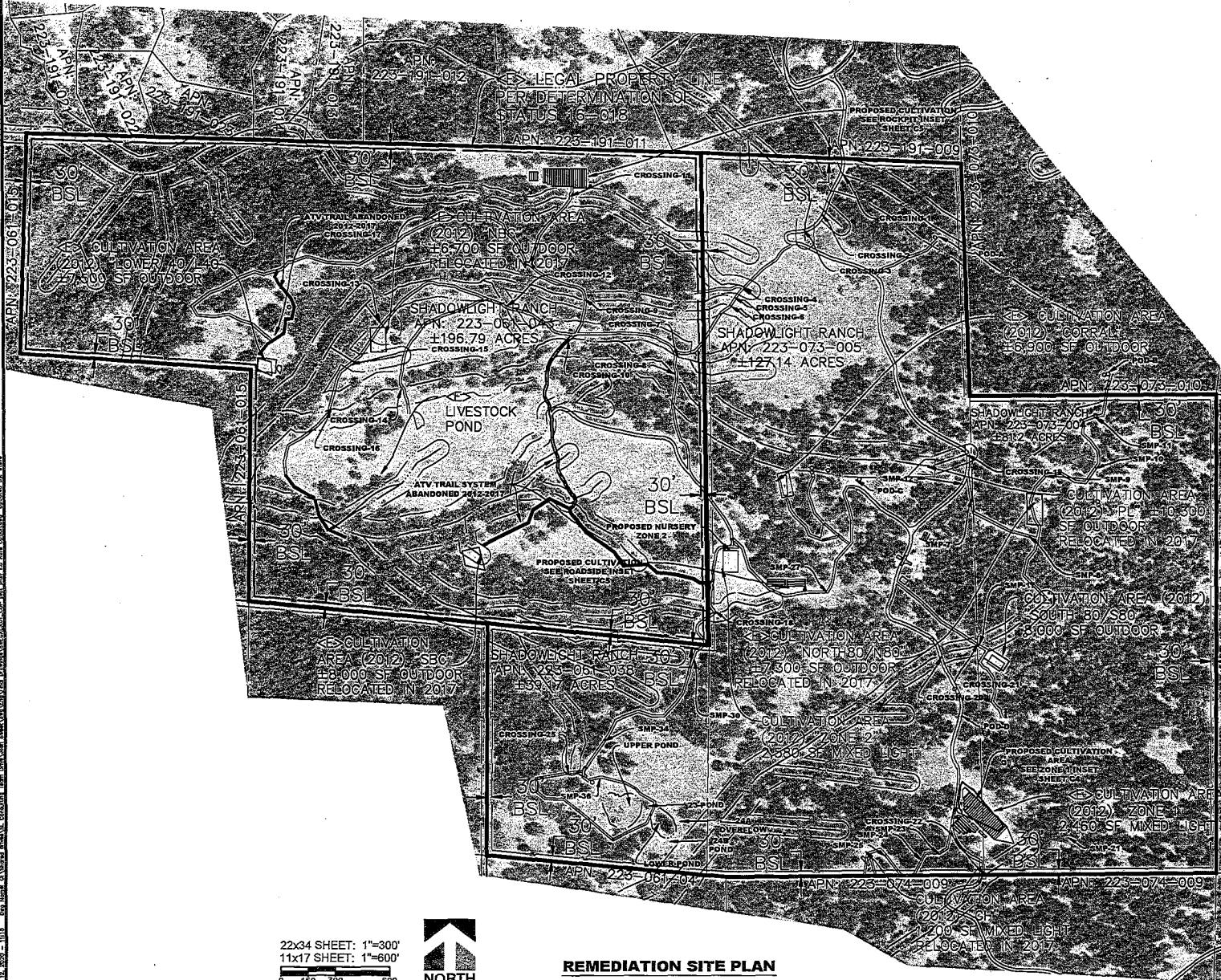
The ATV trails within the ranch are primarily unarmored double track, and have resulted loose, silty conditions on some segments throughout the ranch. These trails are subject to continued rutting and erosion and are in need of annual maintenance. Several sections have been overgrown or are aligned through tight trees and should be maintained and cut back as necessary. Maintenance of these trails shall include levelling ruts as appropriate and re-establishing surface runoff features at regular intervals along each trail. The ATV trails on the west end of APN 223-061-043 and the segments between Points C and D are in need of surface drainage upgrades by re-establishing the rolling dips and out sloping the trail in segments that are rutted as appropriate. Regrading of all ATV trails shall take place as feasible prior to dry summer soil conditions, and/or be abandoned following reconfiguration of the overall site layout.

ATTACHMENT A

SHEET C7A – SLR REMEDIATION SITE PLAN

THE HILLS, LLC

APN: 223-061-043 (LEGAL PARCEL 1) 223-061-038, 223-073-004, 005 (LEGAL PARCEL 2)



LSAA REMEDIATION POINTS	
CROSSING-1	PERMIT EXISTING 42" CULVERT
CROSSING-2	PERMIT ROCKED FORD CROSSING
CROSSING-3	PERMIT EXISTING 42" CULVERT
CROSSING-4	INSTALL A MINIMUM 18" DIAMETER CULVERT TO IMPROVE DIRT FORD AT ROAD/STREAM CROSSING
CROSSING-5	INSTALL A MINIMUM 18" DIAMETER CULVERT TO IMPROVE DIRT FORD AT ROAD/STREAM CROSSING
CROSSING-6	PERMIT EXISTING 24" DIAMETER CULVERT AT ROAD/STREAM CROSSING
CROSSING-7	PERMIT EXISTING 42" CULVERT AT ROAD/STREAM CROSSING
CROSSING-8	PERMIT EXISTING 48" DIAMETER CULVERT AT ROAD/STREAM CROSSING
CROSSING-9	ROCK ARMOR OUTLET ADF AN EXISTING 36" DIAMETER CULVERT
CROSSING-10	PERMIT EXISTING 60" CULVERT AT ROAD/STREAM CROSSING
CROSSING-11	INSTALL A MINIMUM 36" DIAMETER CULVERT AT ROAD/STREAM CROSSING
CROSSING-12	PERMIT EXISTING 18" CULVERT AT ROAD/STREAM CROSSING
CROSSING-13	INSTALL A MINIMUM 18" DIAMETER CULVERT TO IMPROVE DIRT FORD AT ROAD/STREAM CROSSING
CROSSING-14	PERMIT EXISTING 60" DIAMETER CULVERT AT ROAD/STREAM CROSSING
CROSSING-15	INSTALL A MINIMUM 18" DIAMETER CULVERT TO IMPROVE ROCKED FORD AT ROAD/STREAM CROSSING
CROSSING-16	PERMIT EXISTING 60" CULVERT AT ROAD/STREAM CROSSING
CROSSING-17	ABANDON EXISTING DIRT FORD CROSSING
CROSSING-18	PERMIT EXISTING 24" DIAMETER CULVERT AT ROAD/STREAM CROSSING
CROSSING-19	PERMIT EXISTING 12" DIAMETER CULVERT AT ROAD/BANK SEEP CROSSING
CROSSING-20	PERMIT EXISTING 30" DIAMETER CULVERT AT ROAD/STREAM CROSSING
CROSSING-21	INSTALL A MINIMUM 18" DIAMETER CULVERT TO IMPROVE DIRT FORD AT ROAD/STREAM CROSSING
CROSSING-22	REPLACE EXISTING 12" DIAMETER CULVERT WITH MINIMUM 18" DIAMETER CULVERT AT ROAD/STREAM CROSSING
23-POND SPILLWAY	REMOVE UNPERMITTED POND SPILLWAY AND REDIRECT FLOW TO APPROVED LOCATION PER APPROVED STREAM RESTORATION PLAN
24A-OVERFLOW	REMOVE UNPERMITTED POND SPILLWAY AND REDIRECT FLOW TO APPROVED LOCATION PER APPROVED STREAM RESTORATION PLAN
24B-POND SPILLWAY	REBUILD POND SPILLWAY PER APPROVED STREAM RESTORATION PLAN
CROSSING-25	INSTALL A MINIMUM 18" DIAMETER CULVERT TO IMPROVE DIRT FORD AT ROAD/STREAM CROSSING
MAP POINT D	REALIGN CLASS 3 STREAM PER APPROVED STREAM RESTORATION PLAN
POD A	REMOVE CISTERNS AND STRUCTURES FROM STREAM AND INSTALL AS NEEDED AN APPROVED WATER DIVERSION STRUCTURE PER APPROVED CDFW DIVERSION INFRASTRUCTURE PLAN
POD B	REMOVE CISTERNS AND STRUCTURES FROM STREAM AND INSTALL AS NEEDED AN APPROVED WATER DIVERSION STRUCTURE PER APPROVED CDFW DIVERSION INFRASTRUCTURE PLAN
POD C	WATER DIVERSION FROM A CLASS II STREAM PER APPROVED CDFW DIVERSION INFRASTRUCTURE PLAN
POD D	WATER DIVERSION FROM A BANK SEEP FOR DOMESTIC USE

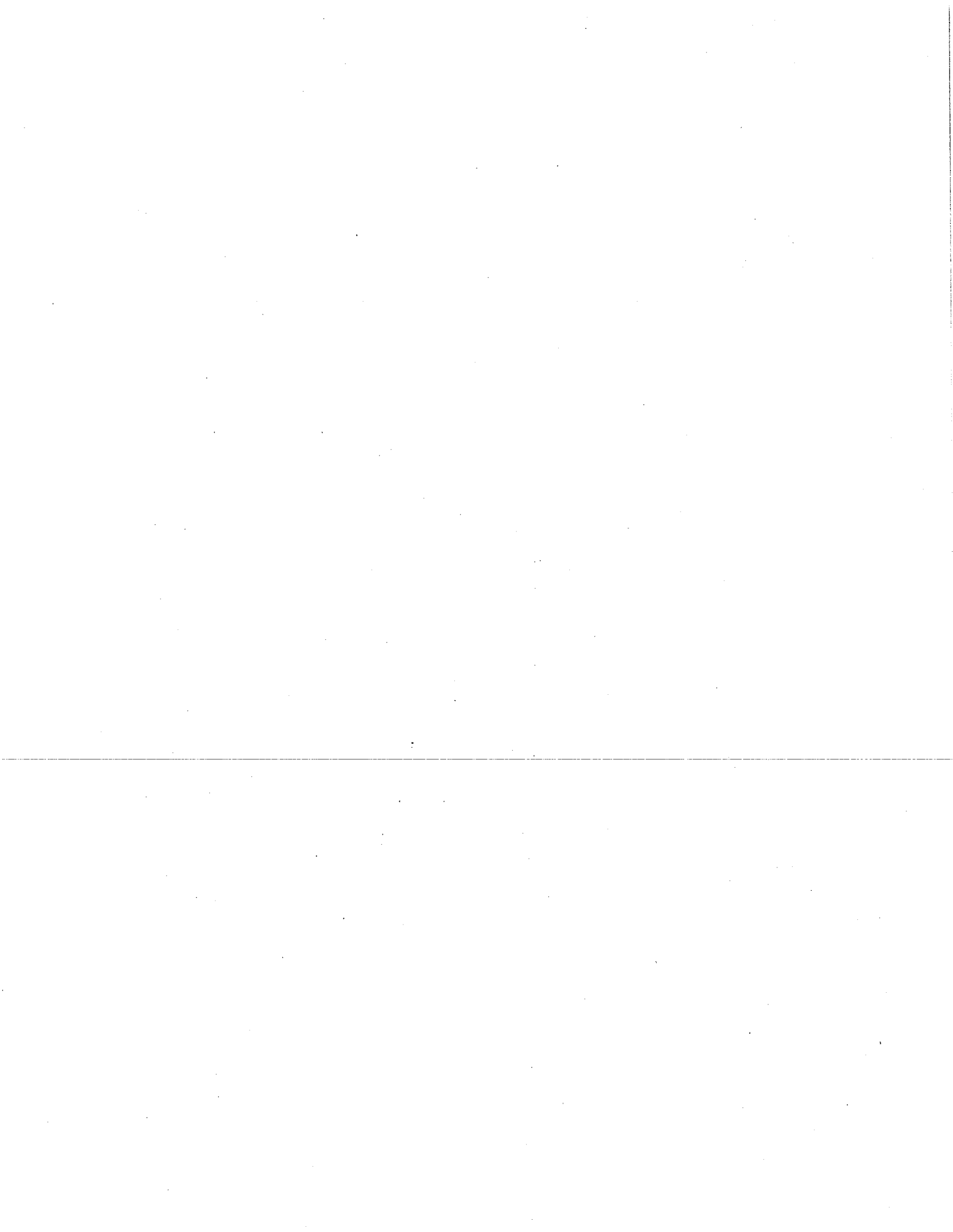
22x34 SHEET: 1"=300'
11x17 SHEET: 1"=600'



REMEDIATION SITE PLAN

THE HILLS, LLC
 GARBERVILLE, CA 95642
 REMEDIATION SITE PLAN - LSAA

PROJECT: 22
 DRAWING: 22
 DATE: 6-8-20
 SCALE: AS NOTED
 SHEET
C7A
 SHEET C001



11643

HUMBOLDT COUNTY DEPARTMENT OF PUBLIC WORKS
ROAD EVALUATION REPORT



PART A: *Part A may be completed by the applicant*

Applicant Name: The Hills, LLC APN: 223-061-038, -043, -073-004, -073-005

Planning & Building Department Case/File No.: 11638 and 11643

Road Name: Flat Rock Road *(complete a separate form for each road)*

From Road (Cross street): Alderpoint Road

To Road (Cross street): Buck Mountain Road

Length of road segment: 0.48 miles miles Date Inspected: 7/20/20

Road is maintained by: County Other Private
(State, Forest Service, National Park, State Park, BLM, Private, Tribal, etc)

Check one of the following:

- Box 1 The entire road segment is developed to Category 4 road standards (20 feet wide) or better. If checked, then the road is adequate for the proposed use without further review by the applicant.
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The statements in PART A are true and correct and have been made by me after personally inspecting and measuring the road.

Bret Rinehart
Signature

7/20/20
Date

Bret Rinehart, PE
Name Printed

Important: Read the instructions before using this form. If you have questions, please call the Dept. of Public Works Land Use Division at 707.445.7285.

PART B: Only complete Part B if Box 3 is checked in Part A. Part B is to be completed by a Civil Engineer licensed by the State of California. Complete a separate form for each road.

Road Name: Flat Rock Road Date Inspected: 7/20/20 APN: 223-061-038, -043, -073-004, -073-005
 From Road: Alderpoint Road (Post Mile 4.4) Planning & Building
 To Road: Buck Mountain Road (Post Mile 0.48) Department Case/File No.:
 11638 and 11643

1. What is the Average Daily Traffic (ADT) of the road (including other known cannabis projects)?
 Number of other known cannabis projects included in ADT calculations:
 (Contact the Planning & Building Department for information on other nearby projects.) 3

ADT: 50 Date(s) measured: _____

Method used to measure ADT: Counters Estimated using ITE Trip Generation Book

Is the ADT of the road less than 400? Yes No

If YES, then the road is considered very low volume and shall comply with the design standards outlined in the American Association of State Highway and Transportation Officials (AASHTO) *Guidelines for Geometric Design of Very Low-Volume Local Roads (ADT ≤ 400)*. Complete sections 2 and 3 below.

If NO, then the road shall be reviewed per the applicable policies for the design of local roads and streets presented in AASHTO *A Policy on Geometric Design of Highways and Streets*, commonly known as the "Green Book". Complete section 3 below.

2. Identify site specific safety problems with the road that include, but are not limited to: (Refer to Chapter 3 in AASHTO *Guidelines for Geometric Design of Very Low-Volume Local Roads (ADT ≤ 400)* for guidance.)
- A. Pattern of curve related crashes.
 Check one: No. Yes, see attached sheet for Post Mile (PM) locations.
 - B. Physical evidence of curve problems such as skid marks, scarred trees, or scarred utility poles.
 Check one: No. Yes, see attached sheet for PM locations.
 - C. Substantial edge rutting or encroachment.
 Check one: No. Yes, see attached sheet for PM locations.
 - D. History of complaints from residents or law enforcement.
 Check one: No. Yes (check if written documentation is attached)
 - E. Measured or known speed substantially higher than the design speed of the road (20+ MPH higher)
 Check one: No. Yes.
 - F. Need for turn-outs.
 Check one: No. Yes, see attached sheet for PM locations.

3. Conclusions/Recommendations per AASHTO. Check one:

The roadway can accommodate the cumulative increased traffic from this project and all known cannabis projects identified above.

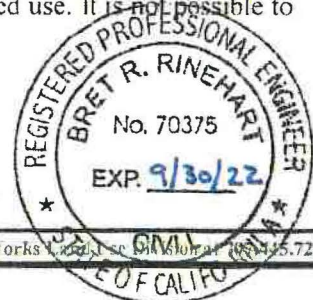
The roadway can accommodate the cumulative increased traffic from this project and all known cannabis projects identified above, if the recommendations on the attached report are done. (check if a *Neighborhood Traffic Management Plan* is also required and is attached.)

The roadway cannot accommodate increased traffic from the proposed use. It is not possible to address increased traffic.

A map showing the location and limits of the road being evaluated in PART B is attached. The statements in PART B are true and correct and have been made by me after personally evaluating the road.

Bret Rinehart
 Signature of Civil Engineer

10/5/20
 Date



Important: Read the instructions before using this form. If you have questions, please call the Dept. of Public Works at (916) 227-7205.

HUMBOLDT COUNTY DEPARTMENT OF PUBLIC WORKS
ROAD EVALUATION REPORT

PART A: *Part A may be completed by the applicant*

Applicant Name: The Hills, LLC APN: 223-061-038, -043, -073-004, -073-005

Planning & Building Department Case/File No.: 11638 and 11643

Road Name: Buck Mountain Road *(complete a separate form for each road)*

From Road (Cross street): Flat Rock Road

To Road (Cross street): Unnamed Private Road

Length of road segment: 1.62 miles miles Date Inspected: 7/20/20

Road is maintained by: County Other Private
(State, Forest Service, National Park, State Park, BLM, Private, Tribal, etc)

Check one of the following:

Box 1 The entire road segment is developed to Category 4 road standards (20 feet wide) or better. If checked, then the road is adequate for the proposed use without further review by the applicant.

Box 2 The entire road segment is developed to the equivalent of a road category 4 standard. If checked, then the road is adequate for the proposed use without further review by the applicant.

An equivalent road category 4 standard is defined as a roadway that is generally 20 feet in width, but has pinch points which narrow the road. Pinch points include, but are not limited to, one-lane bridges, trees, large rock outcroppings, culverts, etc. Pinch points must provide visibility where a driver can see oncoming vehicles through the pinch point which allows the oncoming vehicle to stop and wait in a 20 foot wide section of the road for the other vehicle to pass.

Box 3 The entire road segment is not developed to the equivalent of road category 4 or better. The road may or may not be able to accommodate the proposed use and further evaluation is necessary. Part B is to be completed by a Civil Engineer licensed by the State of California.

The statements in PART A are true and correct and have been made by me after personally inspecting and measuring the road.

Bret Rinehart
Signature

7/20/20
Date

Bret Rinehart, PE

Name Printed

Important: Read the instructions before using this form. If you have questions, please call the Dept. of Public Works Land Use Division at 707.445.7205.

PART B: Only complete Part B if Box 3 is checked in Part A. Part B is to be completed by a Civil Engineer licensed by the State of California. Complete a separate form for each road.

Road Name: Buck Mountain Road Date Inspected: 7/20/20 APN: 223-061-036, -043, -073-004, -073-005
 From Road: Flat Rock Road (Post Mile 0.48) Planning & Building
 To Road: Unnamed Private Road (Post Mile 1.62) Department Case/File No.:
 11638 and 11643

1. What is the Average Daily Traffic (ADT) of the road (including other known cannabis projects)?

Number of other known cannabis projects included in ADT calculations:
 (Contact the Planning & Building Department for information on other nearby projects.) 3

ADT: 50 Date(s) measured: _____

Method used to measure ADT: Counters Estimated using ITE Trip Generation Book

Is the ADT of the road less than 400? Yes No

If YES, then the road is considered very low volume and shall comply with the design standards outlined in the American Association of State Highway and Transportation Officials (AASHTO) *Guidelines for Geometric Design of Very Low-Volume Local Roads (ADT ≤ 400)*. Complete sections 2 and 3 below.

If NO, then the road shall be reviewed per the applicable policies for the design of local roads and streets presented in AASHTO *A Policy on Geometric Design of Highways and Streets*, commonly known as the "Green Book". Complete section 3 below.

2. Identify site specific safety problems with the road that include, but are not limited to: (Refer to Chapter 3 in AASHTO *Guidelines for Geometric Design of Very Low-Volume Local Roads (ADT ≤ 400)* for guidance.)

A. Pattern of curve related crashes.

Check one: No. Yes, see attached sheet for Post Mile (PM) locations.

B. Physical evidence of curve problems such as skid marks, scarred trees, or scarred utility poles

Check one: No. Yes, see attached sheet for PM locations.

C. Substantial edge rutting or encroachment.

Check one: No. Yes, see attached sheet for PM locations.

D. History of complaints from residents or law enforcement.

Check one: No. Yes (check if written documentation is attached)

E. Measured or known speed substantially higher than the design speed of the road (20+ MPH higher)

Check one: No. Yes.

F. Need for turn-outs.

Check one: No. Yes, see attached sheet for PM locations.

3. Conclusions/Recommendations per AASHTO. Check one:

The roadway can accommodate the cumulative increased traffic from this project and all known cannabis projects identified above.

The roadway can accommodate the cumulative increased traffic from this project and all known cannabis projects identified above, if the recommendations on the attached report are done. (check if a *Neighborhood Traffic Management Plan* is also required and is attached.)

The roadway cannot accommodate increased traffic from the proposed use. It is not possible to address increased traffic.

A map showing the location and limits of the road being evaluated in PART B is attached. The statements in PART B are true and correct and have been made by me after personally evaluating the road.

Bret Rinehart
 Signature of Civil Engineer

10/5/20
 Date



Important: Read the instructions before using this form. If you have questions, please call the Dept. of Public Works Land Use Division at 707-835-7205.

HUMBOLDT COUNTY DEPARTMENT OF PUBLIC WORKS
ROAD EVALUATION REPORT

PART A: *Part A may be completed by the applicant*

Applicant Name: The Hills, LLC APN: 223-061-038, -043, -073-004, -073-005

Planning & Building Department Case/File No.: 11638 and 11643

Road Name: Unnamed Private Road *(complete a separate form for each road)*

From Road (Cross street): Buck Mountain Road

To Road (Cross street): Shadow Light Ranch Road

Length of road segment: 0.67 miles miles Date Inspected: 7/20/20

Road is maintained by: County Other Private
(State, Forest Service, National Park, State Park, BLM, Private, Tribal, etc)

Check one of the following:

Box 1 The entire road segment is developed to Category 4 road standards (20 feet wide) or better. If checked, then the road is adequate for the proposed use without further review by the applicant.

Box 2 The entire road segment is developed to the equivalent of a road category 4 standard. If checked, then the road is adequate for the proposed use without further review by the applicant.

An equivalent road category 4 standard is defined as a roadway that is generally 20 feet in width, but has pinch points which narrow the road. Pinch points include, but are not limited to, one-lane bridges, trees, large rock outcroppings, culverts, etc. Pinch points must provide visibility where a driver can see oncoming vehicles through the pinch point which allows the oncoming vehicle to stop and wait in a 20 foot wide section of the road for the other vehicle to pass.

Box 3 The entire road segment is not developed to the equivalent of road category 4 or better. The road may or may not be able to accommodate the proposed use and further evaluation is necessary. Part B is to be completed by a Civil Engineer licensed by the State of California.

The statements in PART A are true and correct and have been made by me after personally inspecting and measuring the road.

Bret Rinehart
Signature

7/20/20

Date

Bret Rinehart, PE

Name Printed

Important: Read the instructions before using this form. If you have questions, please call the Dept. of Public Works Land Use Division at 707.445.7205.

PART B: Only complete Part B if Box 3 is checked in Part A. Part B is to be completed by a Civil Engineer licensed by the State of California. Complete a separate form for each road.

Road Name: Unnamed Private Road Date Inspected: 7/20/20 APN: 223-061-038, -043, -073-004, -073-005
 From Road: Buck Mountain Rd (Post Mile 1.62) Planning & Building
 To Road: Shadow Light Ranch Rd (Post Mile 0.67) Department Case/File No.:
 11638 and 11643

1. What is the Average Daily Traffic (ADT) of the road (including other known cannabis projects)?

Number of other known cannabis projects included in ADT calculations:
 (Contact the Planning & Building Department for information on other nearby projects.) 1

ADT: 32 Date(s) measured: _____

Method used to measure ADT: Counters Estimated using ITE Trip Generation Book

Is the ADT of the road less than 400? Yes No

If YES, then the road is considered very low volume and shall comply with the design standards outlined in the American Association of State Highway and Transportation Officials (AASHTO) *Guidelines for Geometric Design of Very Low-Volume Local Roads (ADT ≤400)*. Complete sections 2 and 3 below.

If NO, then the road shall be reviewed per the applicable policies for the design of local roads and streets presented in AASHTO *A Policy on Geometric Design of Highways and Streets*, commonly known as the "Green Book". Complete section 3 below.

2. Identify site specific safety problems with the road that include, but are not limited to: (Refer to Chapter 3 in AASHTO *Guidelines for Geometric Design of Very Low-Volume Local Roads (ADT ≤400)* for guidance.)

A. Pattern of curve related crashes.

Check one: No. Yes, see attached sheet for Post Mile (PM) locations.

B. Physical evidence of curve problems such as skid marks, scarred trees, or scarred utility poles

Check one: No. Yes, see attached sheet for PM locations.

C. Substantial edge rutting or encroachment.

Check one: No. Yes, see attached sheet for PM locations.

D. History of complaints from residents or law enforcement.

Check one: No. Yes (check if written documentation is attached)

E. Measured or known speed substantially higher than the design speed of the road (20+ MPH higher)

Check one: No. Yes.

F. Need for turn-outs.

Check one: No. Yes, see attached sheet for PM locations.

3. Conclusions/Recommendations per AASHTO. Check one:

The roadway can accommodate the cumulative increased traffic from this project and all known cannabis projects identified above.

The roadway can accommodate the cumulative increased traffic from this project and all known cannabis projects identified above, if the recommendations on the attached report are done. (check if a *Neighborhood Traffic Management Plan* is also required and is attached.)

The roadway cannot accommodate increased traffic from the proposed use. It is not possible to address increased traffic.

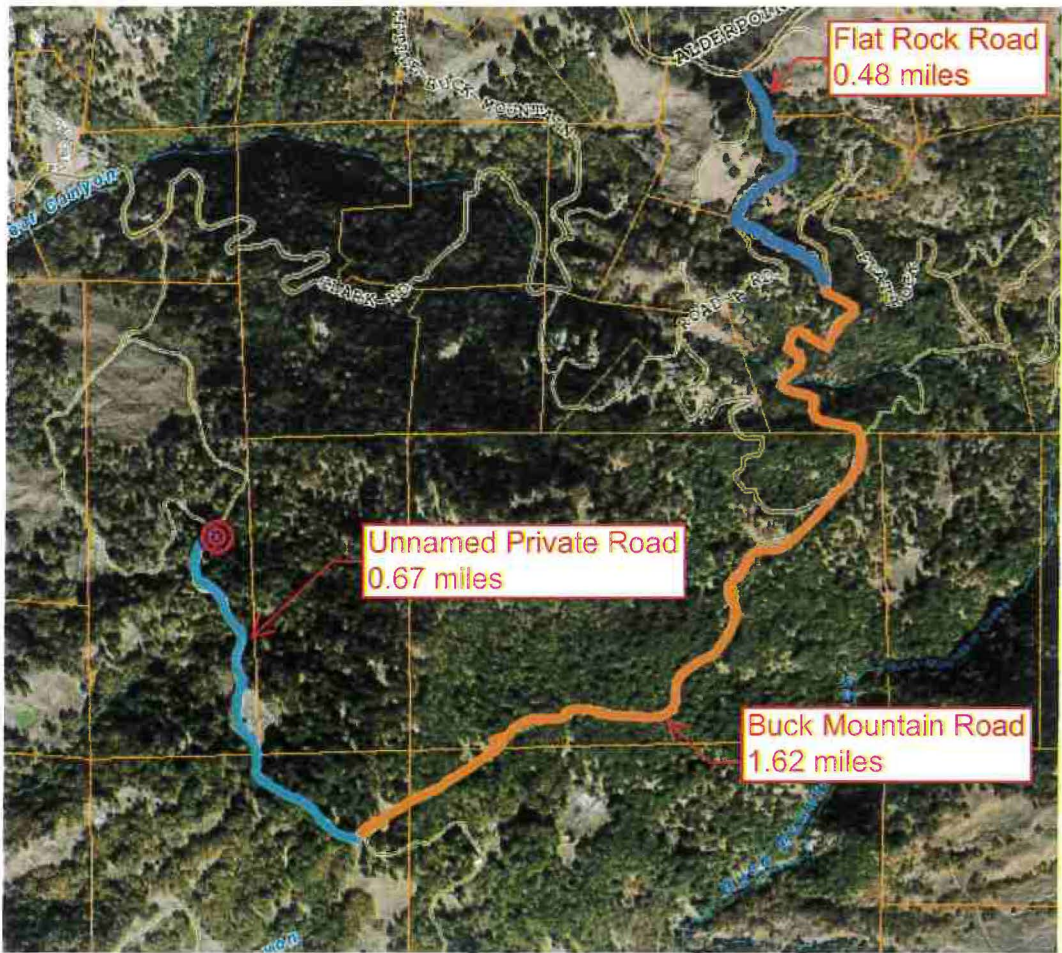
A map showing the location and limits of the road being evaluated in PART B is attached. The statements in PART B are true and correct and have been made by me after personally evaluating the road.

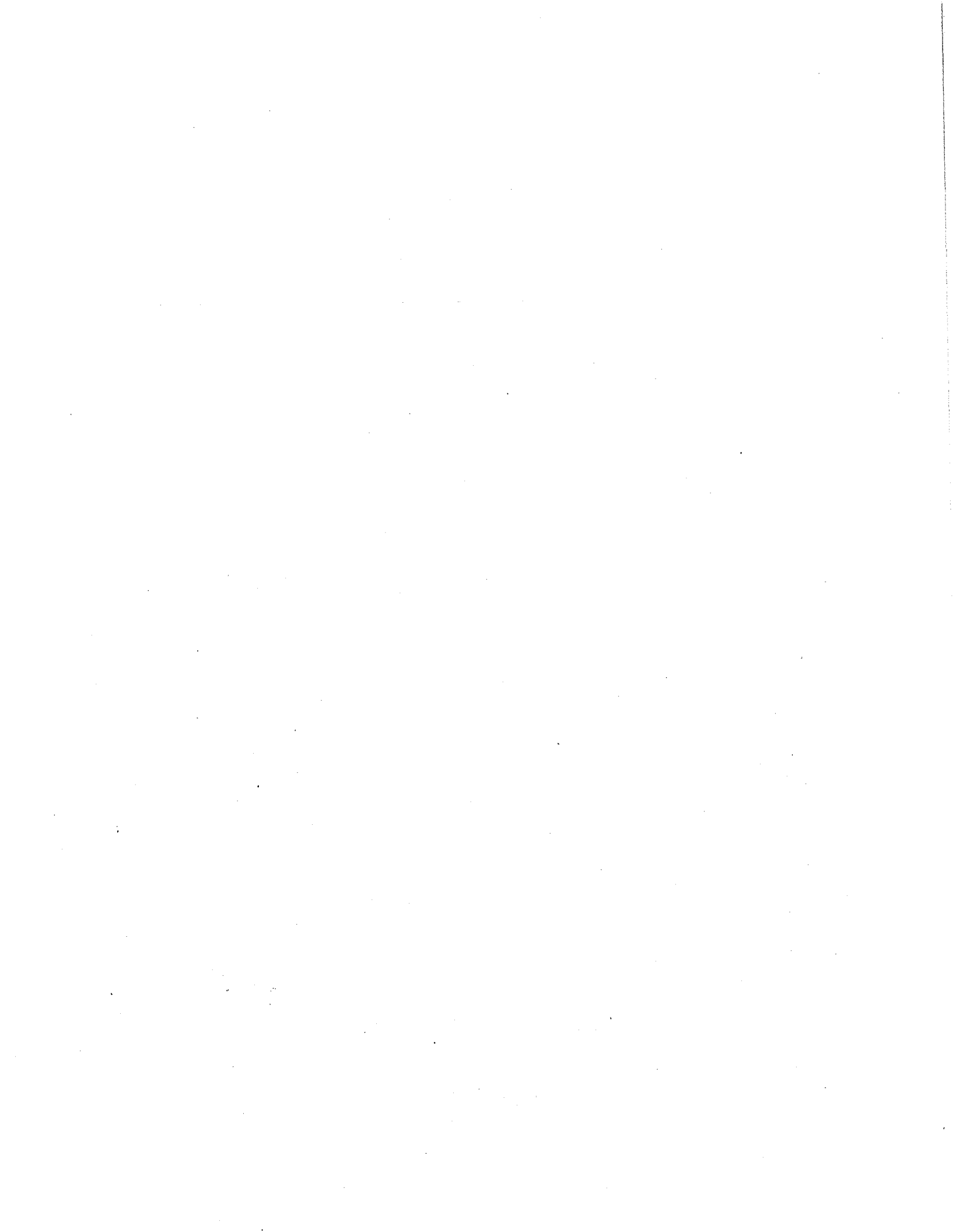
Bret Rinehart
 Signature of Civil Engineer

10/5/20
 Date

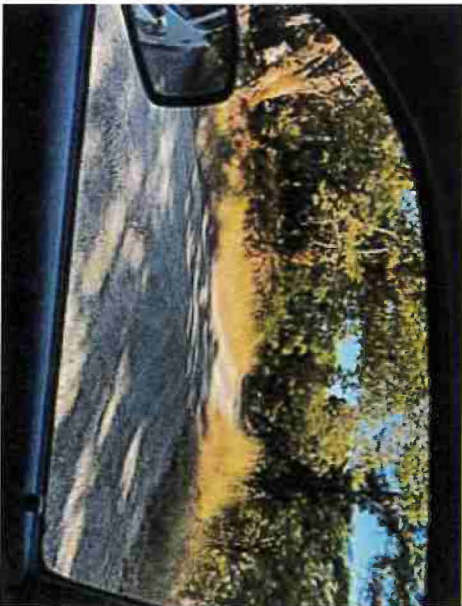
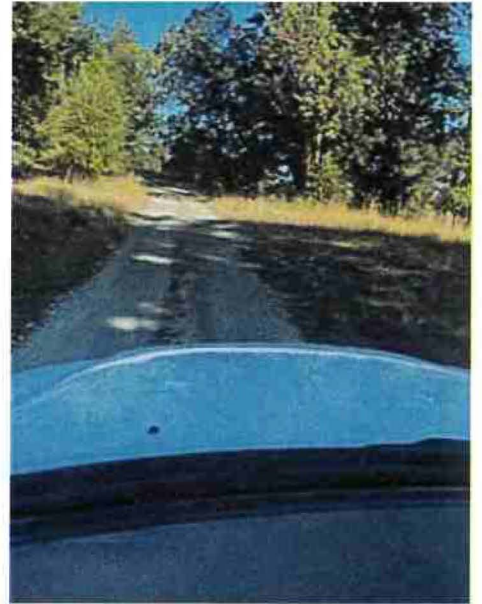
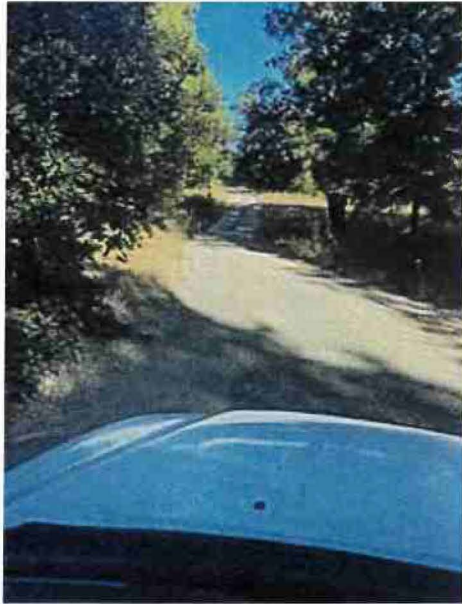
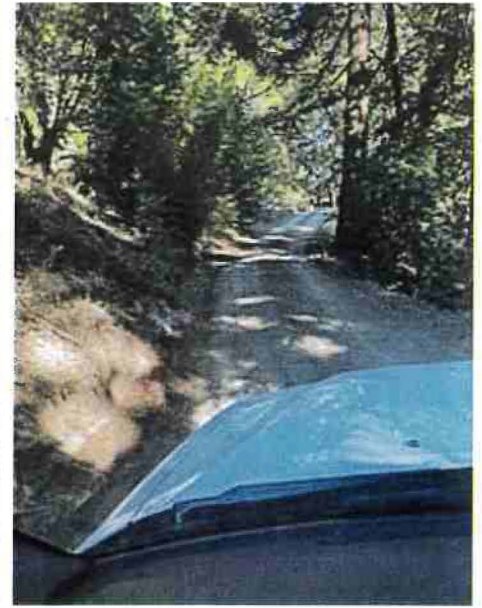
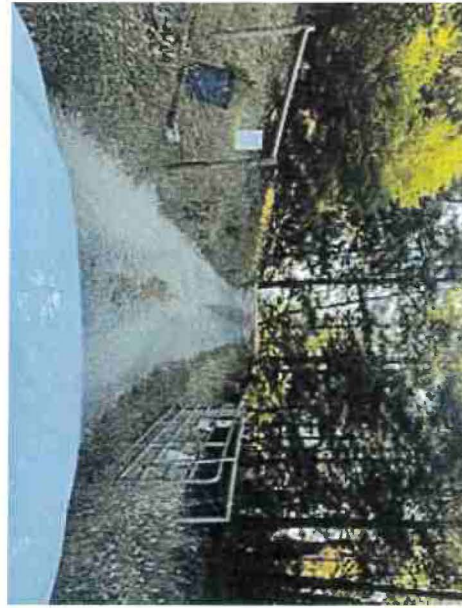


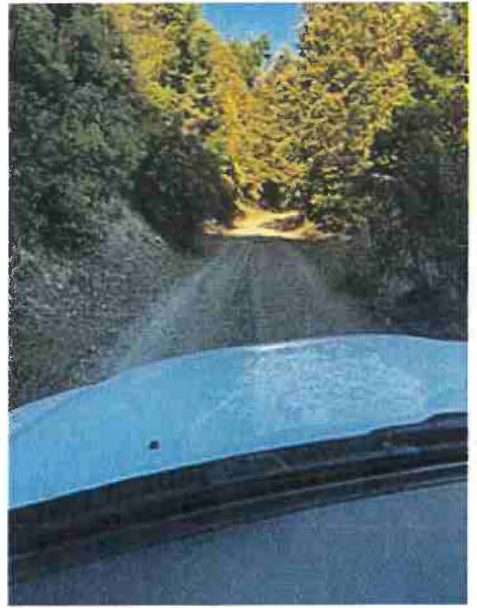
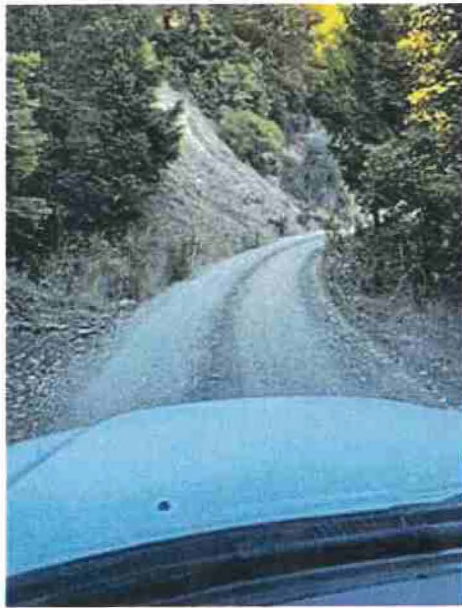
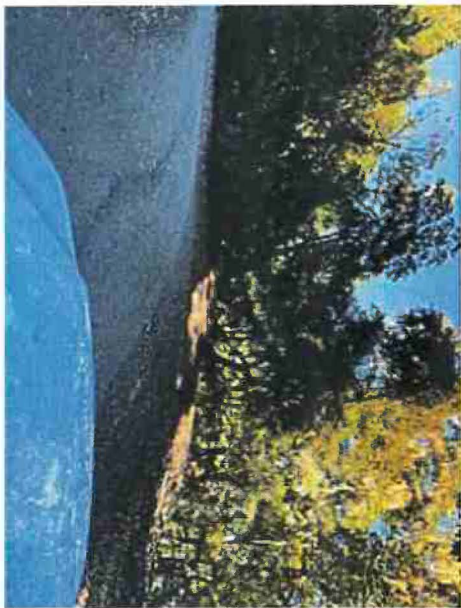
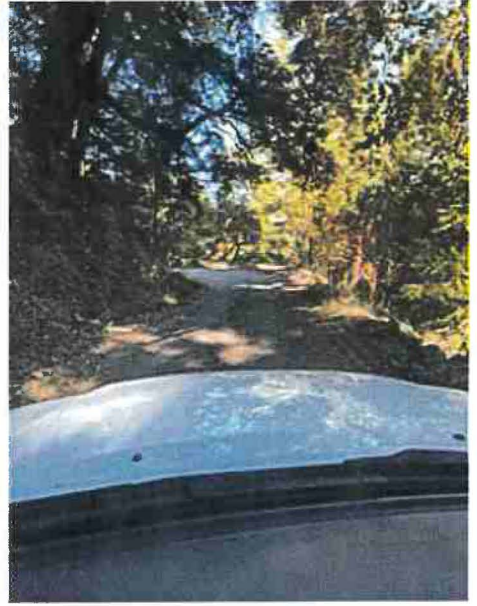
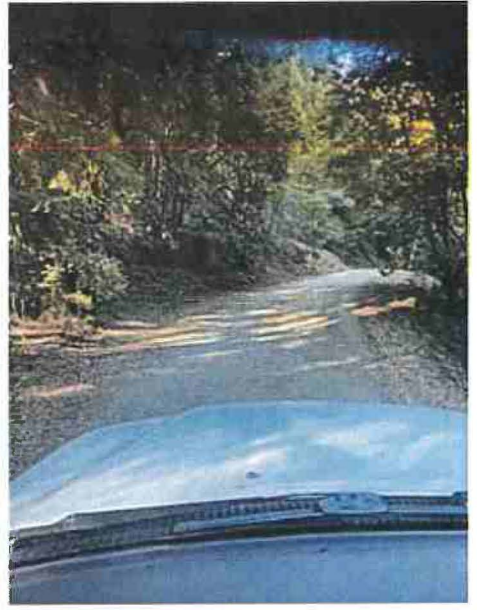
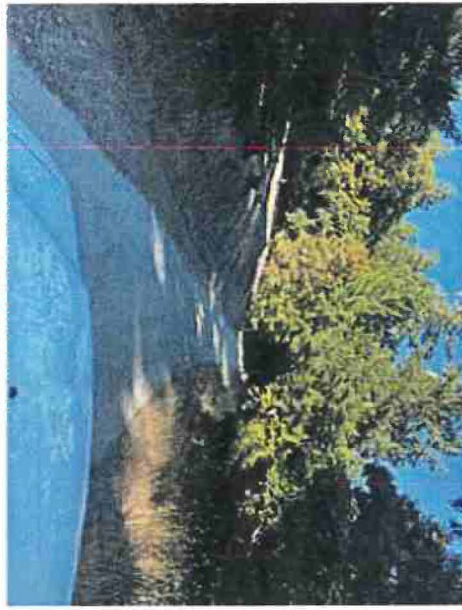
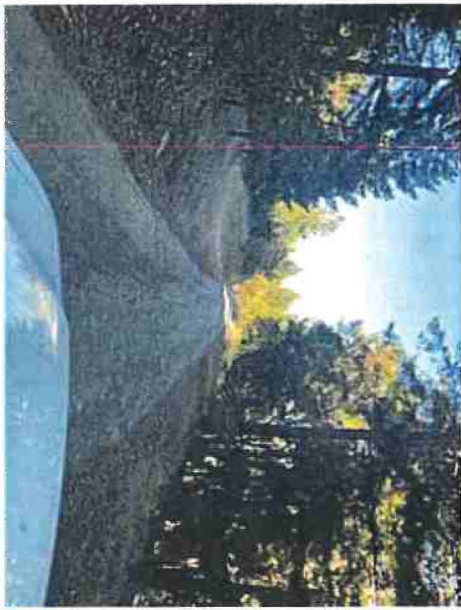
Important: Read the instructions before using this form. If you have questions, please call the Dept. of Public Works Land Use Division at 707.445.7205.

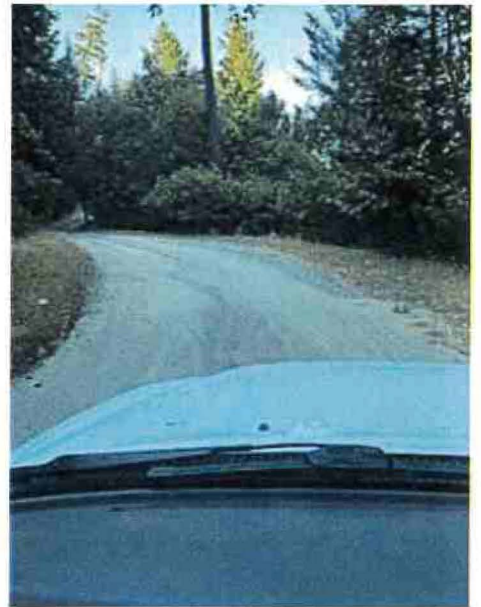
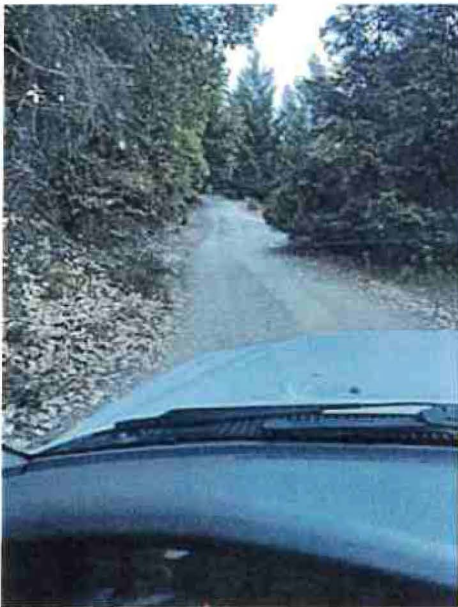
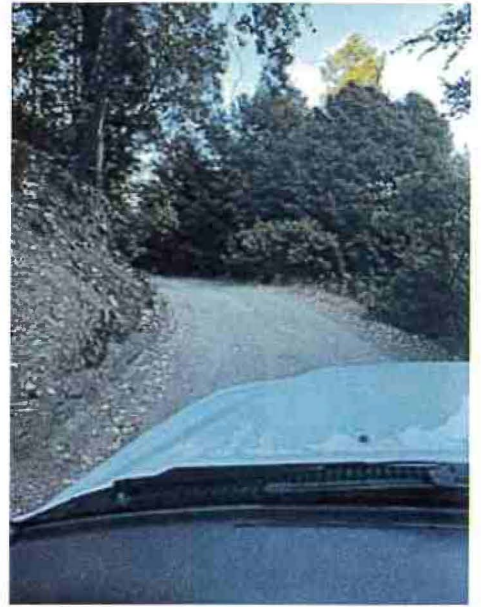
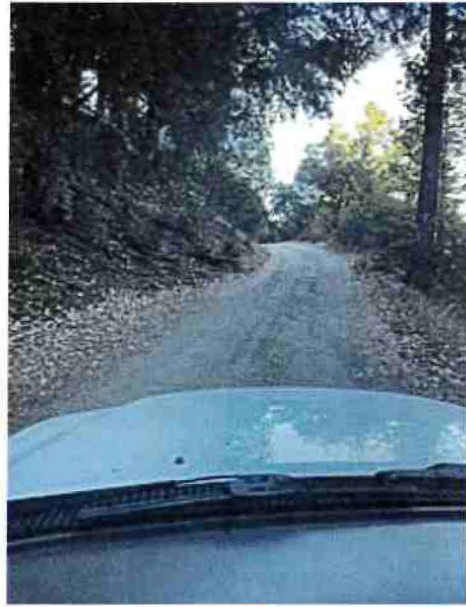
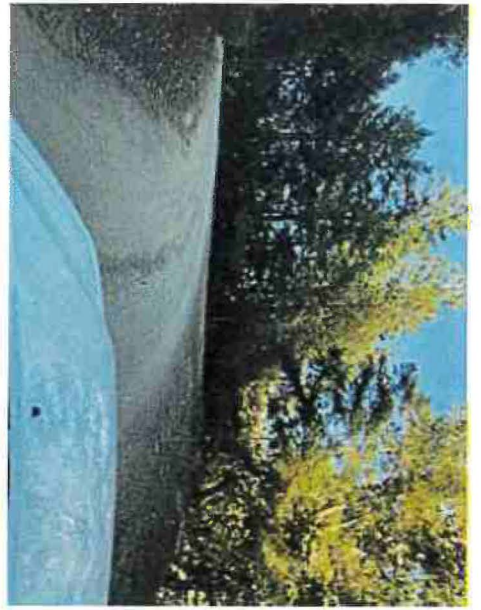
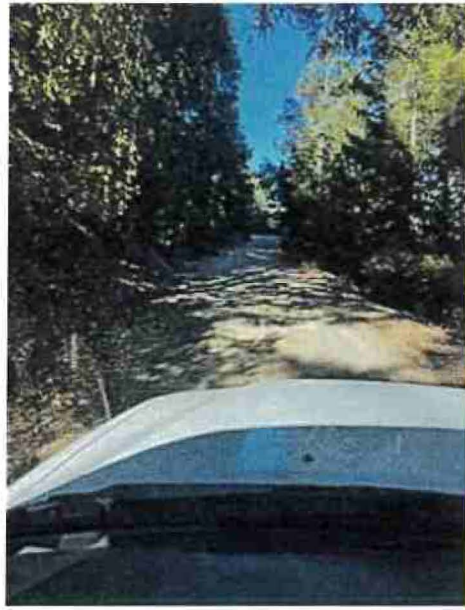
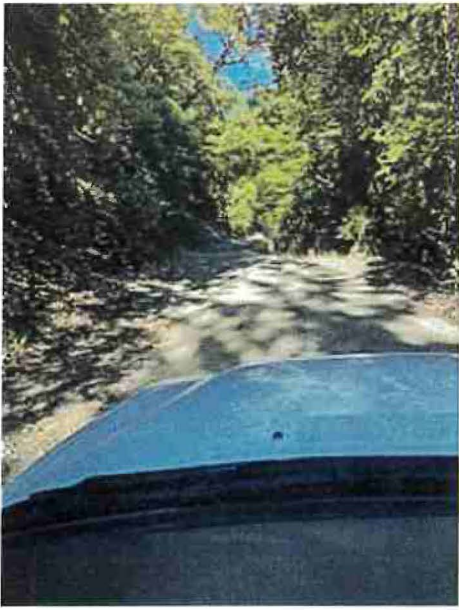


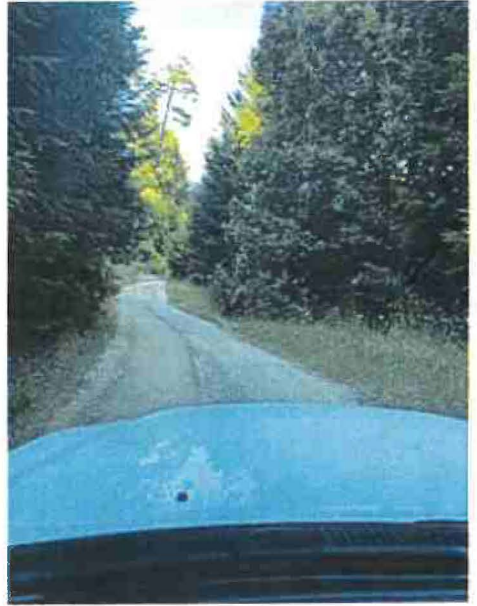
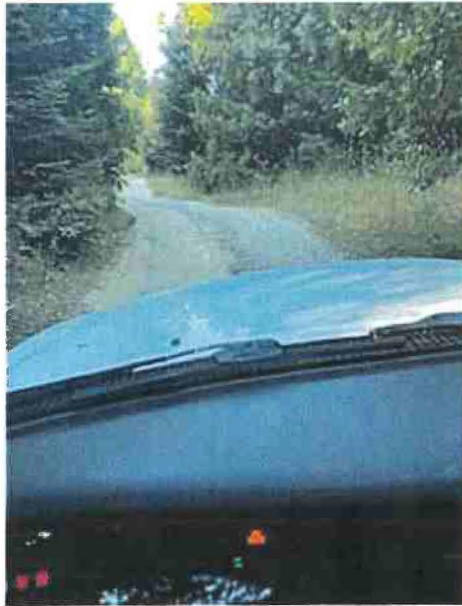
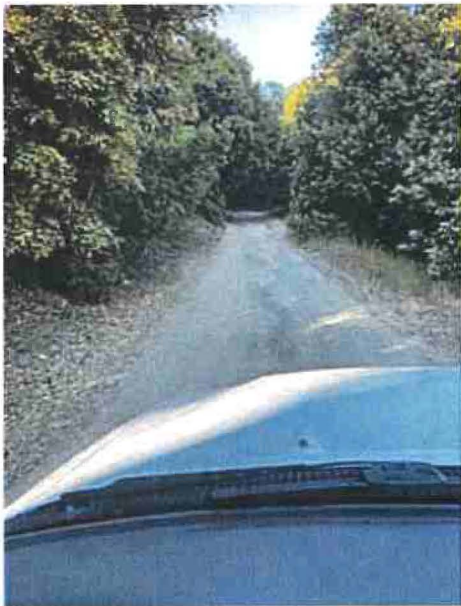
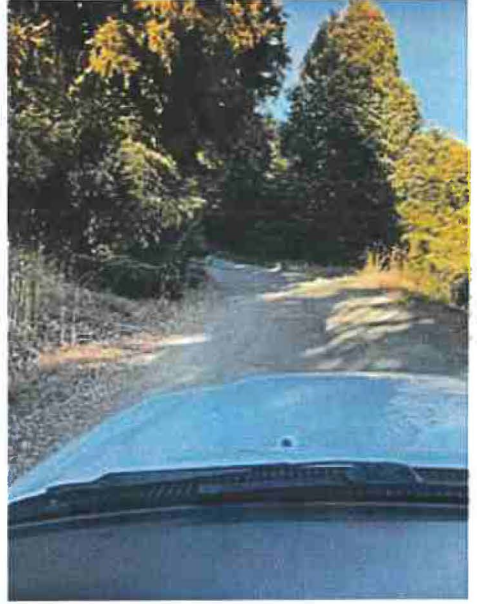
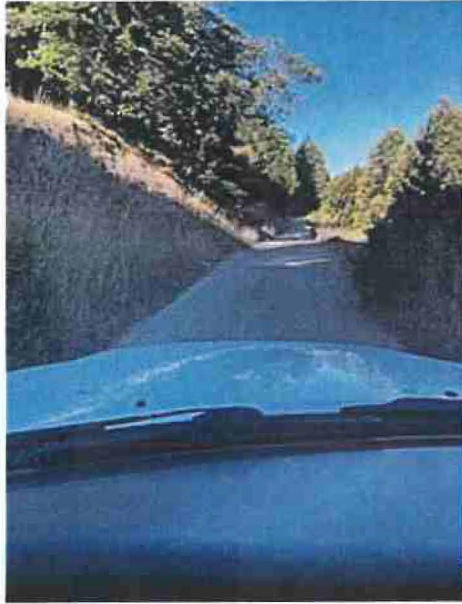
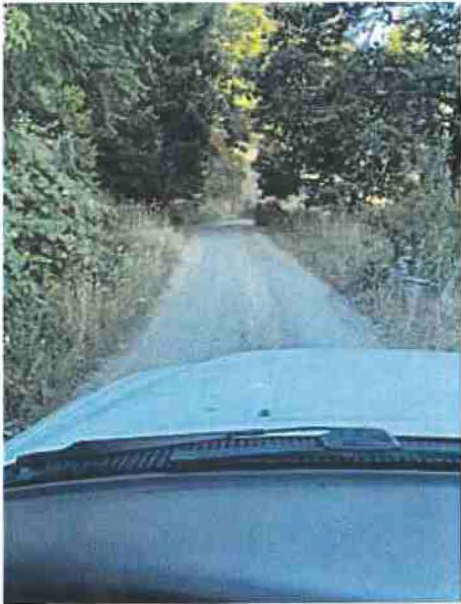
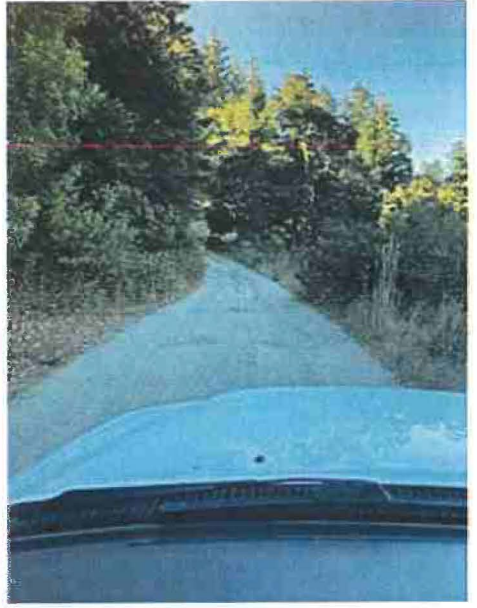
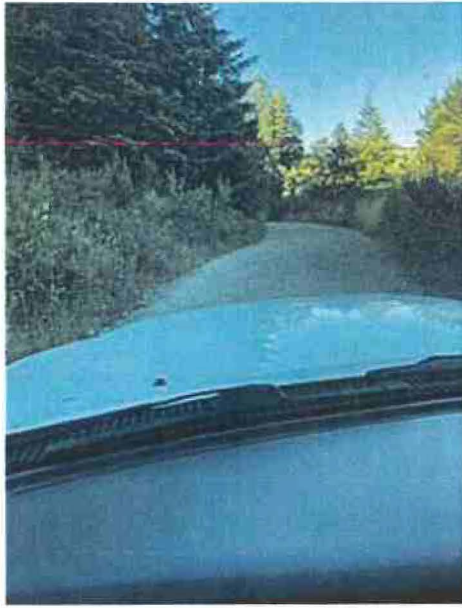
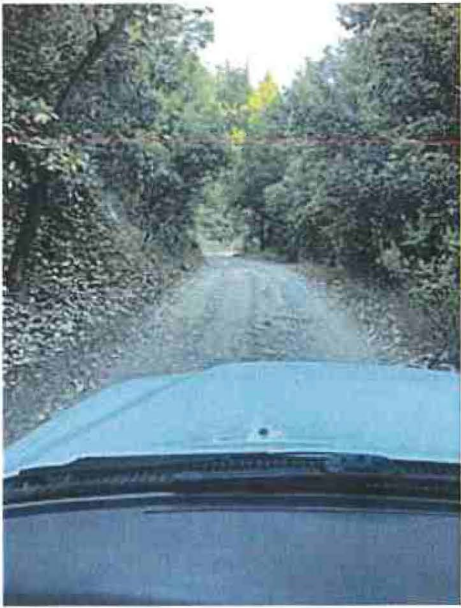


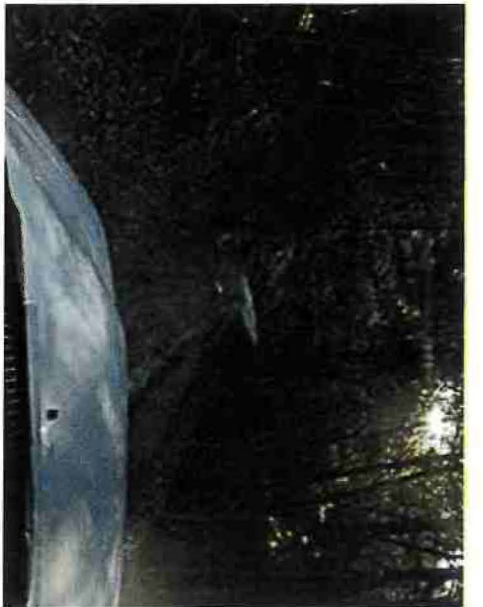
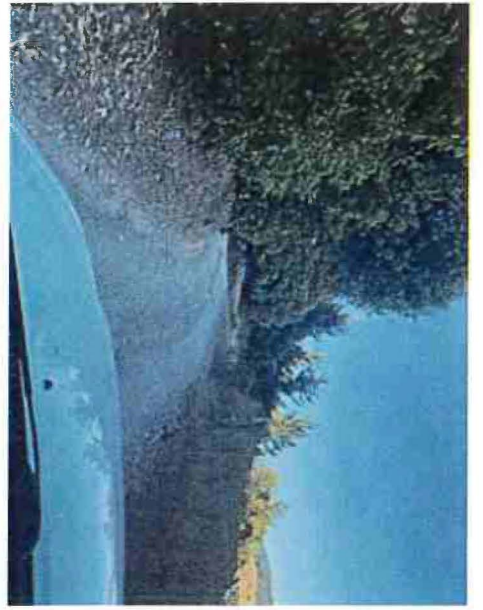
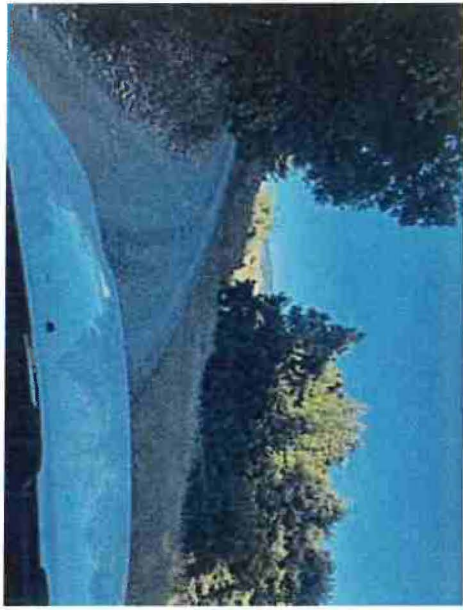
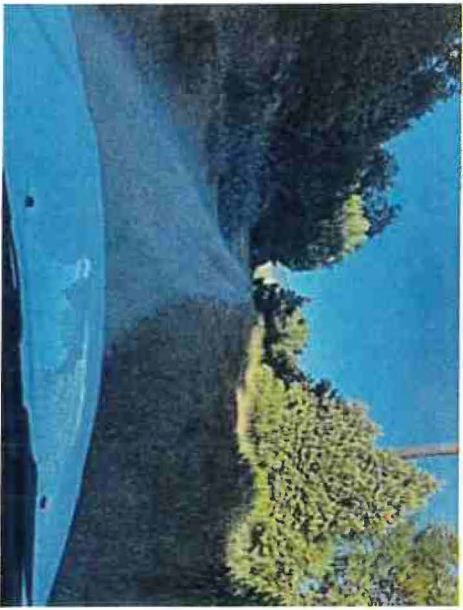
The Hills, LLC Unnamed Private Road, Buck Mountain Road and Flat Rock Road from Project Site to Alderpoint Road

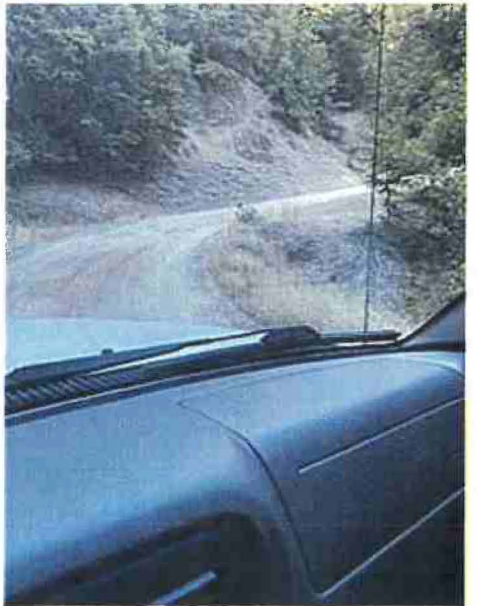
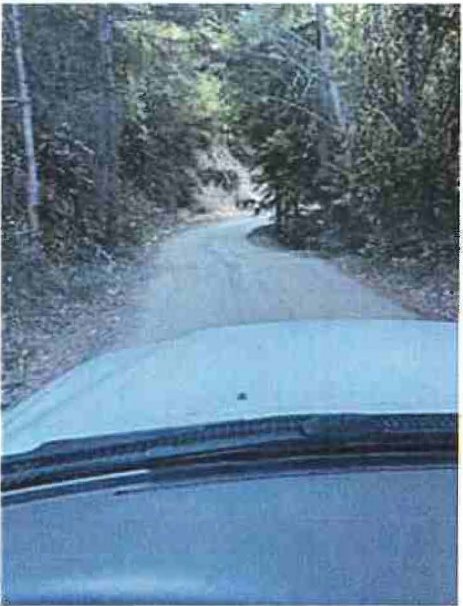
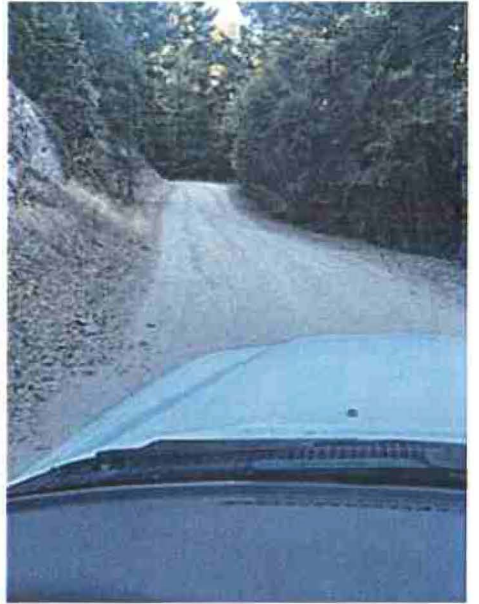
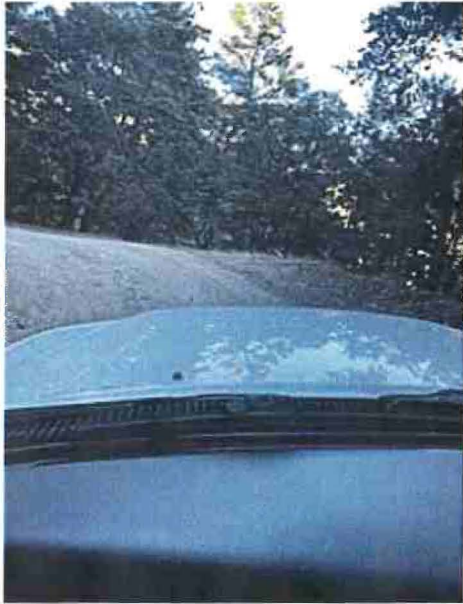
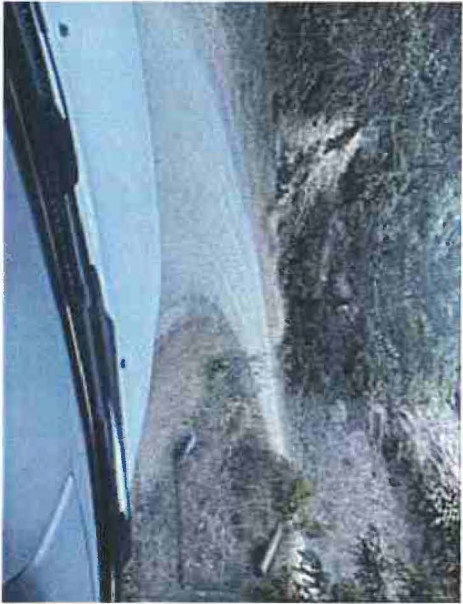
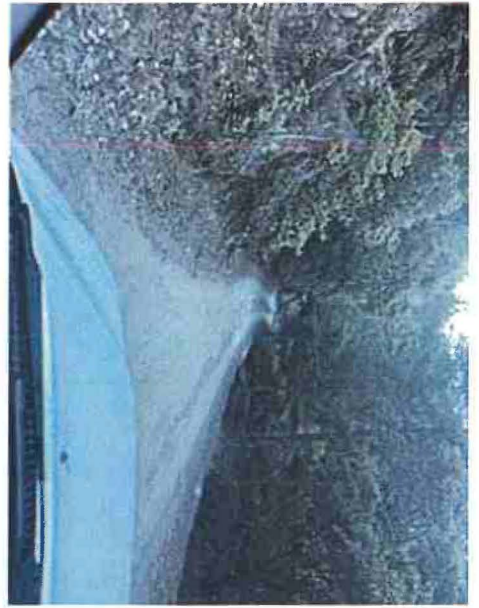
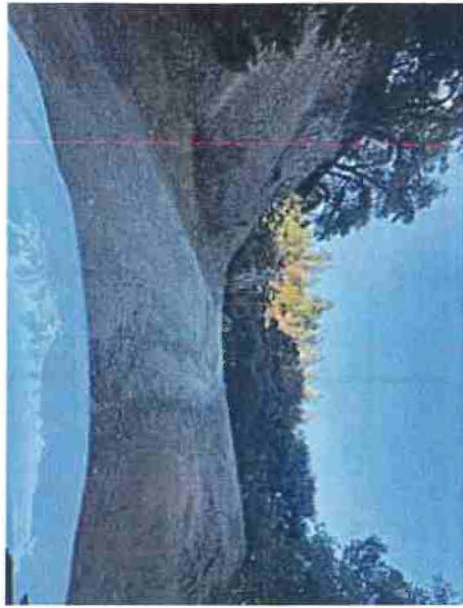


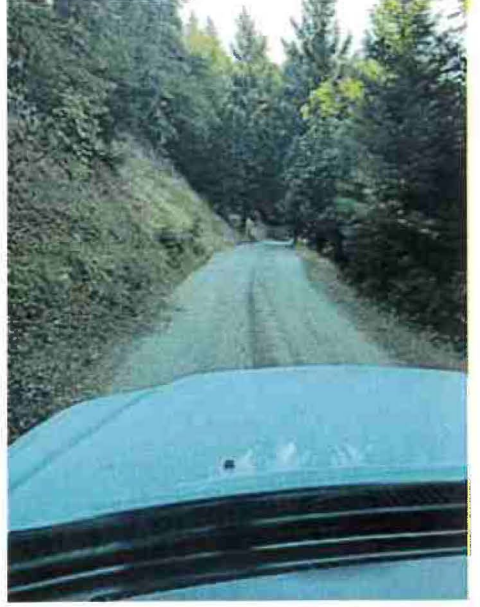
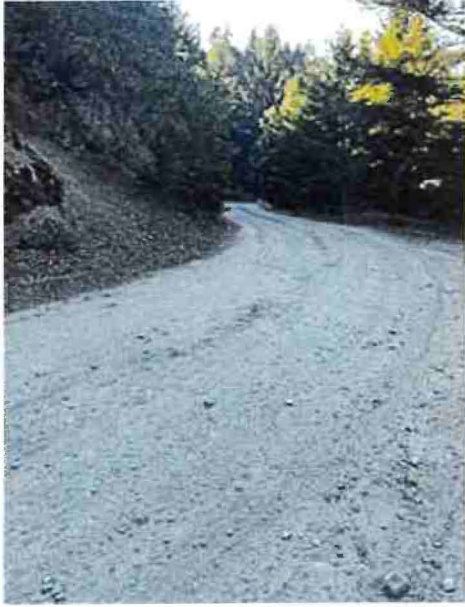
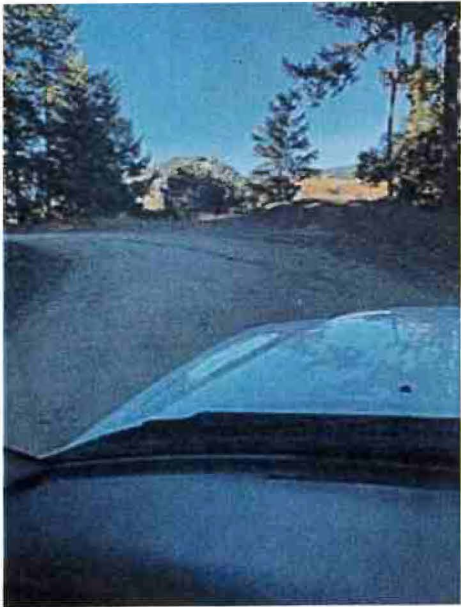
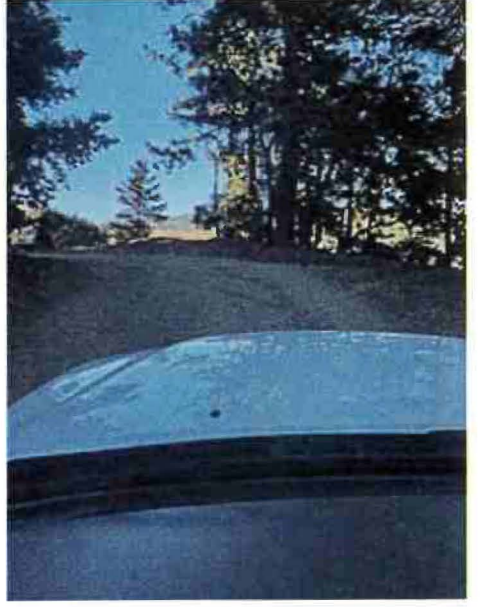
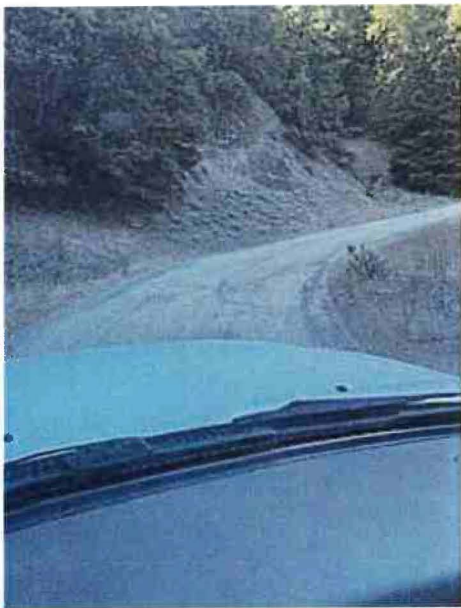


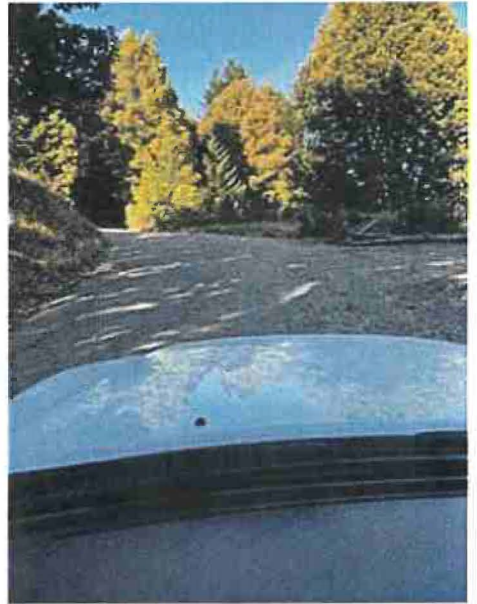
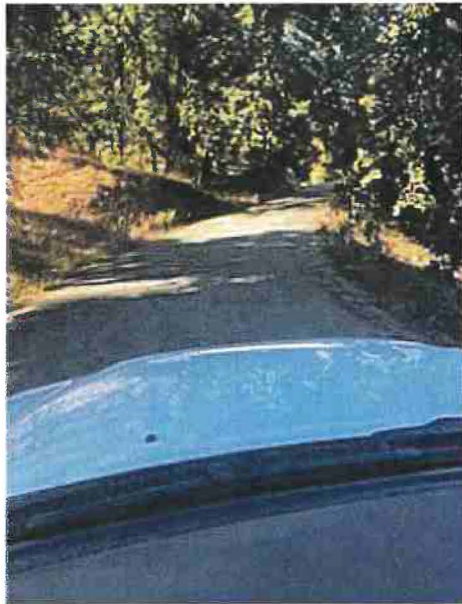
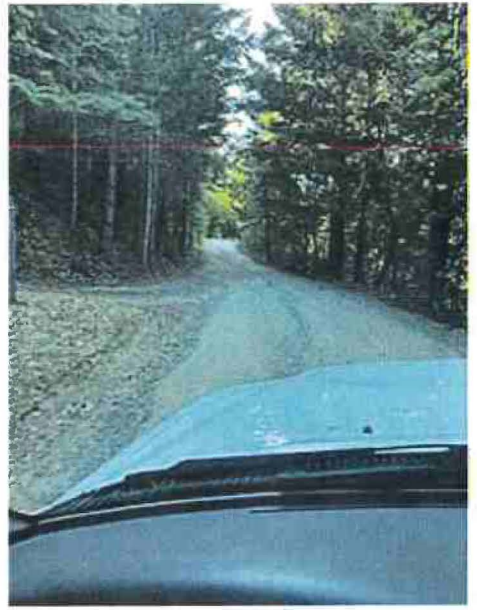
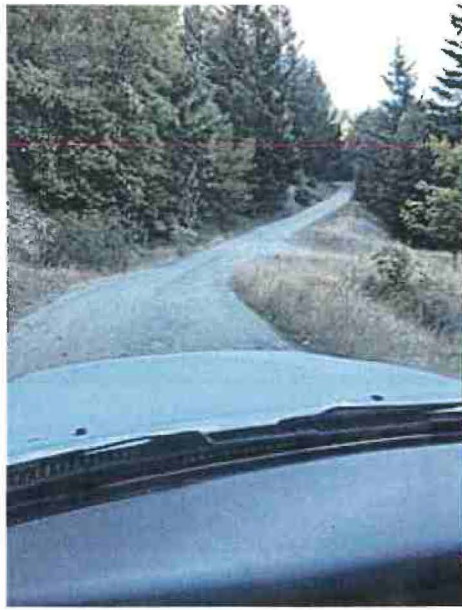
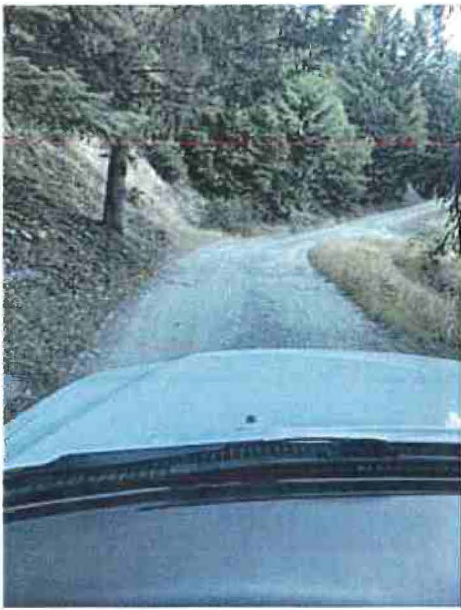


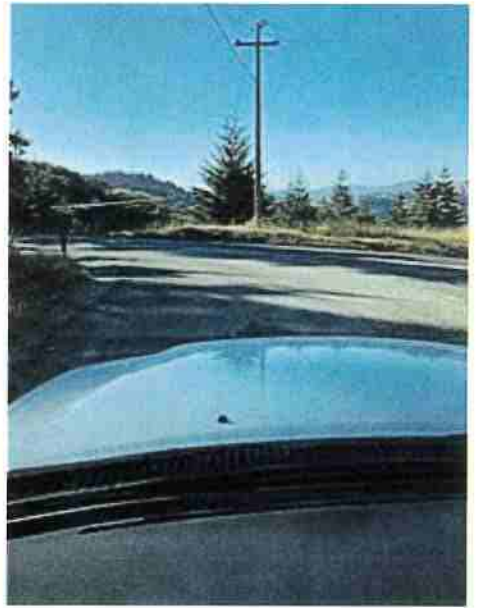














DEPARTMENT OF PUBLIC WORKS

COUNTY OF HUMBOLDT

MAILING ADDRESS: 1106 SECOND STREET, EUREKA, CA 95501-0579
AREA CODE 707ARCATA-EUREKA AIRPORT TERMINAL
McKINLEYVILLE
FAX 839-3596PUBLIC WORKS BUILDING
SECOND & L ST., EUREKA
FAX 445-7409CLARK COMPLEX
HARRIS & H ST., EUREKA
FAX 445-7388

AVIATION 839-5401

ADMINISTRATION 445-7491
BUSINESS 445-7652
ENGINEERING 445-7377
FACILITY MAINTENANCE 445-7493NATURAL RESOURCES 445-7741
NATURAL RESOURCES PLANNING 267-9540
PARKS 445-7651
ROADS & EQUIPMENT MAINTENANCE 445-7421

LAND USE 445-7205

LAND USE DIVISION INTEROFFICE MEMORANDUM

TO: Joshua Dorris, Planner II, Planning & Building Department

FROM: Kenneth M. Freed, Assistant Engineer II 

DATE: 07/13/2017

RE: **THE HILLS LLC, APN 223-061-043, SP16-764, CUP16-317, APPS# 11638**

The Department of Public Works reviews projects for issues relating to the adequacy of the roadway network to accommodate the proposed use; issues relating to encroachments (such as driveways and private roads) onto County maintained roads; ensuring that any outstanding violations relating to County Encroachment Permit Ordinance and Visibility Ordinance have been addressed; identifying any necessary frontage improvements that are required along County maintained roads; impacts of projects on nearby airports; ensuring that deferred subdivision improvements, if any, are completed; and identifying impacts of the proposed project to adjacent County owned properties or facilities.

The Department's review of this project is limited to what is shown on the submitted plot plan and accompanying materials.

ROADS: The subject property takes access from non-county maintained road(s) which intersect a publicly maintained road maintained by the County.

The Department has not conducted a field investigation of the roadway(s) serving the subject property. The roadway(s) serving the subject property may or may not meet road category 4 standards. The road(s) may or may not have capacity to accommodate the proposed use. Prior to the project being presented to the Planning Commission (or Zoning Administrator) for approval, the applicant shall submit a *Road Evaluation Report* pursuant to County Code Section 313-55.4.11(u)(viii) "description of increased road use resulting from processing and a plan to minimize that impact". The Department has developed the attached *Road Evaluation Report* forms that are to be used.

See the attached diagram of the road(s) that need to be evaluated. The Department has used its best judgement to determine the offsite road(s) that would most likely be used for the project. If this is not the correct route that would be used, please contact the Department for clarification before preparing the *Road Evaluation Report*.

In general, road(s) must meet Category 4 road standards in being at least 20 feet in width when 2-way traffic is expected. In addition, a 4 foot wide shoulder is necessary when pedestrians are expected. However, 2-way traffic on a single lane road (Category 2 road) may be appropriate when

a road serves only the cannabis operation and when no other parcels of land use the road for access. Access roads not meeting the above standards must be improved to those standards, unless otherwise approved by the Department.

In lieu of constructing road improvements to meet a category 4 road standard, the Department may approve a *Neighborhood Traffic Management Plan*. The Department's criteria for approving a *Neighborhood Traffic Management Plan* is based upon site specific conditions; sound engineering judgment; the proposed ADT and DHV of the roads; the need to accommodate other road users (pedestrians, bicycles, equestrians, etc); and the frequency and quantity of traffic associated with the proposed use. The applicant's Civil Engineer can address this in Part B of the *Road Evaluation Report*.

The subject property is located within the State Responsibility Area.

The intersection of the existing access road, Clark Road, and the County road, Wallan Road, does not meet County standards. Prior to commencing operations, the access road encroachment shall be improved to meet the County visibility ordinance and encroachment permit ordinance standards. This requires that the access road encroachment be paved for a minimum width of 20 feet and a length of 50 feet. [References: County Code Sections 341-1, 411-51]

Note: There may be other projects that have been conditioned to improve the road(s). Prior to constructing any improvements the Department recommends that the applicant determine what work has already been accomplished so that efforts are not duplicated.

Prior to constructing improvements within a County maintained road right of way, the applicant shall apply for and obtain an encroachment permit from the Department of Public Works. [Reference: County Code 411-11(a)(b)]

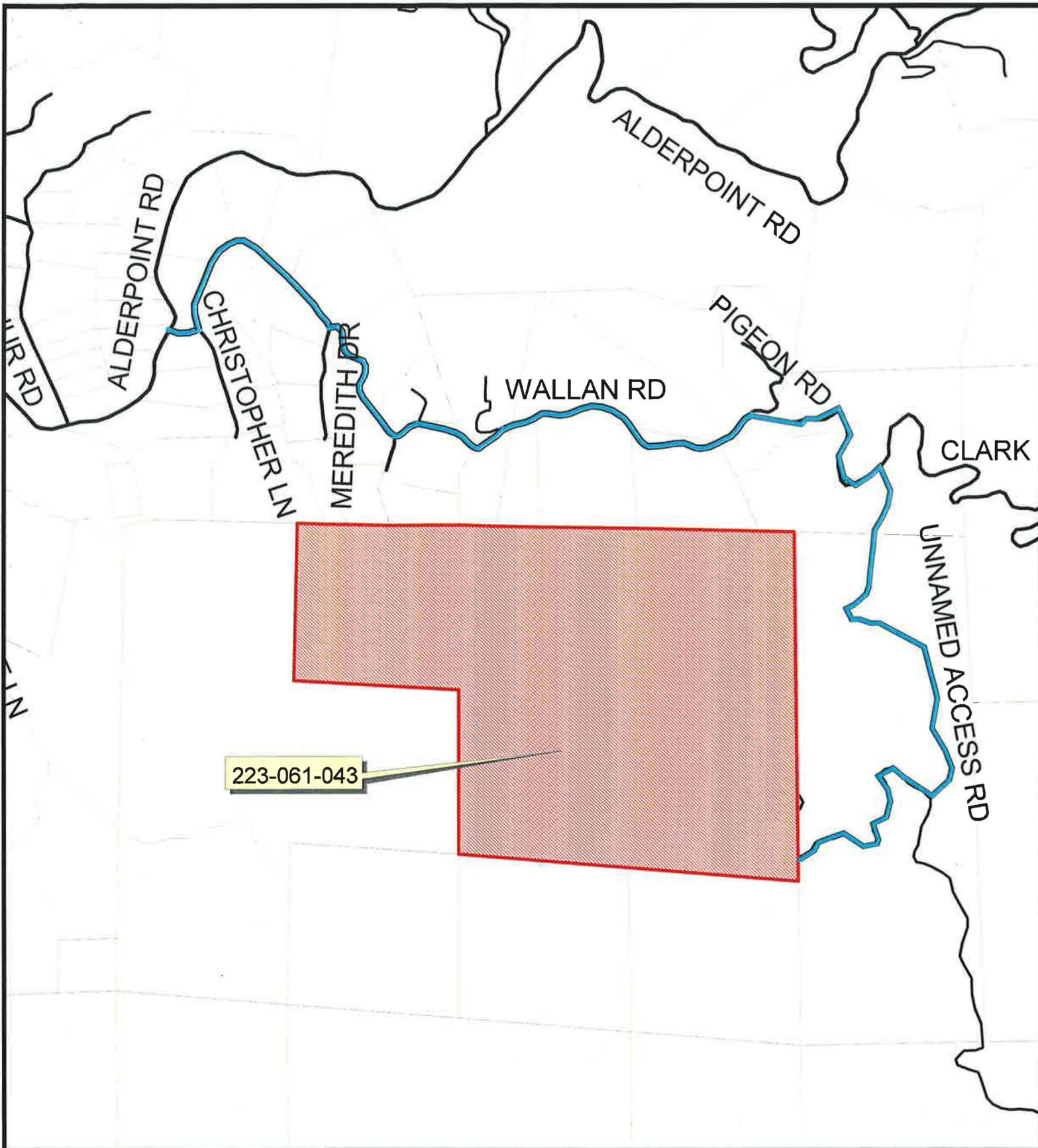
DRIVEWAYS: The driveway within the subject property has not been reviewed by the Department for conformance with Fire Safe Regulations (County Code Section 3112-12). This is an on-site issue that is to be reviewed by the Building Division or the Planning and Building Department.

AIRPORT: The subject property is not located near a public airport.

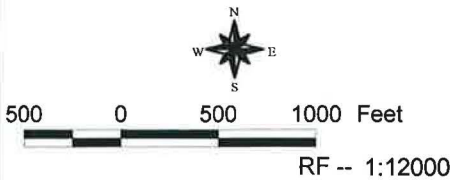
DEFERRED SUBDIVISION IMPROVEMENTS: The subject property does not have any deferred subdivision improvements that have not been fulfilled.

ADJACENT COUNTY OWNED PROPERTY OR FACILITIES: The proposed project does not have any impact on any adjacent county owned property or facilities.

// END //



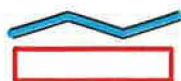
223-061-043



Map Disclaimer:
 While every effort has been made to assure the accuracy of this information, it should be understood that it does not have the force and effect of law, rule, or regulation. Should any difference or error occur, the law will take precedence.

Humboldt County Department of Public Works - Land Use Division
 Diagram of road(s) that need to be evaluated

Planning & Building Department File/Case No.: SP16-764



Indicates the access road(s) that need to be evaluated
 Indicates the Project Area